



MEETING AGENDA PLANNING AND ZONING BOARD CITY OF RIVIERA BEACH, FL

LOCAL PLANNING AGENCY

Department of Community Development: (561)845-4060 / comdev@rivierabch.com

Commencement – 6:30 PM
Thursday, October 26, 2017

Municipal Marina Event Center
190 East 13th Street, Riviera Beach, FL 33404

If you wish to speak on any item(s) on this agenda, please complete a public comment card and provide it to Planning and Zoning Staff. Cards must be submitted prior to Board discussion of an item. Thank you.

I. MOMENT OF SILENCE AND PLEDGE OF ALLEGIANCE

II. ROLL CALL

Rena James, Chairperson

Tradrick McCoy, Vice-Chair

Corey Blackwell, Sr., Board Member

James Gallon, Board Member

Edward Kunuty, Board Member

Margaret Shepherd, Board Member

Julius Whigham, Sr., Board Member

Jon Gustafson, 1st Alternate Member

Anthony Brown, 2nd Alternate Member

III. ACKNOWLEDGEMENT OF BOARD MEMBER ABSENCE NOTIFICATION

IV. ADDITIONS AND DELETIONS TO THE AGENDA

V. DISCLOSURE BY BOARD MEMBERS AND ADOPTION OF THE AGENDA

VI. APPROVAL OF MINUTES – September 28, 2017.

VII. UNFINISHED BUSINESS – None.

VIII. NEW BUSINESS

- A. A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF RIVIERA BEACH, PALM BEACH COUNTY, FLORIDA, APPROVING SITE PLAN APPLICATION SP-17-02 TO CONSTRUCT THREE BUILDINGS FOR INDUSTRIAL AND OFFICE USE, ON APPROXIMATELY 1.7 ACRES OF VACANT LAND, IDENTIFIED BY PARCEL CONTROL NUMBER 56-43-42-31-20-000-0090; AND PROVIDING FOR AN EFFECTIVE DATE.

1. Presentation(s)
2. Public Comments
3. Board Comments

- B. AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF RIVIERA BEACH, PALM BEACH COUNTY, FLORIDA, AMENDING CHAPTER 31 OF THE CITY'S CODE OF ORDINANCES ENTITLED, "ZONING", ARTICLE VI, ENTITLED, "SUPPLEMENTAL DISTRICT REGULATIONS", SECTION 31-551, ENTITLED, "PRINCIPAL ARTERIAL COMMERCIAL DESIGN STANDARDS OVERLAY", TO AMEND EXISTING OBJECTIVES AND DISTRICT DELINEATION, AND TO ENACT NEW REGULATIONS FOR THE APPEARANCE OF STRUCTURES, LANDSCAPE DESIGN, BUFFER STANDARDS, AND SIGNAGE, AND PROVIDING FOR AN EFFECTIVE DATE.

1. Presentation(s)
2. Public Comments
3. Board Comments

C. AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF RIVIERA BEACH, PALM BEACH COUNTY, FLORIDA, AMENDING CHAPTER 27 OF THE CITY'S CODE OF ORDINANCES ENTITLED, "PLANNING", ARTICLE II, ENTITLED, "ADMINISTRATION", BY ENACTING SECTION 27-16, ENTITLED, "PLANNING MANUALS", AUTHORIZING THE CREATION OF A TECHNICAL MANUAL AND THE CREATION OF A POLICY AND PROCEDURE MANUAL, AND PROVIDING FOR AN EFFECTIVE DATE.

1. Presentation(s)
2. Public Comments
3. Board Comments

IX. WORKSHOP ITEMS – None.

X. GENERAL DISCUSSION

- A. PUBLIC COMMENTS
- B. CORRESPONDENCE
- C. PLANNING AND ZONING BOARD COMMENTS
 1. Project Updates / Upcoming Projects
 2. Upcoming P&Z Board Meetings – November 9, 2017 / December 14, 2017.

XI. ADJOURNMENT

NOTICE: In accordance with the Americans with Disabilities Act, persons in need of a special accommodation to participate in this proceeding shall, within a reasonable time prior to any proceeding, contact the City of Riviera Beach, 600 West Blue Heron Boulevard, Riviera Beach, Florida 33404, Telephone 561-845-4000 or TDD 561-840-3350, www.rivierabch.com.

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<p style="text-align: center;">CITY OF RIVIERA BEACH PLANNING AND ZONING BOARD</p> <p style="text-align: center;">---</p> <p style="text-align: center;">Thursday, September 28, 2017</p> <p style="text-align: center;">Riviera Beach Marina Event Center 190 East 13th Street Riviera Beach, Florida</p> <p style="text-align: center;">6:44 p.m. - 7:46 p.m.</p> <p style="text-align: center;">---</p> <p>IN ATTENDANCE:</p> <p>Rena James, Chair Tradrick McCoy, Vice Chair James Gallon, Board Member Edward Kunuty, Board Member Jeff Gagnon, Acting Director of Community Development Lina F. Busby, Assistant City Attorney Simone Davidson, Staff Assistant</p>	<p>1 MS. DAVIDSON: Edward Kunuty.</p> <p>2 MR. KUNUTY: Here.</p> <p>3 MS. DAVIDSON: Corey Blackwell.</p> <p>4 (No response.)</p> <p>5 MS. DAVIDSON: Rena James.</p> <p>6 CHAIR JAMES: Here.</p> <p>7 MS. DAVIDSON: You have a quorum.</p> <p>8 CHAIR JAMES: Item number III,</p> <p>9 acknowledgement of Board Member absence notification.</p> <p>10 MR. GAGNON: Yes, thank you, Madam Chair.</p> <p>11 Jeff Gagnon, Acting Director of Community</p> <p>12 Development.</p> <p>13 I did hear from a few Board Members that they</p> <p>14 would not be able to attend tonight's meeting. I heard</p> <p>15 from Ms. Shepherd, Mr. Brown, Mr. Gustafson, and</p> <p>16 Mr. Whigham is also out. And that concludes the</p> <p>17 notification.</p> <p>18 CHAIR JAMES: Additions and deletions to the</p> <p>19 agenda.</p> <p>20 MR. GAGNON: There are no additions or</p> <p>21 deletions tonight.</p> <p>22 CHAIR JAMES: Okay. Disclosure by Board</p> <p>23 Members and adoption of the agenda. No disclosures?</p> <p>24 VICE CHAIR McCOY: Move to adopt, Madam</p> <p>25 Chair.</p>
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<p>1 BE IT REMEMBERED that the following Planning</p> <p>2 and Zoning Board meeting was had at Riviera Beach</p> <p>3 Marina Event Center, 190 East 13th Street, Riviera</p> <p>4 Beach, Florida, on Thursday, September 28, 2017,</p> <p>5 beginning at 6:44 p.m., with attendees as hereinabove</p> <p>6 noted, to wit:</p> <p>7 ---</p> <p>8 CHAIR JAMES: Good evening. The meeting is</p> <p>9 now called to order. The time is 6:44. We will have a</p> <p>10 moment of silence and then the Pledge of Allegiance.</p> <p>11 (Moment of silence observed. Pledge of</p> <p>12 Allegiance recited.)</p> <p>13 CHAIR JAMES: Roll call.</p> <p>14 MS. DAVIDSON: Anthony Brown.</p> <p>15 (No response.)</p> <p>16 MS. DAVIDSON: Margaret Shepherd.</p> <p>17 (No response.)</p> <p>18 MS. DAVIDSON: James Gallon.</p> <p>19 MR. GALLON: Here.</p> <p>20 MS. DAVIDSON: Tradrick McCoy.</p> <p>21 MR. McCOY: Here.</p> <p>22 MS. DAVIDSON: Jon Gustafson.</p> <p>23 (No response.)</p> <p>24 MS. DAVIDSON: Julius Whigham.</p> <p>25 (No response.)</p>	<p>1 MR. KUNUTY: Second.</p> <p>2 CHAIR JAMES: Roll call.</p> <p>3 MS. DAVIDSON: James Gallon.</p> <p>4 MR. GALLON: Yes.</p> <p>5 MS. DAVIDSON: Edward Kunuty.</p> <p>6 MR. KUNUTY: Yes.</p> <p>7 MS. DAVIDSON: Tradrick McCoy.</p> <p>8 VICE CHAIR McCOY: Yes.</p> <p>9 MS. DAVIDSON: Rena James.</p> <p>10 CHAIR JAMES: Yes.</p> <p>11 Item VI, approval of the minutes from August</p> <p>12 24, 2017. Is there a motion?</p> <p>13 VICE CHAIR McCOY: Madam Chair, move to</p> <p>14 approve the minutes from August 24 with the necessary</p> <p>15 changes.</p> <p>16 CHAIR JAMES: Is there a second?</p> <p>17 MR. KUNUTY: Second.</p> <p>18 CHAIR JAMES: Roll call.</p> <p>19 MS. DAVIDSON: James Gallon.</p> <p>20 MR. GALLON: Yes.</p> <p>21 MS. DAVIDSON: Edward Kunuty.</p> <p>22 MR. KUNUTY: Yes.</p> <p>23 MS. DAVIDSON: Tradrick McCoy.</p> <p>24 VICE CHAIR McCOY: Yes.</p> <p>25 MS. DAVIDSON: Rena James.</p>

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<p>1 CHAIR JAMES: Yes.</p> <p>2 Unfinished business.</p> <p>3 MR. GAGNON: Thank you, Madam Chair.</p> <p>4 Tonight under unfinished business we have</p> <p>5 four items, A, B, C and D. All are interrelated items</p> <p>6 associated with 105 Broadway, which is a parcel owned</p> <p>7 by the Port of Palm Beach. This item was workshopped</p> <p>8 last month as well. And within this request, there's a</p> <p>9 request for a future land use map amendment, zoning map</p> <p>10 amendment, site plan approval, as well as a plat</p> <p>11 approval.</p> <p>12 If it pleases the Board, what I'd like to do,</p> <p>13 similar to the last time we presented this, is do a</p> <p>14 combined presentation for all four items, being that</p> <p>15 it's all for the same parcel. And I would ask that the</p> <p>16 Board make four separate motions for each item</p> <p>17 following the presentation, if that pleases the Board.</p> <p>18 CHAIR JAMES: Pleases the Board? Proceed.</p> <p>19 MR. GAGNON: All right, thank you.</p> <p>20 So as you can see on the screen currently,</p> <p>21 the parcel outlined in red is the parcel in question,</p> <p>22 105 Broadway. This is actually an historic aerial of</p> <p>23 this parcel. This was when the Energy Center was being</p> <p>24 constructed, which is located just to the east of the</p> <p>25 site.</p>	<p>1 So being that this parcel has potential</p> <p>2 impacts to both the City of Riviera Beach, the City of</p> <p>3 West Palm Beach and the Port of Palm Beach, we did have</p> <p>4 tri-party meetings, and as a result of those meetings,</p> <p>5 we came up with specific site use conditions. And what</p> <p>6 we did is actually incorporate them on the site plan.</p> <p>7 And the next screen will zoom into this</p> <p>8 portion of the site plan, but just for reference, all</p> <p>9 these use conditions are placed on the site plan</p> <p>10 itself. So this is a zoomed-in view of that site use</p> <p>11 provision section from the site plan. This was copied</p> <p>12 and pasted from the site plan.</p> <p>13 So again, this was following multiple</p> <p>14 meetings over really a span of over a year between</p> <p>15 those three entities. And within the backup material,</p> <p>16 there actually is an approval letter from the City of</p> <p>17 West Palm Beach supporting these specific use</p> <p>18 provisions. And they worked, again, hand in hand with</p> <p>19 the City and the Port to come up with language that was</p> <p>20 suitable for the use of this property moving forward.</p> <p>21 Here's a landscape plan. Both the east and</p> <p>22 west portion of the parcel are shown in zoomed-in view,</p> <p>23 so both of these sections are shown in more detail.</p> <p>24 You can notice along Broadway there's a new landscape</p> <p>25 package that's being proposed, so we want to make the</p>
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<p>1 This is the southernmost parcel in the City</p> <p>2 of Riviera Beach. The southernmost boundary of this</p> <p>3 parcel is actually adjacent to the City of West Palm</p> <p>4 Beach, so with this proposal we worked closely with</p> <p>5 both the City of West Palm Beach, the Port of Palm</p> <p>6 Beach, who owns the property, as well as City staff.</p> <p>7 So the land use amendment, the current</p> <p>8 condition is shown on the left side of the screen. It</p> <p>9 currently has a utilities future land use designation,</p> <p>10 and what's being proposed is to change that designation</p> <p>11 to an industrial land use designation. This will</p> <p>12 provide for also the zoning amendment that's being</p> <p>13 proposed, which is shown currently on the screen now.</p> <p>14 And it's a requirement to have the future</p> <p>15 land use match the zoning designation. So as you can</p> <p>16 see, currently it has a utility zoning designation,</p> <p>17 which matches that future land use designation. And</p> <p>18 what's being proposed is a limited industrial zoning</p> <p>19 designation, which would be consistent with the</p> <p>20 industrial future land use that's currently proposed.</p> <p>21 So in reference to the backup material, all</p> <p>22 the information is provided in the backup as well.</p> <p>23 This is the cover sheet to the site plan submittal. It</p> <p>24 provides a location map as well as a current aerial of</p> <p>25 the project site.</p>	<p>1 entrance in between West Palm and Riviera Beach, you</p> <p>2 know, look more like an entrance itself, improve that</p> <p>3 landscape package.</p> <p>4 Also, as part of the request from West Palm</p> <p>5 Beach, there is a row of sabal palms that will be</p> <p>6 planted on the southern property line, and that will</p> <p>7 run approximately here. And that buffer will continue</p> <p>8 on the west side of the property and run north as well.</p> <p>9 So the final element is the plat. Upon</p> <p>10 research, we realized that this parcel was never</p> <p>11 platted, so what the plat does is just provide a legal</p> <p>12 description associated with the boundary of the parcel.</p> <p>13 It's a really relatively simple plat, but it was</p> <p>14 necessary in order to clean up the legalities</p> <p>15 associated with the property in order to move forward</p> <p>16 with site plan approval.</p> <p>17 So with that, that concludes the staff</p> <p>18 presentation. Mr. Casey Long is here tonight as well,</p> <p>19 as well as other Port representatives if you have any</p> <p>20 further questions.</p> <p>21 Mr. Long, would you like to --</p> <p>22 MR. LONG: Hi, good evening. Thank you.</p> <p>23 Casey Long with Kimley-Horn, for the record,</p> <p>24 representing the Port of Palm Beach. Thank you for</p> <p>25 having us again, the Port, to discuss the approval of</p>

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<p>1 this project.</p> <p>2 The workshop went into a lot of detail, and</p> <p>3 we've been able to get the letter from the City of West</p> <p>4 Palm Beach, as requested by Mr. McCoy, and we've also</p> <p>5 brought with us the Port's attorney in case there are</p> <p>6 any questions with respect to the DOT ownership and the</p> <p>7 property issues.</p> <p>8 As mentioned by Mr. Gagnon, the property is</p> <p>9 limited by the deed restriction to specific uses of the</p> <p>10 property, and even further limited with respect to the</p> <p>11 site plan as agreed to with the City of West Palm</p> <p>12 Beach. What we basically worked out as far as details</p> <p>13 was 25 foot high stacking of the containers, equipment,</p> <p>14 cargo of any sort, but it had to be set back 60 feet</p> <p>15 from the property line. And the City of West Palm</p> <p>16 Beach has accepted that. They've also put the</p> <p>17 restrictions on the time use.</p> <p>18 So we look forward to any comments you may</p> <p>19 have and ask that you approve this, please.</p> <p>20 CHAIR JAMES: Thank you.</p> <p>21 Are there any public comment cards?</p> <p>22 MR. GAGNON: No, ma'am.</p> <p>23 CHAIR JAMES: So then we'll move right into</p> <p>24 Board comments. Mr. Gallon, if you want to begin.</p> <p>25 MR. GALLON: None.</p>	<p>1 MR. KUNUTY: I have another question. I</p> <p>2 think this probably is for staff.</p> <p>3 When we abandoned Port Road to the Port,</p> <p>4 there was some agreement that there was going to be</p> <p>5 another bypass for -- from U.S. 1 to take the place of</p> <p>6 Port Road. If I remember correctly, that was the piece</p> <p>7 of property that the bypass was going to use. So what</p> <p>8 happened to that bypass agreement, because basically,</p> <p>9 you know, for any kind of real transportation, like</p> <p>10 trucks and stuff, it's a two mile gap between 45th</p> <p>11 Street and Blue Heron. So my question is: What</p> <p>12 happened to that original agreement?</p> <p>13 MR. GAGNON: So I don't have the exact</p> <p>14 answer. I wasn't employed with the City during that</p> <p>15 time, so it was more than ten years ago. From my</p> <p>16 opinion, it seems as if certain conditions associated</p> <p>17 with the abandonment of that specific roadway, the Port</p> <p>18 roadway, were provided, however, throughout the years</p> <p>19 it was not fulfilled.</p> <p>20 One of the main reasons was -- and I'll pull</p> <p>21 up the aerial again. One of the major reasons was on</p> <p>22 the west side of the property you'll notice the FEC</p> <p>23 rail line. And from what I've heard and what I've</p> <p>24 received from both the Port and other residents was</p> <p>25 that the FEC would not agree to allow another crossover</p>
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<p>1 CHAIR JAMES: Mr. Kunuty.</p> <p>2 MR. KUNUTY: Just a couple that relate to</p> <p>3 different parts of the four items.</p> <p>4 Mr. Long, could you explain the original deed</p> <p>5 restrictions that --</p> <p>6 MR. LONG: Yes, thank you. I can certainly</p> <p>7 attempt to, and if necessary, ask Mr. Smith to come up.</p> <p>8 The reverter clause within this quit claim</p> <p>9 deed reads that the property herein described is to be</p> <p>10 used for storage of rolling and bulk cargo to support</p> <p>11 the movement and intermodal transport of cargo in</p> <p>12 support of commerce and trade activities, parking of</p> <p>13 vehicles and equipment and storage of materials.</p> <p>14 And essentially, those words were used in the</p> <p>15 development of this, just to make sure that we stayed</p> <p>16 in line with that. We did expand on it to describe</p> <p>17 what types of cargo, but it was all within the bounds</p> <p>18 of the reverter.</p> <p>19 MR. KUNUTY: And those restrictions are still</p> <p>20 current on that property?</p> <p>21 MR. LONG: On the property currently?</p> <p>22 MR. KUNUTY: Yes.</p> <p>23 MR. LONG: The restrictions are in place --</p> <p>24 MR. KUNUTY: Are a part of this.</p> <p>25 MR. LONG: Are a part of this, yes.</p>	<p>1 at this point. And it was cost prohibitive to either</p> <p>2 build over or under, so that was really the major</p> <p>3 stumbling block that stopped that proposal from moving</p> <p>4 forward.</p> <p>5 And it was at one time part of the</p> <p>6 Metropolitan Planning Organization's Master Plan, and</p> <p>7 it was scheduled to move forward, but over the years,</p> <p>8 and with that setback, it was removed from their Master</p> <p>9 Plan, and it's no longer even in consideration.</p> <p>10 MR. KUNUTY: You're saying it was removed</p> <p>11 from the MPO plan?</p> <p>12 MR. GAGNON: Yes, sir, a few -- I think it</p> <p>13 was a few years ago now.</p> <p>14 MR. KUNUTY: Okay, no other questions.</p> <p>15 CHAIR JAMES: Mr. McCoy.</p> <p>16 VICE CHAIR MCCOY: Nothing, Madam Chair.</p> <p>17 CHAIR JAMES: I don't have any comments as</p> <p>18 well. Is there a motion?</p> <p>19 VICE CHAIR MCCOY: Move to approve.</p> <p>20 CHAIR JAMES: Is there a second?</p> <p>21 MR. GALLON: Second.</p> <p>22 CHAIR JAMES: Roll call.</p> <p>23 MS. DAVIDSON: James Gallon.</p> <p>24 MR. GALLON: Yes.</p> <p>25 MS. DAVIDSON: Edward Kunuty.</p>

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<p>1 MR. KUNUTY: Yes.</p> <p>2 MS. DAVIDSON: Tradrick McCoy.</p> <p>3 VICE CHAIR McCOY: Yes.</p> <p>4 MS. DAVIDSON: Rena James.</p> <p>5 CHAIR JAMES: Yes.</p> <p>6 MR. KUNUTY: Madam Chair.</p> <p>7 CHAIR JAMES: Yes.</p> <p>8 MR. KUNUTY: Are we doing four resolutions,</p> <p>9 four motions?</p> <p>10 CHAIR JAMES: Yes, staff did ask that we do</p> <p>11 each one individually.</p> <p>12 MR. KUNUTY: Okay.</p> <p>13 VICE CHAIR McCOY: So I'm --</p> <p>14 CHAIR JAMES: So we're looking for a motion</p> <p>15 for item --</p> <p>16 VICE CHAIR McCOY: Madam Chair.</p> <p>17 CHAIR JAMES: Go ahead.</p> <p>18 VICE CHAIR McCOY: So which one was that? I</p> <p>19 imagine that was A --</p> <p>20 CHAIR JAMES: Yes.</p> <p>21 VICE CHAIR McCOY: -- for the land use.</p> <p>22 Okay, well, I move to approve the amending the City</p> <p>23 zoning map designation for 105 Broadway.</p> <p>24 CHAIR JAMES: Is there a second?</p> <p>25 MR. GALLON: Second.</p>	<p>1 application, Madam Chair.</p> <p>2 CHAIR JAMES: Is there a second?</p> <p>3 MR. GALLON: Second.</p> <p>4 CHAIR JAMES: Roll call.</p> <p>5 MS. DAVIDSON: James Gallon.</p> <p>6 MR. GALLON: Yes.</p> <p>7 MS. DAVIDSON: Edward Kunuty.</p> <p>8 MR. KUNUTY: Yes.</p> <p>9 MS. DAVIDSON: Tradrick McCoy.</p> <p>10 VICE CHAIR McCOY: Yes.</p> <p>11 MS. DAVIDSON: Rena James.</p> <p>12 CHAIR JAMES: Yes.</p> <p>13 MS. DAVIDSON: Motion approved.</p> <p>14 VICE CHAIR McCOY: Madam Chair.</p> <p>15 CHAIR JAMES: Yes, Mr. McCoy.</p> <p>16 VICE CHAIR McCOY: I'm glad that we've only</p> <p>17 seen this item three times. That's the longest</p> <p>18 anything has ever been on our agenda, so I'm glad to</p> <p>19 have gotten it there.</p> <p>20 MR. KUNUTY: Do you have it memorized?</p> <p>21 CHAIR JAMES: On to new business.</p> <p>22 MR. GAGNON: Thank you, Madam Chair.</p> <p>23 Yes, we have three items under new business,</p> <p>24 A, B and C. Coincidentally, all three are located</p> <p>25 within the Haverhill Business Park. So additionally,</p>
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<p>1 CHAIR JAMES: Roll call.</p> <p>2 MS. DAVIDSON: James Gallon.</p> <p>3 MR. GALLON: Yes.</p> <p>4 MS. DAVIDSON: Edward Kunuty.</p> <p>5 MR. KUNUTY: Yes.</p> <p>6 MS. DAVIDSON: Tradrick McCoy.</p> <p>7 VICE CHAIR McCOY: Yes.</p> <p>8 MS. DAVIDSON: Rena James.</p> <p>9 CHAIR JAMES: Yes.</p> <p>10 MS. DAVIDSON: Motion approved.</p> <p>11 VICE CHAIR McCOY: Motion to approve site</p> <p>12 plan, Madam Chair.</p> <p>13 CHAIR JAMES: Is there a second?</p> <p>14 MR. GALLON: Second.</p> <p>15 CHAIR JAMES: Roll call.</p> <p>16 MS. DAVIDSON: James Gallon.</p> <p>17 MR. GALLON: Yes.</p> <p>18 MS. DAVIDSON: Edward Kunuty.</p> <p>19 MR. KUNUTY: Yes.</p> <p>20 MS. DAVIDSON: Tradrick McCoy.</p> <p>21 VICE CHAIR McCOY: Yes.</p> <p>22 MS. DAVIDSON: Rena James.</p> <p>23 CHAIR JAMES: Yes.</p> <p>24 MS. DAVIDSON: Motion approved.</p> <p>25 VICE CHAIR McCOY: Move to approve the plat</p>	<p>1 they're all industrial developments that have similar</p> <p>2 style uses as well. I don't have a group presentation,</p> <p>3 but there are some similar elements in the presentation</p> <p>4 that we'll be able to draw from.</p> <p>5 So for the record, letter A under new</p> <p>6 business is a resolution of the City Council of the</p> <p>7 City of Riviera Beach, Palm Beach County, Florida,</p> <p>8 approving site plan and special exception application</p> <p>9 SP-16-19 and SE-16-03 to build and operate a 41,400</p> <p>10 square foot multi-tenant warehouse with accessory</p> <p>11 office on approximately 2.4 acres of vacant land within</p> <p>12 the Haverhill Business Park, lots 10 and 11, identified</p> <p>13 by parcel control number 56-42-42-26-02-000-0100 and</p> <p>14 56-42-42-26-02-000-0110, and providing for an effective</p> <p>15 date.</p> <p>16 So this item is for lots 10 and 11. So we</p> <p>17 have an aerial view up on the screen currently of the</p> <p>18 Haverhill Business Park, and what I've done is</p> <p>19 identified the five different lots that we'll be</p> <p>20 discussing tonight. Ten and 11 are highlighted in</p> <p>21 yellow, and as I go to other presentations, I'll use</p> <p>22 the same aerial and just indicate which parcel the</p> <p>23 project proposal corresponds to.</p> <p>24 So again, this project is for 10 and 11,</p> <p>25 which is on the north side of the Haverhill Business</p>

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<p>1 Parkway roadway loop itself. And again, it does 2 comprise both parcels. 3 So the orientation of the site plan, the 4 bottom of the screen will be the north side of the site 5 plan. So the building would go back. The building 6 would be situated here, and the parking area and 7 entrance up front. 8 So again, here's the site plan. It's an 9 industrial use. It's for multi-tenant use in the 10 future. It was originally provided, the application 11 was provided by a company called Western Beef. They do 12 food distribution, so that's intended for a portion of 13 the site. And then there's also a proposal for 14 automotive style uses, and other similar industrial 15 uses would also fit within these bays. 16 So here's the corresponding landscape plan. 17 You can see the landscape buffer throughout the site, 18 as well as internal landscaping. And that was 19 landscaped to our code requirements. 20 And this is an elevation of the building, so 21 both north, south, east and west elevations are 22 provided. And let me find -- within our staff backup 23 we have the special exception analysis criteria. As 24 you can see, the project meets all the special 25 exception criteria, which includes ingress and egress</p>	<p>1 five percent from the originally approved site plan. 2 And Mr. Vincent Kafer is here as well, agent 3 for the applicant, if the Board has any further 4 questions. 5 CHAIR JAMES: Would the Board like to hear 6 from the applicant? 7 MR. KUNUTY: Yes. 8 MR. KAfer: Good evening. 9 CHAIR JAMES: Good evening. 10 MR. KAfer: I'm Vincent Kafer. I'm the 11 owner's agent, hired from -- for the Western Beef. 12 It's a grocery chain based in the Newark City 13 metropolitan area. And the primary idea for this 14 project is for the Western Beef business. They have 15 over 25 stores in the metropolitan area of New York, 16 and three stores in south Florida, based in Lake Worth, 17 Boca Raton and Fort Lauderdale. 18 So they are thinking to expand to the 19 northern cities of the state, and they see that site as 20 ideal for them because it is in between the turnpike 21 and I-95. So they -- we will start with a small 22 portion of the building for dry storage, and then as 23 they progress, they intend later on to take over the 24 whole building as the business develops in this area. 25 So I'm open for any questions.</p>
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<p>1 to the property, off-street parking and loading areas, 2 refuse and service areas, utilities, screening, 3 buffering and landscaping. Signs and outside displays 4 will be permitted separately, and required yards and 5 open spaces are also met. 6 So staff does recommend approval of the 7 project with our standard conditions of approval, 8 including a two year landscape performance bond for 110 9 percent of the value of landscaping and irrigation. 10 Construction and landscaping improvements 11 must be initiated within 18 months of the effective 12 date of this resolution. 13 This development must receive final 14 Certificate of Occupancy from the City for all 15 buildings and units approved within five years of 16 approval. 17 All future advertising must state that the 18 development is located in the City of Riviera Beach. 19 Once approved, this resolution shall 20 supersede any previous site plan approval resolutions 21 associated with the property, causing previous site 22 plan approval resolutions to be null and void. 23 City Council authorizes City staff to approve 24 future amendments to the site plan administratively, so 25 long as the site plan does not deviate greater than</p>	<p>1 Also, the plan for the building development 2 and the initial phase of it is to divide the building 3 in five units. So the owner is also a car racer per se 4 as a hobby, and he has a lot of relationships with, you 5 know, related companies to car racing and performance 6 cars. 7 So he has right now four companies that are 8 joining this project with him, that are under 9 precontract with them, so they are just waiting for the 10 building to get built. Because also on the same side 11 of the development, there are a lot of performance 12 racing car related businesses, so they like to be, you 13 know, together. So that's the idea. 14 But after that, Mr. Castellana, which is the 15 Chairman for Western Beef, the idea is to take over the 16 whole building. That's why it's designed with the 17 parking lot with over 100 foot of frontage, so big semi 18 trucks can park and move. 19 And so I'm open for any questions if I can 20 help you and assist you guys. 21 MR. KUNUTY: Madam Chair. 22 CHAIR JAMES: Yes, Mr. Kunuty. 23 MR. KUNUTY: I'm curious. Western Beef, is 24 this -- are they stand-alone stores, or are they part 25 of a, you know, like a supermarket chain?</p>

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<p>1 MR. KAFER: They are a supermarket chain.</p> <p>2 MR. KUNUTY: They're a supermarket.</p> <p>3 MR. KAFER: Yes.</p> <p>4 MR. KUNUTY: So they're called Western Beef,</p> <p>5 but they're a full service supermarket?</p> <p>6 MR. KAFER: Oh, yes, yes, yes, yes. I</p> <p>7 believe -- that's my belief, that the beginning of the</p> <p>8 business was beef, but then, you know, as the business</p> <p>9 grow, they went to -- nowadays they are like a Publix</p> <p>10 over there.</p> <p>11 MR. KUNUTY: Okay, I was going to ask you</p> <p>12 that. So they're more like a Publix.</p> <p>13 MR. KAFER: Right, right. Right now they</p> <p>14 have a contract with a company down south here to store</p> <p>15 all the meat products, so they are not going to start</p> <p>16 immediately there. There is going to be a dry storage</p> <p>17 in the beginning. But the idea is to concentrate all</p> <p>18 the, you know, the logistics in the same building.</p> <p>19 MR. KUNUTY: I would just like to say that</p> <p>20 that's a nice looking addition, the building is a nice</p> <p>21 looking addition to Haverhill Park, so I think it will</p> <p>22 be --</p> <p>23 MR. KAFER: Thank you.</p> <p>24 MR. KUNUTY: -- should be an asset.</p> <p>25 Thank you. No other questions.</p>	<p>1 performance racing.</p> <p>2 MR. KAFER: Yes. It's more on the Chairman's</p> <p>3 side than the actual corporation of Western Beef.</p> <p>4 VICE CHAIR McCOY: Okay.</p> <p>5 MR. KAFER: They're going to be rental</p> <p>6 spaces, not -- they're not going to purchase part of</p> <p>7 the building in the beginning.</p> <p>8 VICE CHAIR McCOY: My only concern was, and I</p> <p>9 don't think that it would, but Mr. Gagnon, would that</p> <p>10 create a, I guess, a potential zoning problem for</p> <p>11 having, I guess -- I don't even know if you would call</p> <p>12 it an auto repair shop, but with the compatibility of</p> <p>13 those, a mechanic shop being in the industrial area?</p> <p>14 MR. GAGNON: What's interesting with this</p> <p>15 proposal, being that it is industrial future land use</p> <p>16 and industrial zoning, it's more of a storage component</p> <p>17 as far as the Western Beef. So think of it more of a</p> <p>18 storage, industrial type of use versus more of a</p> <p>19 commercial use.</p> <p>20 So any sort of storage of, let's say, oil or</p> <p>21 fuel or anything like that, there's other specific</p> <p>22 building standards that need to be met in order to</p> <p>23 ensure the safety of everyone in all the units. But</p> <p>24 from a zoning standpoint, I don't see any specific</p> <p>25 compatibility issues.</p>
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<p>1 CHAIR JAMES: Mr. Gallon.</p> <p>2 MR. GALLON: None.</p> <p>3 CHAIR JAMES: Mr. McCoy.</p> <p>4 VICE CHAIR McCOY: For the life of me, I was</p> <p>5 trying to figure out what exactly does Western Beef</p> <p>6 have to do with auto racing, but I guess I just since</p> <p>7 learned it. So they are going to be bays also that's</p> <p>8 going to house auto mechanic shops? Is that correct?</p> <p>9 MR. KAFER: Well, it's performance car for</p> <p>10 racing.</p> <p>11 VICE CHAIR McCOY: But they're not affiliated</p> <p>12 with Western Beef?</p> <p>13 MR. KAFER: No, no, it has nothing to do with</p> <p>14 Western Beef.</p> <p>15 VICE CHAIR McCOY: Okay.</p> <p>16 MR. KAFER: They're, I could say, friends of</p> <p>17 the owner or the Chairman of Western Beef. They have</p> <p>18 the same passion, and they share the same kind of a</p> <p>19 business. So that was the phase one plan to occupy the</p> <p>20 building, as they cannot take over 41,000 square foot</p> <p>21 right now, so most of the building will be empty. And</p> <p>22 quite frankly, that's a good strategy, you know, to</p> <p>23 make the business -- you know, growth. So that's the</p> <p>24 strategy of the Western Beef.</p> <p>25 VICE CHAIR McCOY: Western Beef and</p>	<p>1 VICE CHAIR McCOY: Okay, thank you.</p> <p>2 That's it, Madam Chair.</p> <p>3 CHAIR JAMES: I was just looking at the</p> <p>4 address, and it's in Haverhill and it's in Riviera</p> <p>5 Beach, but the zip code is 33407.</p> <p>6 MR. GAGNON: That's the accurate zip code.</p> <p>7 There are four zip codes in Riviera Beach.</p> <p>8 CHAIR JAMES: Did not realize that.</p> <p>9 MR. GAGNON: I'll actually send out the zip</p> <p>10 code map to the Board tomorrow. It's interesting to</p> <p>11 see, actually.</p> <p>12 CHAIR JAMES: I don't have any questions.</p> <p>13 Well, yes, I do. So just so I'm understanding this</p> <p>14 correctly, one of the bays will be for Western Beef,</p> <p>15 and the other bays will be for the motorcars?</p> <p>16 MR. KAFER: Yes.</p> <p>17 CHAIR JAMES: So there will be no other</p> <p>18 tenants, just those two?</p> <p>19 MR. KAFER: No, it will be, with the Western</p> <p>20 Beef, it's going to be five, total, in the beginning.</p> <p>21 CHAIR JAMES: Okay.</p> <p>22 MR. KAFER: But Western Beef owns the</p> <p>23 building.</p> <p>24 CHAIR JAMES: Okay. Those are my only</p> <p>25 questions. We don't have any comment cards from the</p>

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<p>1 public, correct?</p> <p>2 MR. GAGNON: No.</p> <p>3 CHAIR JAMES: So is there a motion?</p> <p>4 VICE CHAIR McCOY: Madam Chair, move to</p> <p>5 approve the site plan with special exception.</p> <p>6 CHAIR JAMES: Is there a second?</p> <p>7 MR. KUNUTY: Second.</p> <p>8 CHAIR JAMES: Roll call.</p> <p>9 MS. DAVIDSON: James Gallon.</p> <p>10 MR. GALLON: Yes.</p> <p>11 MS. DAVIDSON: Edward Kunuty.</p> <p>12 MR. KUNUTY: Yes.</p> <p>13 MS. DAVIDSON: Tradrick McCoy.</p> <p>14 VICE CHAIR McCOY: Yes.</p> <p>15 MS. DAVIDSON: Rena James.</p> <p>16 CHAIR JAMES: Yes.</p> <p>17 MS. DAVIDSON: Unanimous vote.</p> <p>18 CHAIR JAMES: Is there a motion for item B?</p> <p>19 VICE CHAIR McCOY: Mr. Gagnon.</p> <p>20 MR. GAGNON: Yes, sir.</p> <p>21 VICE CHAIR McCOY: So why are there two</p> <p>22 different application numbers? Is there a reason for</p> <p>23 that, because I thought the item B was for, I guess,</p> <p>24 the last item, but it appears that's the same thing.</p> <p>25 Am I right?</p>	<p>1 into two, and two will remain as is, as an independent</p> <p>2 lot.</p> <p>3 VICE CHAIR McCOY: And perhaps I didn't get</p> <p>4 this: How are we assigning these numbers?</p> <p>5 MR. GAGNON: These are how the lots were</p> <p>6 assigned when the entire development was platted</p> <p>7 originally, so this is the legal description associated</p> <p>8 with these parcels currently.</p> <p>9 VICE CHAIR McCOY: Okay, so we're on 9 and</p> <p>10 12.</p> <p>11 CHAIR JAMES: Question, Jeff.</p> <p>12 MR. GAGNON: Yes.</p> <p>13 CHAIR JAMES: So if that's the case, are they</p> <p>14 going to apply for a combination of the parcels as well</p> <p>15 at the Property Appraiser's Office?</p> <p>16 MR. GAGNON: They will for 10 and 11 and also</p> <p>17 for 9 and 12.</p> <p>18 CHAIR JAMES: Okay, thank you.</p> <p>19 MR. GAGNON: I think we need a motion --</p> <p>20 CHAIR JAMES: Motion for item B.</p> <p>21 VICE CHAIR McCOY: You know, I was just</p> <p>22 confused once you told me that it two separate owners.</p> <p>23 I just -- I'm trying to figure out, how does that work?</p> <p>24 And we get one project, one site plan and one</p> <p>25 authorization, I think one agent authorization?</p>
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<p>1 MR. GAGNON: So all three items in new</p> <p>2 business appear to be very similar or almost identical,</p> <p>3 but they're actually three different applications. It</p> <p>4 all just happened to be within the Haverhill Business</p> <p>5 Parkway. So under new business, letter A -- and what I</p> <p>6 did, I actually, on my agenda packet, I highlighted the</p> <p>7 specific lots so I wouldn't lose track of them. But</p> <p>8 letter A is for lots 10 and 11, B is lots 9 and 12, and</p> <p>9 C is lot 2.</p> <p>10 VICE CHAIR McCOY: Okay, I see it now. But</p> <p>11 is there a requirement to, I guess, unify the title or</p> <p>12 something like that?</p> <p>13 MR. GAGNON: As part of our condition, the</p> <p>14 actual -- and I didn't mention for the previous</p> <p>15 project, but there is a unity of title that will be</p> <p>16 performed, so that way -- and let me bring up the</p> <p>17 aerial. So there will be a unity of title that joins</p> <p>18 these two and form one master lot. The same as 9 and</p> <p>19 12.</p> <p>20 VICE CHAIR McCOY: But not all four?</p> <p>21 MR. GAGNON: No, because they're two separate</p> <p>22 owners. So these two are owned by Western Beef, and</p> <p>23 that was the project we just described and discussed.</p> <p>24 The project, if hopefully the Board chooses, B is 9 and</p> <p>25 12, and then C is two. So these four lots will turn</p>	<p>1 MR. GAGNON: There should be three. There's</p> <p>2 three individual staff reports, three individual</p> <p>3 applications, three site plans, three landscape plans.</p> <p>4 VICE CHAIR McCOY: Okay.</p> <p>5 CHAIR JAMES: We still need a motion.</p> <p>6 MR. KUNUTY: Madam Chair, I have a question</p> <p>7 for staff.</p> <p>8 CHAIR JAMES: Yes, Mr. Kunuty.</p> <p>9 MR. KUNUTY: After looking this over, why are</p> <p>10 we doing -- I'm not sure I understand why a special</p> <p>11 exception is necessary for B.</p> <p>12 MR. GAGNON: It's because within our zoning</p> <p>13 categories, any sort of warehousing or storage requires</p> <p>14 a special exception approval, so that's what triggered</p> <p>15 the additional review.</p> <p>16 MR. KUNUTY: Okay, no other questions.</p> <p>17 VICE CHAIR McCOY: Move to approve, Madam</p> <p>18 Chair.</p> <p>19 CHAIR JAMES: Is there a second?</p> <p>20 MR. KUNUTY: Second.</p> <p>21 CHAIR JAMES: Roll call.</p> <p>22 MS. DAVIDSON: James Gallon.</p> <p>23 MR. GALLON: Yes.</p> <p>24 MS. DAVIDSON: Edward Kunuty.</p> <p>25 MR. KUNUTY: Yes.</p>

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<p>1 MS. DAVIDSON: Tradrick McCoy. 2 VICE CHAIR McCOY: Yes. 3 MS. DAVIDSON: Rena James. 4 CHAIR JAMES: Yes. 5 MS. DAVIDSON: Unanimous vote. 6 MR. GAGNON: Just for a point of order, so 7 that's to hear the item, correct? 8 CHAIR JAMES: Yes, because we have not heard 9 it. 10 MR. GAGNON: Okay, just to clarify for the 11 record, so I have three individual presentations, one 12 for each item. So it's not grouped the same way that 13 the Port item was, so they're all independent items. 14 So we'll consider that the motion to bring it to the 15 floor to hear the item. Yes? 16 CHAIR JAMES: Yes. 17 MR. GAGNON: Okay, thank you. 18 So for the record, B is a resolution of the 19 City Council of the City of Riviera Beach, Palm Beach 20 County, Florida, approving the site plan and special 21 exception application SP-17-01 and SE-17-01 to build 22 and operate a 44,000 square foot private storage 23 facility on approximately 2.4 acres of vacant land 24 within the Haverhill Business Park. That's for lots 9 25 and 12, identified by parcel control number</p>	<p>1 the second building. 2 So similar to the presentation and project 3 application that was just approved, this does require a 4 special exception approval as well. And just for the 5 record, I want to read through the items that were met 6 by the applicant for the special exception analysis. 7 So they met ingress and egress from the 8 property, off-street parking and loading areas, refuse 9 and service areas, utilities are available, screening 10 and buffering and landscaping. Signs and outside 11 displays are actually provided with the elevation 12 drawings, and required yards and open spaces are also 13 met with this development proposal. 14 So staff, in conclusion, recommends approval 15 of the projects with the following conditions, that a 16 two year landscaping performance bond for 110 percent 17 of the value of landscaping and irrigation will be 18 required. 19 Construction and landscaping improvements 20 must be initiated within 18 months of the effective 21 date of the resolution. 22 Development must receive final Certificate of 23 Occupancy from the City for all buildings and units 24 approved within five years of the approval. 25 All future advertising must state that the</p>
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<p>1 56-42-42-26-02-000-0120 and 56-42-42-26-02-000-0090, 2 and providing for an effective date. 3 So as just shown, this development proposal 4 is for lots 9 and 12 within the Haverhill Business 5 Parkway. Before you on the screen and also included in 6 your backup material is the site plan. So there is 7 building A and B that's proposed with this development. 8 A is the building to the north, and B is to the south. 9 To orient everyone to the site plan, north is 10 actually up on the screen here, and Haverhill Business 11 Parkway runs both on, I guess it's the east and west 12 side, even though it's slightly slanted, but we'll say 13 east and west side, and Haverhill itself is to the 14 south. 15 So here's the landscape plan. You can see a 16 landscape buffer surrounding the development, and 17 there's landscaping internally as well. 18 So I thought the aerial view -- excuse me -- 19 the elevations for this building were very interesting, 20 kind of unique. The project itself was called The 21 Hanger, and I guess that was modeled after an airplane 22 hanger, so some of the architectural features are 23 reminiscent of an airplane hanger, I guess you could 24 say. But pretty interesting design for the use itself, 25 which is for storage. And this is the elevations for</p>	<p>1 development is located in the City of Riviera Beach. 2 Once approved, this resolution shall 3 supersede any previous site plan approval resolutions 4 associated with the property. 5 And City Council authorizes City staff to 6 approve future amendments to the site plan 7 administratively, so long as the site plan does not 8 deviate greater than five percent from the originally 9 approved site plan. 10 And Mr. Cunningham is also present tonight if 11 you have any questions for the applicant. 12 VICE CHAIR McCOY: Mr. Gagnon. 13 MR. GAGNON: Yes, sir. 14 VICE CHAIR McCOY: When did we -- is this 15 new, to require five years for the C.O.? 16 MR. GAGNON: That's been standard language. 17 That's actually in our Code of Ordinances. 18 VICE CHAIR McCOY: But it hasn't been in our 19 packets before, right, because this is the first -- 20 MR. GAGNON: I think it has. 21 VICE CHAIR McCOY: -- time I think I have 22 noticed it. I remember the 18 months for the start or 23 initiation of construction, but the final C.O. -- 24 MR. GAGNON: Yes, we started incorporating 25 that. It is part of the Code of Ordinances, but we've</p>

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<p>1 just inserted it into our staff presentations probably 2 a year and a half ago. And it may not apply to all of 3 the projects, so maybe that's why it's not associated 4 with all of them, but --</p> <p>5 VICE CHAIR McCOY: And I guess perhaps this 6 is my first time noticing. But I'm thinking in the 7 event that the C.O. is not acquired, what happens? 8 Does that mean they surrender everything, like do you 9 start back from the beginning? I mean what exactly 10 happens if, you know, they don't get that timeframe for 11 a C.O., because it would essentially mean everything is 12 completed, with the exception of, I believe, 13 inspections. Am I right?</p> <p>14 MR. GAGNON: Well, the issuance of the C.O. 15 is the final occupancy to allow someone to actually 16 physically use the building. I don't think we've had 17 it come up. The City is always willing to work with 18 the developers and applicants.</p> <p>19 The thing that has happened is at a State 20 level, whenever the Governor declares a state of 21 emergency, developers are allowed to ask for 22 extensions, depending on what the state of emergency 23 is.</p> <p>24 So for example, with Irma, there will be a 25 certain number of days allotted for that state of</p>	<p>1 that was a recent project that brought it back to the 2 forefront. But even with that, again, that extension 3 potential, whenever there's a declared state of 4 emergency, it starts making that, I guess, less useful 5 as far as what it's meant to achieve.</p> <p>6 CHAIR JAMES: Do we have any more Board 7 comments? No public comments, no public comment cards?</p> <p>8 MR. GAGNON: No, ma'am.</p> <p>9 CHAIR JAMES: Okay. Would the Board like to 10 hear from the applicant? No?</p> <p>11 MR. KUNUTY: Yes.</p> <p>12 CHAIR JAMES: Yes.</p> <p>13 MR. CUNNINGHAM: Good evening.</p> <p>14 CHAIR JAMES: Good evening.</p> <p>15 MR. CUNNINGHAM: Thanks for having us.</p> <p>16 CHAIR JAMES: Thanks for coming.</p> <p>17 MR. CUNNINGHAM: Do you have a question, or 18 do you want me to --</p> <p>19 MR. KUNUTY: You can make comments if you 20 want.</p> <p>21 MR. CUNNINGHAM: Just the interesting thing 22 that -- and I don't have the slide that he had. I 23 think it's kind of happened by osmosis, really, but the 24 Haverhill Business Park, which was just envisioned, I 25 guess, as a business park by the Sabatellos when they</p>
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<p>1 emergency, and if you have a development order, you can 2 actually add that onto your development order timeline. 3 So that's something that isn't reflected directly here, 4 but, you know, technically, you could keep pushing out 5 your development order date.</p> <p>6 VICE CHAIR McCOY: Okay.</p> <p>7 MR. KUNUTY: Madam Chair.</p> <p>8 CHAIR JAMES: Yes, Mr. Kunuty.</p> <p>9 MR. KUNUTY: Jeff, correct me if I'm wrong, 10 but I think that language was inserted because of the 11 Amrit, about the five years, because that --</p> <p>12 MR. GAGNON: Yes, that was --</p> <p>13 MR. KUNUTY: The original site plan was 14 approved like 12 years ago, and they kept hanging their 15 hats on the fact that they were working on the 16 property, all right, and 12 years later they're working 17 on the property.</p> <p>18 MR. GAGNON: I think that's, yes --</p> <p>19 MR. KUNUTY: So on the original site plan -- 20 and a lot of things have changed -- we were unable to 21 go back and have them modify it. So I think that's 22 when we added that five year window that says if you 23 don't get it done in five years, you know, you have 24 to -- you may have to make changes.</p> <p>25 MR. GAGNON: I think you're correct, where</p>	<p>1 plotted it out, has really turned into kind of a high 2 end car place.</p> <p>3 And there's actually -- you can't see them on 4 there, but those buildings that surround it, there's 5 actually seven separate car businesses, not repair 6 shops. These are places that either, you know, support 7 or sell or race cars, or they sell collectible vintage 8 cars, different -- you know, anything you can think of.</p> <p>9 And it's very low-key, but it's just a 10 natural fit for, you know, for our project, which is, 11 again, it's a storage facility, but it's really not -- 12 it's not where you keep your, you know, your Christmas 13 decorations. It's really designed to be for 14 collectible cars. It's, you know, just a nicer, you 15 know, visual effect, and you know, privacy and security 16 for, you know, keeping collectible cars mostly. You 17 can keep whatever you want in there, but that's why we 18 chose that site.</p> <p>19 And it's -- you know, I thought the same 20 thing about the area code -- the zip code, rather, 21 because 07 is normally West Palm Beach. But it's all 22 the way out, you know, across the street from Dyer 23 Park. It's the western edge of Riviera Beach, but an 24 ideal site for this type of thing.</p> <p>25 MR. KUNUTY: Do you have tenants?</p>

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<p>1 MR. CUNNINGHAM: Yes, we're actually -- we're 2 selling the individual units, so it will be condo'd. 3 MR. KUNUTY: Oh, it will be condos. 4 MR. CUNNINGHAM: Yes. 5 MR. KUNUTY: Okay, each bay will be a condo? 6 MR. CUNNINGHAM: Correct. 7 MR. KUNUTY: Okay. What's the -- I can't 8 remember, but what's the size of each bay? 9 MR. CUNNINGHAM: They vary between 500 feet 10 to about 1,300 feet. 11 MR. KUNUTY: Okay. So your target audience 12 is cars, collector cars. 13 MR. CUNNINGHAM: Yes. 14 MR. KUNUTY: Collector cars. Will somebody 15 be able to do customization there? 16 MR. CUNNINGHAM: You can't run a business out 17 of it. That's in the condo documents. But you can -- 18 you know, if you're a hobbyist, you can do whatever you 19 want to do, as long as it's not in violation of any, 20 you know -- 21 MR. KUNUTY: Okay. All right, thank you. 22 No other questions. 23 CHAIR JAMES: Any other Board comments or 24 questions for the applicant? 25 Thank you.</p>	<p>1 land within the Haverhill Business Park. It's lot two, 2 identified by parcel control number 3 56-42-42-26-02-000-0020, located within the Haverhill 4 Business Parkway, and providing for an effective date. 5 So last but not least is lot two. So this is 6 the single lot to the north side of the northwest 7 portion of Haverhill Business Parkway. So the site 8 plan, the building is oriented in the center of the 9 site. There is circulation around the building itself. 10 It's designed for three individual tenants, and there's 11 adequate parking provided and site circulation as well. 12 So the landscape package provides a landscape 13 buffer along the perimeter of the property as well as 14 interior. It meets the City's Code of Ordinances. 15 So once again, this is a very unique building 16 elevation that is being proposed. So you can only 17 imagine in the near future, having these three new 18 developments come out of the Haverhill Business Parkway 19 with all, you know, pretty interesting architectural 20 design. So I think it will be a pretty interesting 21 spot to drive through in the very near future, so -- 22 VICE CHAIR McCOY: Yes, that sets a standard 23 for warehousing, doesn't it? 24 MR. GAGNON: You know, it really does, it 25 really does, because unfortunately -- I'm getting off</p>
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<p>1 MR. CUNNINGHAM: Thank you. 2 CHAIR JAMES: So we're ready for a motion for 3 item B. 4 VICE CHAIR McCOY: Move to approve, Madam 5 Chair, site plan, special exception, item B. 6 CHAIR JAMES: Is a there a second? 7 MR. KUNUTY: Second. 8 CHAIR JAMES: Roll call. 9 MS. DAVIDSON: James Gallon. 10 MR. GALLON: Yes. 11 MS. DAVIDSON: Edward Kunuty. 12 MR. KUNUTY: Yes. 13 MS. DAVIDSON: Tradrick McCoy. 14 VICE CHAIR McCOY: Yes. 15 MS. DAVIDSON: Rena James. 16 CHAIR JAMES: Yes. 17 MS. DAVIDSON: Unanimous vote. 18 CHAIR JAMES: We're going to item C. 19 MR. GAGNON: Thank you, Madam Chair. 20 Under C under new business is a resolution of 21 the City Council of the City of Riviera Beach, Palm 22 Beach County, Florida, approving site plan and special 23 exception application SP-17-04 and SE-17-02 to build 24 and operate a 14,707 square foot warehouse with 25 accessory office on approximately one acre of vacant</p>	<p>1 track, but unfortunately, we have limited code 2 requirements that would really, I guess, force or 3 compel individuals to come up with these interesting 4 architectural designs. So you know, this kind of just 5 shows the quality of the project that's being proposed, 6 and I think it's just really interesting and positive 7 for the City. 8 So for the record, I do want to go through 9 the special exception criteria. Again, this applicant 10 has met the special exception criteria as well. That 11 includes ingress and egress to the site, off-street 12 parking and loading areas, refuse and service areas, 13 utilities, screening, buffering and landscaping, signs 14 or outside displays will be permitted separately, and 15 required yards and open spaces. 16 So staff recommends approval of the site 17 plan, special exception application with the following 18 conditions. First condition is a two year landscaping 19 performance bond for 110 percent of the value of 20 landscaping and irrigation. 21 A second condition is construction and 22 landscaping improvements must be initiated within 18 23 months of the effective date of this resolution. 24 Number three, this development must receive 25 final Certificate of Occupancy from the City for all</p>

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<p>1 buildings and units approved in five years.</p> <p>2 Number four, all future advertising must</p> <p>3 state that the development is located within the City</p> <p>4 of Riviera Beach.</p> <p>5 Five, once approved, this resolution shall</p> <p>6 supersede any previous site plan approval resolutions</p> <p>7 associated with this property, causing previous cite</p> <p>8 plan approval resolutions to be null and void.</p> <p>9 And finally, number six, City Council</p> <p>10 authorizes City staff to approve future amendments to</p> <p>11 the site plan administratively, so long as the site</p> <p>12 plan does not deviate greater than five percent from</p> <p>13 the originally approved site plan.</p> <p>14 And Mr. Kafer is actually the agent for this</p> <p>15 property as well and is here to answer any questions.</p> <p>16 CHAIR JAMES: Are there any questions for the</p> <p>17 applicant? Any public comment cards submitted?</p> <p>18 MR. GAGNON: No, ma'am.</p> <p>19 CHAIR JAMES: Board comments. Mr. Gallon.</p> <p>20 MR. GALLON: None.</p> <p>21 CHAIR JAMES: Mr. Kunuty.</p> <p>22 MR. KUNUTY: No comment.</p> <p>23 CHAIR JAMES: Mr. McCoy.</p> <p>24 VICE CHAIR McCOY: Nothing, Madam Chair.</p> <p>25 CHAIR JAMES: Is there a motion for item C?</p>	<p>1 MR. GAGNON: No correspondence.</p> <p>2 CHAIR JAMES: Yeah. Did I say that out loud?</p> <p>3 C, project updates and upcoming projects.</p> <p>4 MR. GAGNON: We do have a few projects that</p> <p>5 are currently in the staff review phase. They aren't</p> <p>6 far enough along yet to really project when they'll</p> <p>7 come to the Planning and Zoning Board.</p> <p>8 I know there is an industrial development off</p> <p>9 of 10th Street. We have a site plan application from</p> <p>10 the management team of Stonybrook Apartments. I'm</p> <p>11 trying to think of other pending projects. I guess as</p> <p>12 an update, the mobile vending ordinance that went to</p> <p>13 the Planning and Zoning Board will be provided to City</p> <p>14 Council on the 4th. I think that concludes -- that</p> <p>15 concludes upcoming projects.</p> <p>16 MR. GAGNON: Thank you. Board comments?</p> <p>17 VICE CHAIR McCOY: Stonybrook, you said you</p> <p>18 have a site plan application for it?</p> <p>19 MR. GAGNON: Yes. We received both an</p> <p>20 application for a site plan amendment and abandonment</p> <p>21 request. The development, as is, there's a north/south</p> <p>22 ingress/egress point, and that's actually right-of-way.</p> <p>23 So in order for them to come in and fulfill their site</p> <p>24 plan amendment where they're proposing to build a new</p> <p>25 clubhouse facility in the center of the site, we would</p>
Page 42	Page 44
<p>1 VICE CHAIR McCOY: Madam Chair, move to</p> <p>2 approve site plan and special exception.</p> <p>3 CHAIR JAMES: Is there a second?</p> <p>4 MR. KUNUTY: Second.</p> <p>5 CHAIR JAMES: Roll call.</p> <p>6 MS. DAVIDSON: James Gallon.</p> <p>7 MR. GALLON: Yes.</p> <p>8 MS. DAVIDSON: Edward Kunuty.</p> <p>9 MR. KUNUTY: Yes.</p> <p>10 MS. DAVIDSON: Tradrick McCoy.</p> <p>11 VICE CHAIR McCOY: Yes.</p> <p>12 MS. DAVIDSON: Rena James.</p> <p>13 CHAIR JAMES: Yes.</p> <p>14 MS. DAVIDSON: Unanimous vote.</p> <p>15 CHAIR JAMES: Okay, going to go to item X,</p> <p>16 general discussion. There's no workshop items.</p> <p>17 MR. KUNUTY: I'd like to say -- Madam Chair.</p> <p>18 CHAIR JAMES: Yes, go ahead, Mr. Kunuty.</p> <p>19 MR. KUNUTY: Just to the three applicants for</p> <p>20 A, B and C, there's really pretty creative stuff that</p> <p>21 you guys are showing, and you know, we welcome you to</p> <p>22 the City. So it's different, and it looks good, and</p> <p>23 you know, I know we'll be proud of that.</p> <p>24 CHAIR JAMES: Okay, since A, there's no</p> <p>25 public comments, so we'll go to item B, correspondence.</p>	<p>1 have to abandon the roadway in order to facilitate</p> <p>2 that. So that's currently under review.</p> <p>3 VICE CHAIR McCOY: Okay. Now, follow-up.</p> <p>4 Mr. Gagnon, you said the mobile vending goes to City</p> <p>5 Council?</p> <p>6 MR. GAGNON: Yes, sir.</p> <p>7 VICE CHAIR McCOY: Okay. Now, what about the</p> <p>8 filling stations? I've not heard anything about those.</p> <p>9 Are those --</p> <p>10 MR. GAGNON: Yes, I originally wanted to set</p> <p>11 it for October 4th, and there was a timing mechanism</p> <p>12 that I couldn't really meet. So I'm hoping for the</p> <p>13 second meeting in October. If not that meeting, then</p> <p>14 early November. But it's an item that -- we use an</p> <p>15 online agenda system, so it's already in the system.</p> <p>16 So just a few elements need to be finalized. You have</p> <p>17 to do proper advertising for it, and we'll send that to</p> <p>18 City Council as well.</p> <p>19 VICE CHAIR McCOY: Okay. And the Stonybrook</p> <p>20 site plan and the abandonment, is that on that link for</p> <p>21 the Planning and Zoning Board's current site plan</p> <p>22 applications on the City's web site?</p> <p>23 MR. GAGNON: I need to double-check. If it's</p> <p>24 not, we'll definitely put it up.</p> <p>25 VICE CHAIR McCOY: Okay.</p>

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<p>1 MR. GAGNON: It should be, but I'll verify</p> <p>2 tomorrow, and yes, and add that.</p> <p>3 VICE CHAIR McCOY: Staffing. I know there</p> <p>4 were some personnel changes. Has there been some new</p> <p>5 recruits for the Planning Department?</p> <p>6 MR. GAGNON: Yes, I actually have good news</p> <p>7 as far as Planning and Zoning is concerned. We were</p> <p>8 able to fill our Principal Planner position, as well as</p> <p>9 both of our Senior Planner positions.</p> <p>10 Ms. Andrea Harper, who has probably 20 years</p> <p>11 of planning experience, she was previously with Palm</p> <p>12 Beach County, she's our new Principal Planner.</p> <p>13 Mr. Yoan Machado, who was also with the County, has</p> <p>14 come over as one of our Senior Planners. And Mr. Josue</p> <p>15 Leger is starting on the 2nd, October 2nd, also in that</p> <p>16 Senior Planner role. So --</p> <p>17 VICE CHAIR McCOY: Did he come from the</p> <p>18 County as well?</p> <p>19 MR. GAGNON: Also came from the County.</p> <p>20 VICE CHAIR McCOY: I heard there was a lot of</p> <p>21 people from the County coming. Well, I heard there was</p> <p>22 a lot of vacancies in the Planning Department at the</p> <p>23 County, and I was just wondering what happened.</p> <p>24 MR. GAGNON: I think we did have a lot of</p> <p>25 really good applicants for both positions, but that's</p>	<p>1 appreciate it.</p> <p>2 CHAIR JAMES: Very well said. We do</p> <p>3 appreciate everything that Jeff does for us. We</p> <p>4 appreciate it.</p> <p>5 Mr. Kunuty, do you have any Board comments?</p> <p>6 MR. KUNUTY: Just one quick comment. You</p> <p>7 know, we've brought this up for years now about the zip</p> <p>8 code and just happened to mention it today about the</p> <p>9 07. The City doesn't seem to be able to solve that</p> <p>10 issue that keeps coming up West Palm Beach. But I just</p> <p>11 saw somewhere that Avenir out in Palm Beach, western</p> <p>12 Palm Beach County, suddenly they have their own zip</p> <p>13 code, and there's not even a building there.</p> <p>14 So no other comment.</p> <p>15 CHAIR JAMES: Mr. Gallon.</p> <p>16 MR. GALLON: No, I'm good.</p> <p>17 CHAIR JAMES: Mr. McCoy.</p> <p>18 VICE CHAIR McCOY: Nothing, Madam Chair.</p> <p>19 CHAIR JAMES: I would say with the zip code,</p> <p>20 I know from years ago thinking about that, our Post</p> <p>21 Office on Blue Heron, that I thought the entire city of</p> <p>22 Riviera Beach was one zip code. So that's when I saw</p> <p>23 the 33407, it kind of threw me out, because I know</p> <p>24 there has been a lot of issues regarding that. And so,</p> <p>25 but you said you're going to send us a zip code list?</p>
Page 46	Page 48
<p>1 just kind of how it worked out, and I think the team</p> <p>2 that we have is going to be really excellent. So I'm</p> <p>3 excited for that. Now we need to move on to our</p> <p>4 Building Division as well, and Code Enforcement, and</p> <p>5 start filling those vacancies as quickly as possible.</p> <p>6 MR. GAGNON: Well, thank you for holding down</p> <p>7 the ship, because I know this has to be a lot of work.</p> <p>8 I mean just the preparations for the meetings, I have a</p> <p>9 new respect for our staff that supports us. Thank you,</p> <p>10 because it's a lot.</p> <p>11 And I know sometimes, you know, we don't have</p> <p>12 all of the same -- you know, we don't retain all of the</p> <p>13 same people in every department, but I appreciate it.</p> <p>14 If nobody else says it, we certainly do; at least I do</p> <p>15 on this Board. So thank you, Mr. Gagnon, Ms. Busby and</p> <p>16 Ms. Simone. Thank you.</p> <p>17 MR. GAGNON: Thank you.</p> <p>18 VICE CHAIR McCOY: That's it, Madam Chair,</p> <p>19 for me.</p> <p>20 CHAIR JAMES: You work very hard for</p> <p>21 Mr. McCoy.</p> <p>22 VICE CHAIR McCOY: Well, if you must say,</p> <p>23 Ms. Madam Chair, I just had the experience of seeing</p> <p>24 some other, I'll say boards in and around the county,</p> <p>25 and I certainly have a new respect for our team. So I</p>	<p>1 MR. GAGNON: Yes, we actually have a map that</p> <p>2 identifies the zip code locations for the City. So I</p> <p>3 know it was worked on before, and it wasn't fruitful,</p> <p>4 obviously. So I guess if other locations are able to</p> <p>5 get new zip codes, I don't know if it's easier to get a</p> <p>6 brand new zip code versus, you know, adjoining an</p> <p>7 identical zip code; I'm not sure. But you know, it's</p> <p>8 something we can probably revisit to see if maybe this</p> <p>9 time we can come up with a solution.</p> <p>10 CHAIR JAMES: Yes, I know I'm in the heart of</p> <p>11 the City, and anytime I put in my address, it still</p> <p>12 comes up West Palm Beach with 33404. So I always have</p> <p>13 to make sure I correct my city, because I'm proud of my</p> <p>14 city.</p> <p>15 But anyway, so if we don't have any more</p> <p>16 Board comments, is there a motion -- we do have item</p> <p>17 two, the next P&Z meeting.</p> <p>18 MR. GAGNON: Yes, upcoming Planning and</p> <p>19 Zoning Board meetings, both the second and fourth</p> <p>20 Thursday of October, so that's October 12th and October</p> <p>21 26th.</p> <p>22 And also, I just want to say thank you to the</p> <p>23 Board Members that are here as well, you know. So we</p> <p>24 appreciate, staff appreciates you guys recognizing, you</p> <p>25 know, all that we do, but we want to say thank you to</p>

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1 you guys, because you guys are volunteering your time.
2 And some of you have years and years of tenure on the
3 Board, so you know, you guys are the unsung heroes, so
4 to speak, where a lot of the planning items get worked
5 out in this venue, and you know, you give the assist
6 and somebody else gets to score the goal, or you know.

7 CHAIR JAMES: I'm beginning to like this
8 location. It's nice and cool.

9 MR. GAGNON: The facility is great.

10 CHAIR JAMES: Yes.

11 Thank you, Walter.

12 Thank you, Madam Reporter.

13 Thank you, former City Commissioner Cedrick
14 Thomas.

15 Ms. Busby.

16 Ms. Simone.

17 Now, is there a motion?

18 VICE CHAIR McCOY: Move to adjourn.

19 MR. KUNUTY: Second.

20 (Whereupon, at 7:46 p.m., the proceedings
21 were concluded.)
22
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1 CERTIFICATE

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THE STATE OF FLORIDA)

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COUNTY OF PALM BEACH)

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I, Susan S. Kruger, do hereby certify that
I was authorized to and did report the foregoing
proceedings at the time and place herein stated, and
that the foregoing pages comprise a true and correct
transcription of my stenotype notes taken during the
proceedings.

IN WITNESS WHEREOF, I have hereunto set my
hand this 30th day of September, 2017.

Susan S. Kruger

13 (Pages 49 to 50)



**STAFF REPORT – CITY OF RIVIERA BEACH
CASE NUMBER SP-17-02 (MAD ENTERPRISES PB, LLC)
PLANNING AND ZONING BOARD, OCTOBER 26, 2017**

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF RIVIERA BEACH, PALM BEACH COUNTY, FLORIDA, APPROVING SITE PLAN APPLICATION SP-17-02 TO CONSTRUCT THREE BUILDINGS FOR INDUSTRIAL AND OFFICE USE, ON APPROXIMATELY 1.7 ACRES OF VACANT LAND, IDENTIFIED BY PARCEL CONTROL NUMBER 56-43-42-31-20-000-0090; AND PROVIDING FOR AN EFFECTIVE DATE.

A. Applicant: MAD Enterprises PB, LLC; Robert Kuoppala, Authorized Agent.

B. Request: The applicant is requesting site plan approval to build three buildings for industrial and office use as follows:

Building 1: A 4,092 Square Foot one story industrial/office building.

Building 2: A 4,908 Square Foot one story industrial building.

Building 3: A 4,800 Square Foot two story office building.

C. Location: West 10th Street, off of N. Congress Ave.

D. Property Description and Uses: The subject property description and uses are as follows:

Parcel Control Number: 56-43-42-31-20-000-0090.

Parcel Size: +/- 1.7 acres.

Existing Use: Vacant Lot.

Zoning: Limited Industrial (IL) Zoning District.

Future Land Use: Industrial.

E. Adjacent Property Description and Uses:

North: W. 12th Street, Single Family Residential (RS-6) and Neighborhood Commercial (CN) Zoning; Single Family Residential and Commercial Future Land Use.

South: Limited Industrial (IL) Zoning and Industrial Future Land Use.

East: Avenue 'U', Single Family Residential (RS-6) Zoning; Single Family Residential Future Land Use.

West: Limited Industrial (IL) Zoning and Industrial Future Land Use.

F. Background:

The location for this development proposal is one of two remaining undeveloped parcels on West 10th Street. This limited industrial area was platted as the "Port Commerce Center II" in 1989, which included landscape and drainage easements as well as a specified water management tract in order to accommodate future development. The current proposal

would accommodate future industrial and office uses in accordance with the City's Limited Industrial Zoning regulations.

The following staff analysis has been prepared for your review:

G. Staff Analysis:

Proposed Development/Use: The applicant is proposing site plan approval to build three buildings for industrial and office use as follows:

Building 1: A 4,092 Square Foot one story industrial/office building.

Building 2: A 4,908 Square Foot one story industrial building.

Building 3: A 4,800 Square Foot two story office building.

Zoning Regulations: The proposed uses are in compliance with the City's Land Development Regulations for the Limited Industrial (IL) Zoning District.

Comprehensive Plan: The proposed use is consistent with the Comprehensive Plan's Industrial Future Land Use designation.

Compatibility: The proposed project is compatible with the surrounding parcels and uses. A perimeter site was currently exists on the north and east property lines as part of a compatibility buffer from existing residential uses.

Levels of Service: City services such as roads, water, sewer, and garbage collection are currently available to the site.

Landscaping: The proposed landscape plan is compatible with the City's Land Development Regulations. Existing shade trees will be incorporated into the landscape design in order to encourage the long term health of these trees.

Parking/Traffic: Adequate parking has been proposed in accordance with the City's Land Development Regulations. Traffic generation will be less than 500 trips per day.

H. Staff Conclusion: City staff recommends approval of this site plan application with the following conditions of approval:

1. A two-year landscaping performance bond for 110% of the value of landscaping and irrigation shall be required before a Certificate of Occupancy or Certificate of Completion is issued.
2. Construction and landscaping improvements must be initiated within 18 months of the effective date of this Resolution in accordance with Section 31-60(b), of the City Code of Ordinances. Demolition, site preparation and/or land clearing shall not be considered construction. Building permit application and associated plans and documents shall be submitted in its entirety and shall not be accepted by City staff in a partial or incomplete manner.
3. This development must receive final Certificate of Occupancy from the City for all buildings and units approved within five years of the approval of the adopting resolution or the adopting resolution shall be considered null and void, requiring the applicant to resubmit application for site plan and special exception approval and re-initiate the site plan approval process.

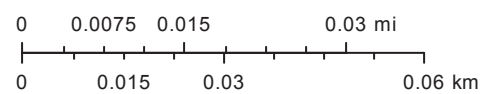
4. All future advertising must state that the development is located in the City of Riviera Beach. Fees and penalties in accordance with City Code Sec. 31-554 will be levied against the property owner and/or business for violation of this condition.
5. Once approved, this resolution shall supersede any previous site plan approval resolutions associated with this property, causing previous site plan approval resolutions to be null and void.
6. City council authorizes City staff to approve future amendments to this site plan administratively so long as the site plan does not deviate greater than 5% from the originally approved site plan.

56434231200000090



October 20, 2017

1:1,128



For Staff Use Only

City of Riviera Beach Community Development Department 600 W. Blue Heron Boulevard Riviera Beach, Florida 33404 Phone: (561) 845-4060 Fax : (561) 845-4038	Date:		Case Number:	
	Project Title:			
	Fee Paid:		Notices Mailed:	
	1st Hearing:		2nd Hearing:	
	Publication Dates (if required)			

UNIFORM LAND USE APPLICATION

(Please attach separate sheet of paper for required additional information)

Complete appropriate sections of Application and sign.

APPLICANT	Name of Property Owner(s): <u>MAD ENTERPRISES PB, LLC</u>		
	Mailing Address: <u>1721 WEST 10TH STREET</u>		
	Property Address: <u>UNKNOWN</u>		
	Name of Applicant (if other than owner): <u>ROBERT KUOPPAH/KUOPPAH + ASSOCIATES</u>		
	Home: () Work: <u>(561) 682-1909</u> Fax: <u>(561) 682-1975</u>		
	E-mail Address: <u>KUOPPALA@CHELSEA5007H.NET</u>		

PLEASE ATTACH LEGAL DESCRIPTION

PROPERTY	Future Land Use Map Designation: <u>INDUSTRIAL</u>		Current Zoning Classification: <u>LIMITED USE INDUSTRIAL</u>	
	Square footage of site: <u>79,356</u>		Property Control Number (PCN): <u>56-93-42-31-20-000-0090</u>	
	Type and gross area of any existing non residential uses on site: <u>N/A</u>			
	Gross area of any proposed structure: <u>13,800 S.F.</u>			
	Is there a current or recent use of the property that is/was in violation of City Ordinance? [] Yes [X] No			
	If yes, please describe:			
	Have there been any land use applications concerning all or part of this property in the last 18 months? [] Yes [X] No			
	If yes, indicate date, nature and applicant's name:			
	Briefly describe use of adjoining property: North: <u>RESIDENTIAL</u>			
	<u>ACROSS STREET</u>		South: <u>INDUSTRIAL B570.26</u>	
<u>AT NORTH + EAST</u>		East: <u>RESIDENTIAL</u>		
		West: <u>INDUSTRIAL B570.26</u>		

REZONE	Requested Zoning Classification: <u>N/A</u>	
	Is the requested zoning classification contiguous with existing?	
	Is a Special Exception necessary for your intended use? [] Yes [] No	
	Is a Variance necessary for your intended use? [] Yes [] No	

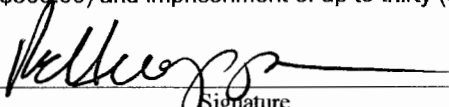
FUTURE LAND USE	Existing Use:	N/A	Proposed Use:
	Land Use Designation:		Requested Land Use:
	Adjacent Land Uses: North:		South:
	East:		West:
	Size of Property Requesting Land Use Change:		

SPECIAL EXCEPTION	Describe the intended use requiring a Special Exception:	N/A
	Provide specific LDR ordinance section number and page number:	
	How does intended use meet the standards in the Land Development Code?	
	Demonstrate that proposed location and site is appropriate for requested use:	
	Demonstrate how site and proposed building(s) have been designed so they are compatible with adjacent uses and neighborhoods:	
	Demonstrate any landscaping techniques to visually screen use from adjacent uses:	
	Demonstrate what is proposed to reduce the impact of any potential hazards, problems, public nuisances generated by use:	
	Demonstrate how utilities and other service requirements of the use can be met:	
	Demonstrate how the impact of traffic generated will be handled:	
	On-site:	
Off-Site:		
Other:		

VARIANCE	Describe the Variance sought:	N/A
	Demonstrate that the Variance is needed to overcome a hardship caused by the unique physical conditions of the site:	
	Specify the minimum Variance requirements including: height, lot area, size of structure, size of yard, setback, buffer or open space:	
	Other:	

SITE PLAN	Describe proposed development:	ONE STORY OFFICE WAREHOUSE, ONE STORY WAREHOUSE + 2 STORY OFFICE BLDG.
	Demonstrate that proposed use is appropriate to site:	ALL BUILDINGS CONFORM TO SETBACK + HEIGHT REQUIREMENTS
	Demonstrate how drainage and paving requirement will be met:	PAVING + DRAINAGE SHALL BE DESIGNED TO CODES PER ATTACHED SHEETS
	Demonstrate any landscaping techniques to visually screen use from adjacent uses:	EXISTING SITE WALL SCREENS HOUSES TO NORTH + EAST.
	Demonstrate what is proposed to reduce the impact of any potential hazards, problems, public nuisances generated by use:	EXISTING SITE WALL BARRIERS THE NEIGHBORING HOUSES. NO POTENTIAL HAZARDS.
	Demonstrate how utilities and other service requirements of the use can be met:	ALL SERVICES SHALL BE UNDERGROUND
	Demonstrate how the impact of traffic generated will be handled:	
	On-site: PARKING LOT/ CIRCULATION AREA CONFORM TO CITY CODES	
Off-site: LIMITED NEW OFF-SITE TRIP GENERATION		

OTHER	COMMUNICATION TOWER CO-LOCATION REQUIREMENTS:	N/A
	<ul style="list-style-type: none"> • Three sets of signed and sealed Construction documents, elevations and all equipment shelters, cabinets, Coax, telephone and power conduits identified. These plans will then be used to obtain the Building Permit. • Antenna manufacture cut sheets including antenna size and shape. • Zoning map of area with site clearly marked. • Photos of existing building or tower and surrounding uses. • Letter of non-interference and FCC compliance from applicant's Radio Frequency Professional. • Map of surrounding carrier existing locations in all directions with type i.e. Guyed, Self-Support, Monopole, Rooftop. • Letter of structural capacity and building code compliance. • Notes on plan or letter demonstrating floor area coverage not in excess of restrictions • Provide Photo Enhancements of proposal. • Statement that proposal is in compliance with Environmental Regulations prior to permit issue. 	

Confirmation of Information Accuracy	
<p>I hereby certify that the information on this application is correct. The information included in this application is for use by the City of Riviera Beach in processing my request. False or misleading information may be punishable by a fine of up to five hundred dollars (\$500.00) and imprisonment of up to thirty (30) days and may result in the summary denial of this application.</p>	
 Signature	4/12/17 Date

AGENT AUTHORIZATION FORM

x Owner(s) of Record: MAD Enterprises PB, LLC

STATE OF FLORIDA
COUNTY OF PALM BEACH

BEFORE ME, the undersigned authority personally appeared Arthur Axtell

who, being first duly sworn upon oath and personal knowledge say(s) that they are the owner(s) of record of the following described real property:

PCN# 56-43-42-21-000-0090

Lot 9, Plat No. 2

Port Commerce Center

Plat Book 64, Page 111

West 10th St.

the street address of which is: W. 10th St.

and that we hereby appoint:

Name: ROBERT KUOPPALA / KUOPPALA + ASSOCIATES

Address: 925 SOUTH MILITARY TRAIL - SUITE D10
WEST PALM BEACH, FLORIDA 33415

Telephone: (561) 682-1909

as our authorized agent, to file applications and papers with the City of Riviera Beach, and to represent me (us) at any Hearing regarding my (our) interest.

Arthur Axtell (Seal)

____ (Seal)

____ (Seal)

Sworn to and subscribed before me this 4th day of April, 2017.

Patricia C. McGlashon
Notary Public



KUOPPALA & ASSOCIATES, P.A.
ARCHITECTS

925 S. MILITARY TRAIL D-10
WEST PALM BEACH, FL. 33415

www.kuoppala.com
#AAC 001656

(561) 682-1909
(561) 682-1975 Fax

April 12, 2017

City of Rivera Beach Planning/Zoning Department
600 W Blue Heron Blvd.
Riviera Beach, Florida 33404

Attention: Mr. DeAndre Spradley

Re: MAD ENTERPRISES PB, LLC
Lot 9, West 10th Street
New Address Assigned per PAPA
Comm. No. 17-06

Dear Mr. Spradley,

Enclosed is the Site Plan Approval submittal package for this project.

The project consists of three new buildings. Building #1 is a 4,092 S.F. one story office/warehouse. Building #2 is a 4,908 S.F. one story warehouse. Building #3 is a 4,800 S.F. two story office building for the owner. Project phasing has not been full determined at this time.

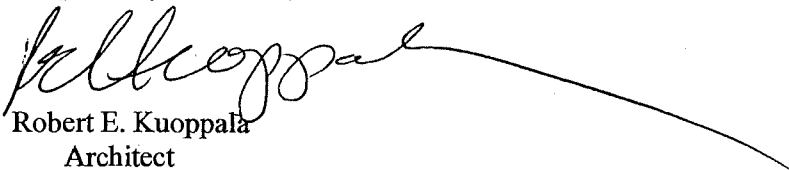
The two adjacent lots each have a one story commercial building. Across the street of West 12th Street and Avenue 'U' are residential properties. The existing site wall, on the subject's property, screen the residences.

The project is anticipated to have approximately 25-30 people working at the site. No student population is generated.

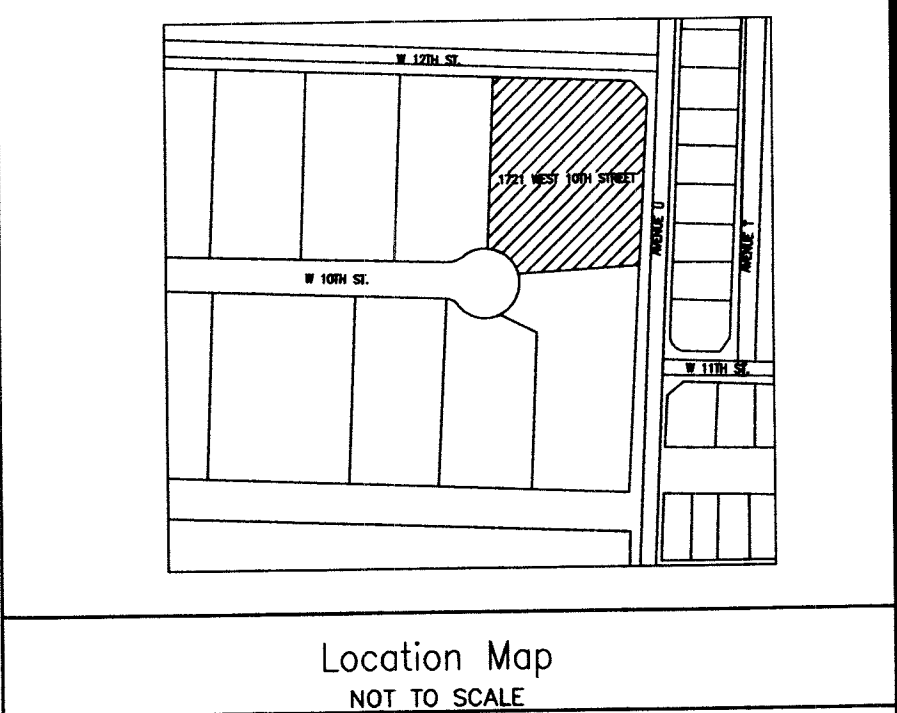
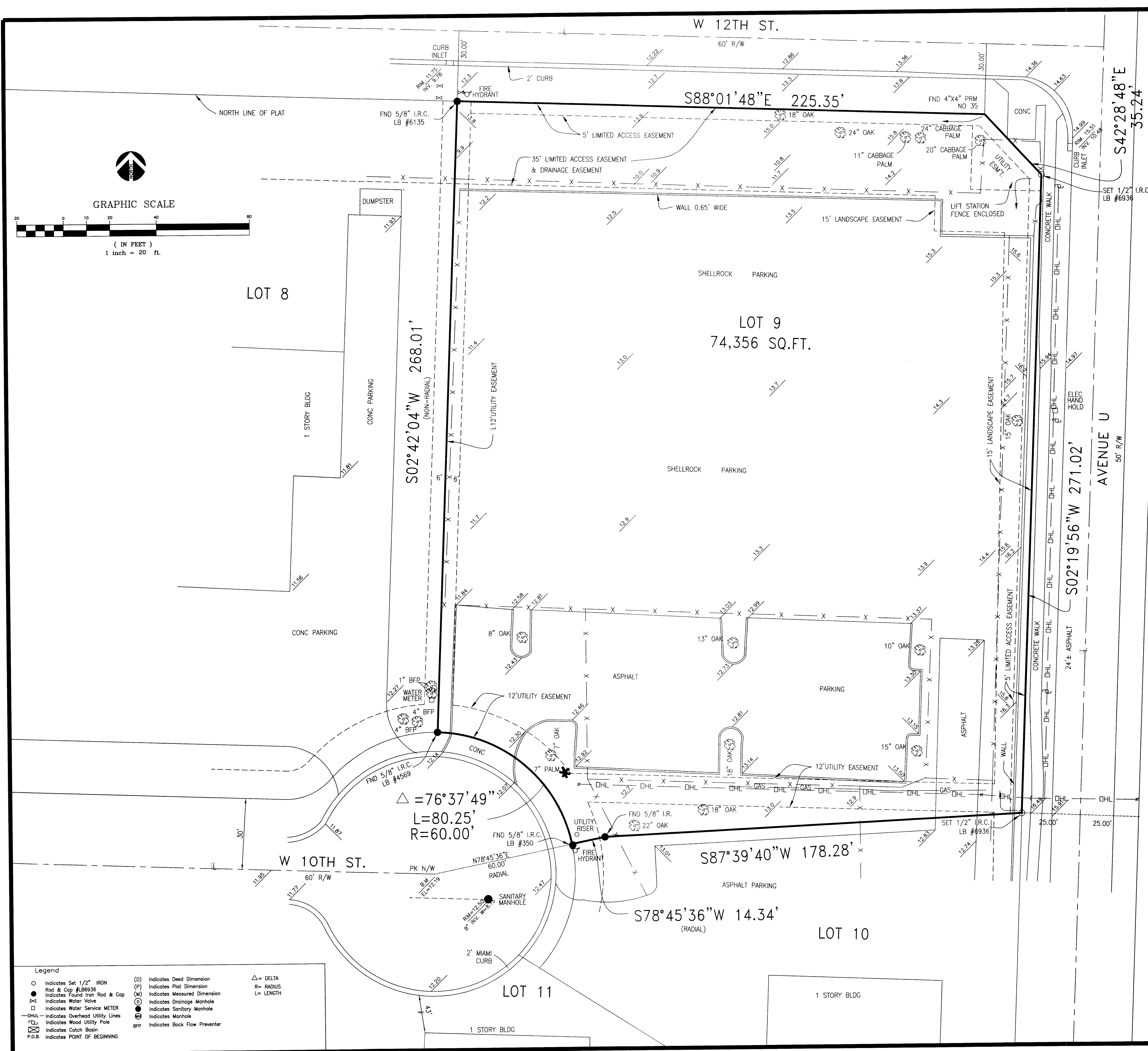
The buildings and landscape will be very aesthetically pleasing. The project conforms to all City zoning regulations. No variances are requested.

We look forward to presenting the project to the City for review and approval. If you have any questions please call or write.

Respectfully submitted,



Robert E. Kuoppala
Architect
AR0009481



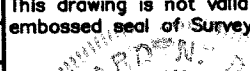

DESCRIPTION:
LOT 9, PLAT OF PLAT NO 2 PORT COMMERCE CENTER, II
ACCORDING TO THE MAP OR PLAT THEREOF AS RECORDED
IN PLAT BOOK 64, PAGE 111, OF THE PUBLIC RECORDS OF
PALM BEACH COUNTY, FLORIDA.

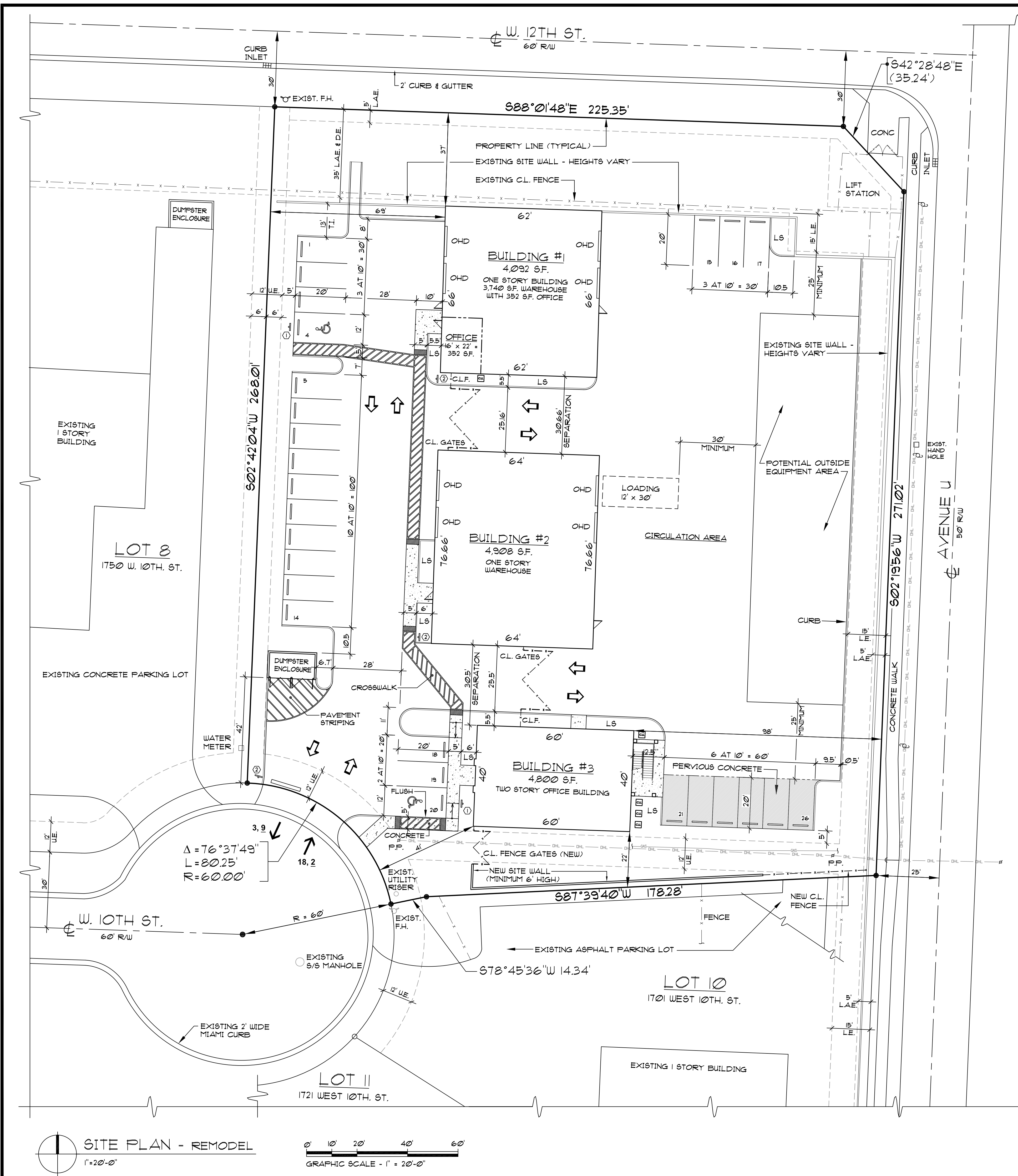
- SURVEYOR'S NOTES:
1. THIS SURVEY WAS PERFORMED IN ACCORDANCE WITH TITLE COMMITMENT NUMBER 2037-3404671 DATED 05/02/16 AS PREPARED BY FIRST AMERICAN NATIONAL TITLE INSURANCE COMPANY. THE DESCRIPTION, AND EASEMENTS AS SHOWN HEREON ARE STATED IN SAID INSTRUMENT.
 2. SUBSURFACE AND ENVIRONMENTAL CONDITIONS WERE NOT ADDRESSED AS A PART OF THIS SURVEY. ONLY VISIBLE ABOVE GROUND IMPROVEMENTS HAVE BEEN SHOWN. THERE MAY EXIST UNDERGROUND UTILITIES, FOUNDATIONS OR OTHER MATTERS WHICH HAVE NOT BEEN REFLECTED ON THIS SURVEY.
 3. WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS AND DISTANCES ARE NOT TO BE SCALED FOR CONSTRUCTION AND/OR DESIGN PURPOSES.
 4. ADDITIONS AND/OR DELETIONS TO THIS SURVEY MAP BY OTHER THAN THE SIGNING SURVEYOR IS PROHIBITED WITHOUT THE WRITTEN CONSENT OF THIS OFFICE.
 5. THIS MAP, AS DEPICTED IN ITS GRAPHIC FORM, BEARING THE SIGNATURE AND SEAL OF THE SURVEYOR, IS THE OFFICIAL DOCUMENT OF THE LANDS AS DESCRIBED HEREIN AND WILL IN NO CIRCUMSTANCE BE SUPPLANTED IN AUTHORITY BY ANY OTHER GRAPHIC OR DIGITAL FORM OF THE MAP.
 6. THIS SURVEY IS PREPARED FOR THE PARTIES AS STATED HEREON AND IS NOT ASSIGNABLE TO OTHER PARTIES WITHOUT THE WRITTEN CONSENT OF THE SURVEYOR.
 7. THIS SURVEY DOCUMENT, AS AN INSTRUMENT OF SERVICE, IS INTENDED ONLY FOR THE SPECIFIC PURPOSE AND CLIENT FOR WHICH IT WAS PREPARED AND CERTIFIED. REUSE OF AND/OR RELIANCE ON THIS DOCUMENT FOR ANY OTHER PURPOSE WITHOUT WRITTEN AUTHORIZATION AND ADAPTATION BY DEAN SURVEYING AND MAPPING, INC. SHALL BE WITHOUT LIABILITY TO DEAN SURVEYING AND MAPPING, INC.
 8. THIS SURVEY MEETS THE MINIMUM STANDARDS FOR A COMMERCIAL SURVEY WITH AN ACCURACY OF 1 FOOT IN 10,000 FEET (U.S. SURVEY FOOT) AS DEFINED BY THE STANDARDS OF PRACTICE IN CHAPTER 5J-17, FLORIDA ADMINISTRATIVE CODES.
 9. THE ELEVATIONS AS SHOWN HEREON ARE EXPRESSED IN FEET AND DECIMAL PARTS THEREOF BASED UPON NORTH AMERICAN VERTICAL DATUM OF 1988. REFERENCE BENCH MARK IS PALM BEACH COUNTY DISK DESIGNATED "VENTURA" WHICH HAS AN ESTABLISHED ELEVATION OF 13.099'

THIS BOUNDARY & TOPOGRAPHIC SURVEY PREPARED FOR:
AXTELL CONSTRUCTION. INC

PROPERTY LIES WITHIN A FLOOD ZONE B, AS SCALED FROM THE NATIONAL INSURANCE PROGRAM RATE MAP COMMUNITY PANEL NUMBER 125142 0002 D, DATED SEPTEMBER 30, 1982

PROPERTY ADDRESS: W. 10TH STREET., RIVIERA BEACH, FL. 33404

		NOTE: This drawing is not valid without embossed seal of Surveyor.		Dean Surveying & Mapping, Inc. 	
				"The Measuring Line Shall Go Forth" Jeremiah 31:39  4201 Westgate Avenue Suite A3 West Palm Beach, Florida 33409	
		2/22/17		Tel: (561) 825-8748 Facsimile (561) 828-4558	
GENERAL NOTES, LEFT STA. R/W, FLOOD DATE		DATE		FIELD: B.P./ L.J. DATE: 01-09-17	
REVISIONS				DRAWN: S.K. SCALE: 1"=20'	
BOUNDARY & TOPOGRAPHIC SURVEY Prepared For:		RICHARD N. DEAN		SHEET: 1 of 1 JOB No.: 017-103	
AXTELL CONSTRUCTION, INC		Professional Surveyor & Mapper Florida Certificate No. 4409 L.B. 6936			



ABBREVIATIONS:

F.H.	FIRE HYDRANT
S.B.	SETBACK
L.S.	LANDSCAPE (FOUNDATION)
S.S.	SANITARY SEWER
FF.	FINISHED FLOOR
M.S.L.	MEAN SEA LEVEL
F.P.L.	FLORIDA POWER & LIGHT
P.P.	POWER POLE
O.H.L.	OVERHEAD POWER LINE
U.E.	UTILITY EASEMENT
L.A.E.	LAND ACCESS EASEMENT
D.E.	DRAINAGE EASEMENT
L.E.	LANDSCAPE EASEMENT
E.O.P.	EDGE OF PAVEMENT
C.L.F.	CHAIN LINK FENCE

PROJECT DATA:

PRINCIPAL USE: OFFICE/ WAREHOUSE	
ZONING: Limited Use Industrial (LI)	
LAND USE: Industrial	
LOT SIZE: 74,356 s.f. (1.70 Acres)	
DISTRIBUTION:	
Building Area At Grade	= 11,400 S.F. = 15.33% <45% maximum
Impervious Area	= 50,793 S.F. = 68.31% lot coverage
Pervious Area	= 12,163 S.F. = 16.36% lot coverage
TOTAL	= 74,356 S.F. = 100.00% lot coverage
FLOOR AREA RATIO	= 13.800 S.F. = 0.186
PARKING REQUIREMENTS:	
Office	5152 s.f. / 300 s.f. = 17.0 Spaces
Warehouse	8648 s.f. / 1000 s.f. = 9.0 Spaces
Required: 26.0 Spaces	
Provided: 26.0 Spaces	

NOTES:
1) INCLUDES 1200 S.F. OF PERVIOUS CONCRETE.

2 handicapped spaces required and 2 provided within 26 provided stalls.
1 loading space required with 1 provided.

All stalls shall be striped and have concrete wheelstops.
All landscaped areas shall be curbed or protected with wheelstops.
Paving Lot shall be minimum 1 1/2" asphalt on 6" base or 6" concrete per civil drawings.
Handicapped stalls shall have approved sign on pole and pavement marking.

BUILDING:
Required Setbacks
Front - 40'
Rear - 30' at West 12th Street & Avenue U
Interior Side - 0' & 15'

Actual Setbacks
Front - 41' at Right Of Way at West 10th Street
Rear - 30' at West 12th Street & Avenue U
South Side - 22', West Side - 6'

Maximum Height - 35'-0" Height - 32'-0" to top of parapet.

BUILDING TYPE: Type III, unprotected and un-sprinkled.

HOURS OF OPERATION:
Monday thru Friday - 6:00 a.m. to 5:00 p.m.
Saturday & Sunday - 7:00 a.m. to 5:00 p.m.
Flood Zone B - per FIRM/CPN 125742 0002D - dated September 30, 1982

SIGN SCHEDULE: Signs shall comply with MUTCD.

① Stop Sign with Stop Bar
② Handicapped Sign with 1250 fine

LEGAL DESCRIPTION:
Lot 9, Commerce Center II, according to the Plat thereof, as recorded in Plat Book 64, page III of the Public Records of Palm Beach County, Florida

P.C.N. = 56-43-42-31-20-000-0090

PETITION #SP 17-02

OWNER:
MAD ENTERPRISES PB, LLC
1721 West 10th Street
Riviera Beach, Florida 33404
(561) 842-9296

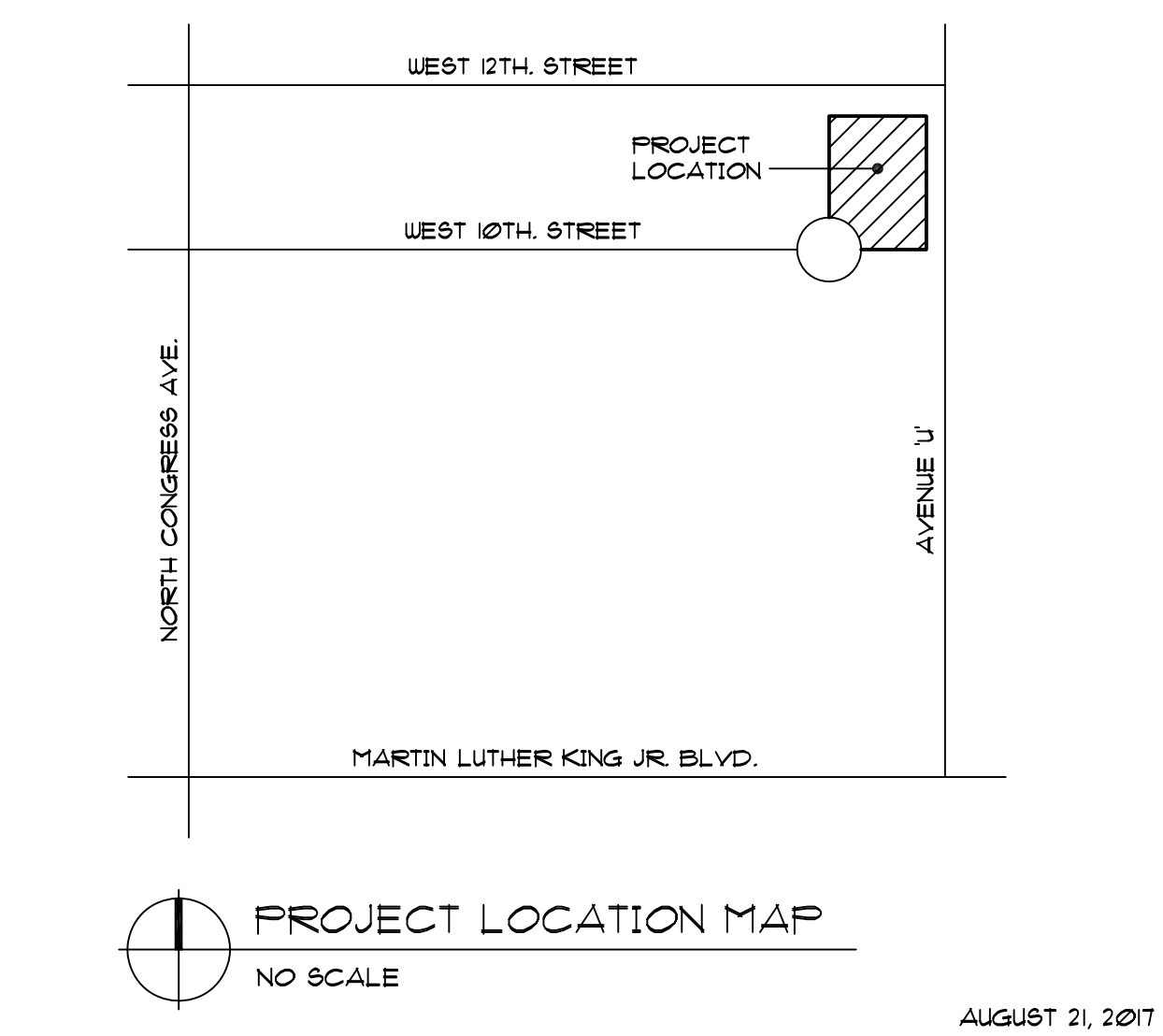
CIVIL ENGINEER:
McLEOD, McCARTHY & ASSOCIATES, P.A.
1655 Palm Beach Lakes Blvd., Suite 712
West Palm Beach, Florida 33401
(561) 689-9500, (561) 689-8080 Fax

SITE LIGHTING DESIGNER:
KUOPPALA & ASSOCIATES, P.A.
925 South Military Trail - Suite D-10
West Palm Beach, Florida 33415
(561) 682-1909, (561) 682-1975 Fax

LANDSCAPE ARCHITECT:
LITTERICK LANDSCAPE ARCHITECTURE
2740 S.W. Martin Downs Blvd., Suite #199
Palm City, Florida 34990
(561) 719-3876

TRAFFIC ENGINEER:
H. BURT SMITH
825 Whipoorwill Trail
West Palm Beach, Florida 33411
(561) 798-5058, (561) 798-9773 Fax

SURVEYOR:
DEAN SURVEYING
4201 Westgate Ave.
West Palm Beach, Florida 33409
(561) 625-8748



SITE PEAK HOUR VOLUME LEGEND:

18	A.M.
2	P.M.

SITE PLAN NOTES:

- 1) Site Plan based upon survey prepared by Dean Surveying & Mapping, dated 1/19/17 (Job #D17-103) and updated 2/22/17.
- 2) All utilities shall be underground.
- 3) The project shall be constructed in one phase.
- 4) Rooftop equipment shall be screened with building parapet. Ground equipment shall be screened with hedges.
- 5) Traffic Control Signs:
1 Handicapped Sign
2 Stop Sign with stop bar on pavement
- 6) Landscaping shall not be planted in utility easements, except as shown.
- 7) Building and roof overhangs shall not encroach in easements.
- 8) Project shall comply with Code of Ordinances, Chapter 11 - Nuisances.
- 9) New chain link fences & gates shall be 6'-0" high with black vinyl coating.
- 10) New site walls shall be minimum 6'-0" above grade with stucco and paint to match existing.
- 11) Project shall be constructed in one phase. Each building shall be permitted and completed separately.
- 12) No fire sprinklers at this project.

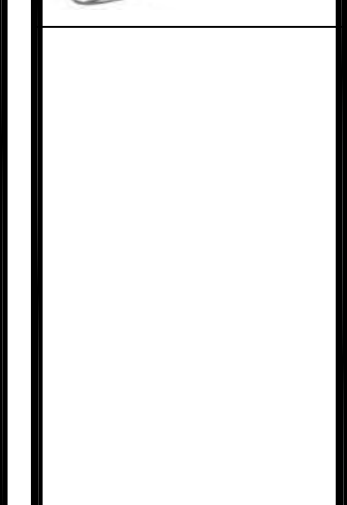
REVISIONS	BY

NEW COMMERCIAL BUILDINGS FOR

MAD ENTERPRISES PB, LLC

LOT 9 - WEST 10TH STREET
RIVIERA BEACH, FLORIDA

KUOPPALA & ASSOCIATES, P.A.
ARCHITECTS
LICENSE #ALC-00166
ROBERT E. KUOPPALA
FLORIDA ARCHITECT #9461
925 SOUTH MILITARY TRAIL, SUITE D-10
WEST PALM BEACH, FLORIDA 33415
(561) 682-1909-1975-FAX.



DRAWN
GWT

CHECKED
REK

DATE
AUGUST 21, 2017

SCALE
AS NOTED

COMM. NO.
17-06

SHEET

SP-1

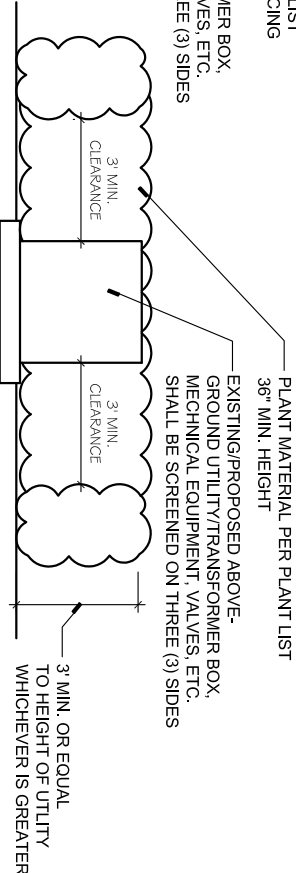
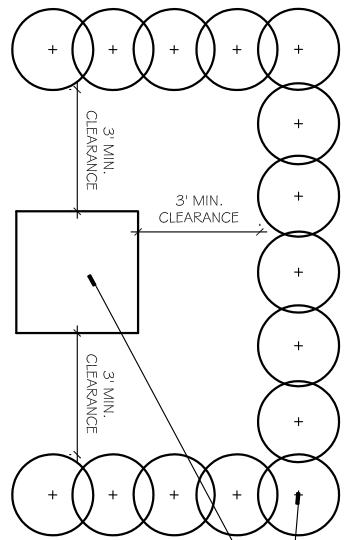
OF 2 SHEETS

NEW COMMERCIAL BUILDINGS FOR
MAD ENTERPRISES PB, LLC
LOT 9 - WEST 10TH. STREET
RIVIERA BEACH, FLORIDA



Scale: 1" = 20'-0"

Designed: JML
Drawn: JML
Approved: JML
Date: 4/12/17
Job no.:
Revisions: 8/21/17



EQUIPMENT SCREENING DETAIL
SCALE NOT TO SCALE

LANDSCAPE DATA:

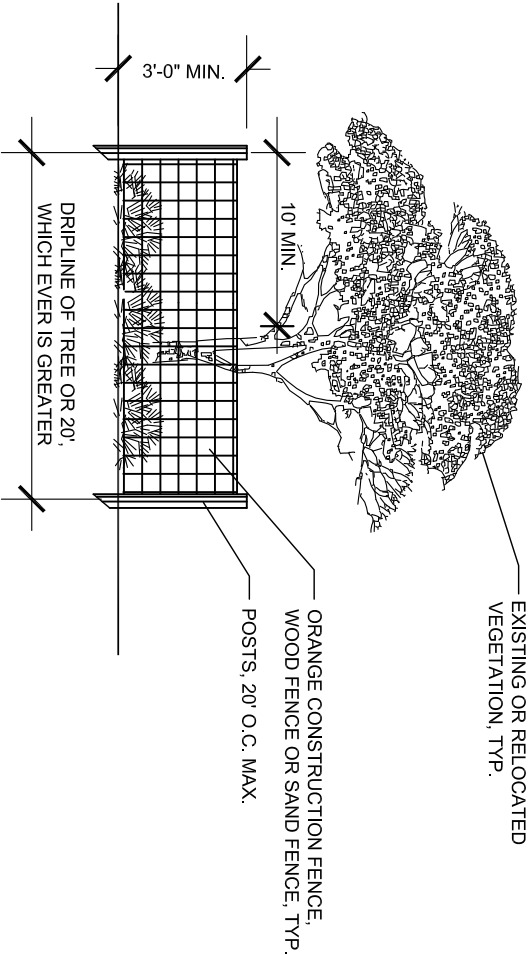
TOTAL SITE AREA:
74,356 S.F. (1.70 ACRES)
LANDSCAPE AREA REQUIRED:
11,153.4 S.F. (15% MIN.)
LANDSCAPE AREA PROVIDED:
12,163 S.F. (16.36%)

TREE REQUIREMENTS:
MIN. # OF TREES REQUIRED:
50 TREES (1 TREE/1,500 S.F. LOT AREA)
TREES PROVIDED:
75 TREES (INCLUDES EXISTING)

PARKING LOT LANDSCAPE REQUIREMENTS:
REQUIRED TREES:
7 (ONE TREE PER ISLAND)
PERIMETER BUFFER REQUIREMENTS:
7

BUFFER	REQ'D WIDTH	PROVIDED WIDTH	LENGTH	REQ'D TREES	PROVIDED TREES (INCL. EXISTING)
NORTH (COMPATIBILITY)	5'	5'	225.35'	11 (1/20 L.F.)	11
SOUTH (COMPATIBILITY)	5'	5'	192.62'	10 (1/20 L.F.)	10
WEST (COMPATIBILITY)	5'	5'	268.01'	13 (1/20 L.F.)	13
EAST (R/W)	10'	10'	271.02'	14 (1/20 L.F.)	14
SOUTHWEST (R/W)	10'	10'	*44.25'	2 (1/20 L.F.)	2
TOTALS:				50	50

* DOES NOT INCLUDE DRIVEWAYS
FOUNDATION PLANTING REQUIREMENTS:
TOTAL LENGTH OF FOUNDATION PLANTING AREA PROVIDED: 245.7 L.F.
REQUIRED FOUNDATION TREES: 12 TREES (1/20 L.F.)
FOUNDATION TREES PROVIDED: 16 TREES (1/20 L.F.)
TOTAL TREES REQUIRED: 69 TREES (INCLUDES EXISTING)
TOTAL TREES PROVIDED: 75 TREES (INCLUDES EXISTING)
MAX. # OF PALMS ALLOWED: 14 PALMS (20% MAX. OF REQUIRED TREES)
PALMS PROVIDED: 14 PALMS (ADD'L. PALMS ARE PROPOSED BUT ARE IN ADDITION TO THE REQUIRED TREES)



FENCING OF UNDISTURBED AREAS AND/OR EXISTING TREES:

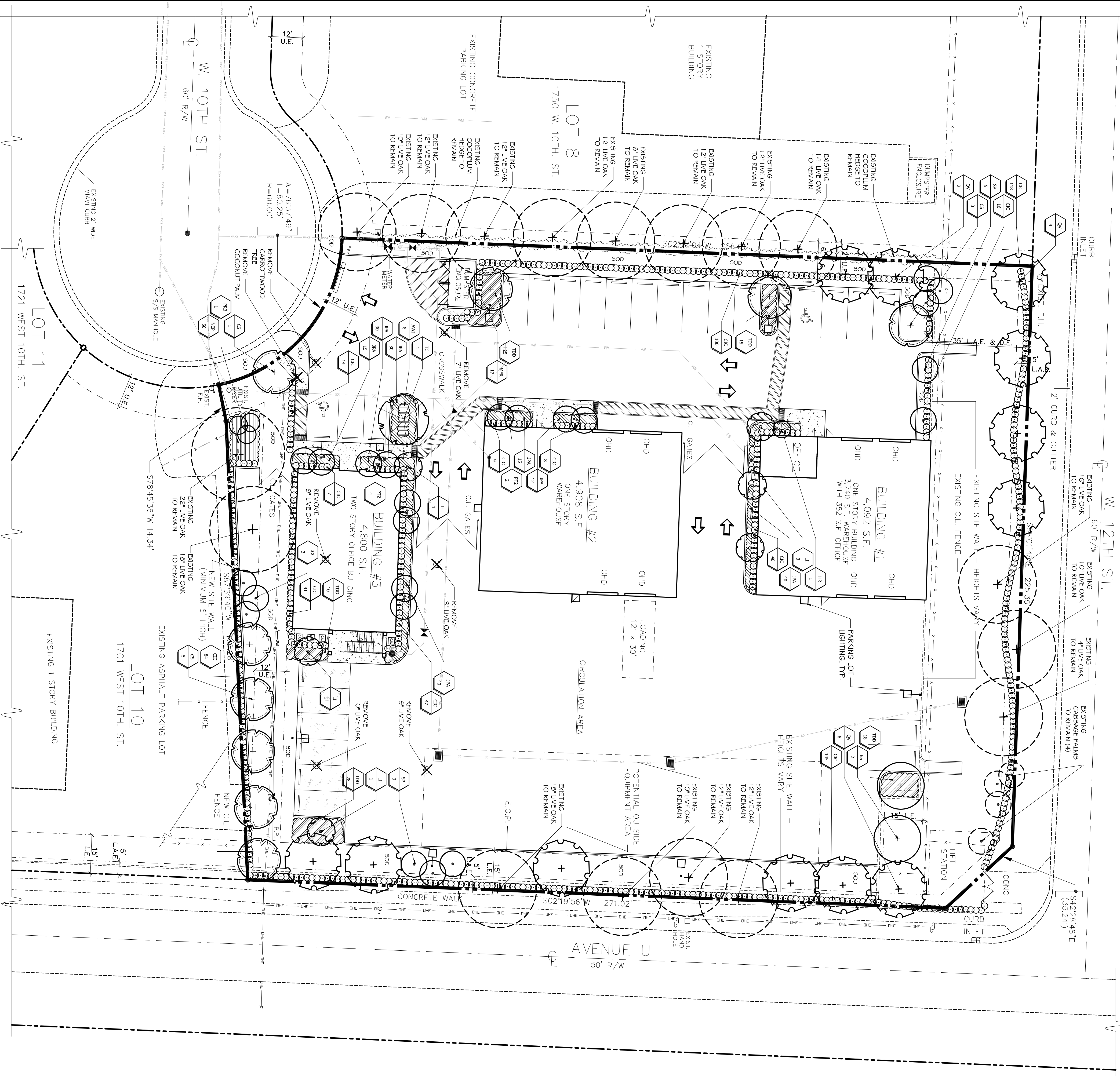
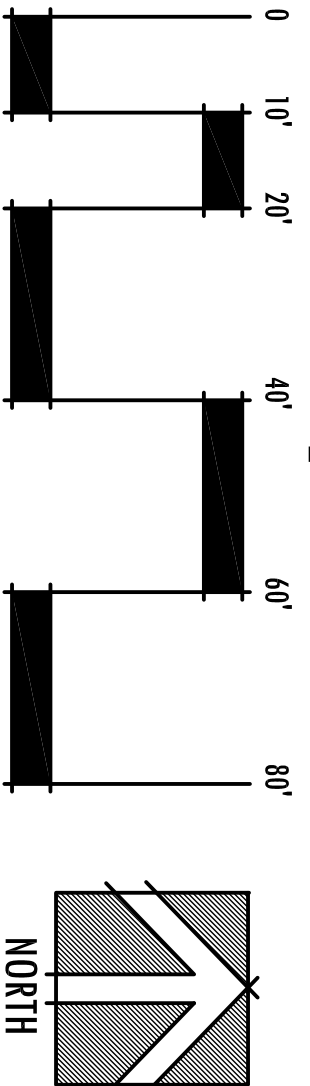
PRIOR TO THE COMMENCEMENT OF CONSTRUCTION, THE CONTRACTOR SHALL FENCE ALL UNDISTURBED AREAS AND/OR EXISTING TREES. THE FENCING SHALL BE 2' X 2' INCHES SHALL BE IMPLANTED IN THE GROUND DEEP ENOUGH TO BE STABLE AND WITH AT LEAST 3 FEET VISIBLE ABOVE THE GROUND. THE FENCING SHALL BE LINKED TOGETHER BY ORANGE NET FENCE PAVING OR OTHER, NO HEAVY EQUIPMENT, VEHICLE STORAGE OF MATERIALS, ETC., SHALL OCCUR WITHIN THE VEG. PROTECTION ZONE. EXTREME CARE SHALL BE TAKEN WHEN WORKING NEAR THE BASE OF TREES. NO FENCING SHALL BE PLACED WITHIN A ZONE OF 20' THE DIAMETER OF THE TREE CANOPY. CONSTRUCTION WITHIN CANOPY & TREE BARRICADE SHALL BE DONE WITH EXTREME CARE TO MINIMIZE DISTURBANCE TO THE ROOTS BY EXCAVATING, COMPACTING OR ADDING FILL.

UTILITY WORK (TRENCHING) WITHIN THE CANOPY & TREE BARRICADE SHALL BE DONE WITH EXTREME CARE TO MINIMIZE DISTURBANCE TO THE ROOTS BY EXCAVATING, COMPACTING OR ADDING FILL. MODIFIED TEMPORARILY TO ALLOW ONLY THE MINIMUM WORK ZONE. THE CANOPY AREA WITH BARRICADE, NO FILL, EVEN TEMPORARY SHALL BE MAINTAINED WITHIN THE BARRICADE. THE WORKZONE SHALL BE CLEANED UP & TREE BARRICADES REPLACED TO THEIR ORIGINAL CONFIGURATION.

TREE PROTECTION DETAIL

N.T.S.

Landscape Plan



KUOPPALA & ASSOCIATES, P.A.
ARCHITECTS

925 S. MILITARY TRAIL D-10
WEST PALM BEACH, FL. 33415

www.kuoppala.com
#AAC 001656

(561) 682-1909
(561) 682-1975 Fax

August 11, 2017

City of Rivera Beach
Department of Community Development
600 W Blue Heron Blvd.
Riviera Beach, Florida 33404

Attention: Mr. Jeff Gagnon

Re: MAD ENTERPRISES PB, LLC
Lot 9, West 10th Street
Comm. No. 17-06
City Site Plan Application #SP-17-02

Dear Mr. Gagnon,

We are in receipt of the first round of comments dated 5/11/17 thru Mario Velasquez's 7/11 letter and respond as follows:

BUILDING:

- 1.) Project shall conform to 2014 Florida Building Code. Project is still in the design stage. A construction cost is not possible to estimate this time. Construction costs shall be submitted with building permit applications.

PLANNING & ZONING:

- 1.) Attached is copy of Sunbiz records showing Mr. Art Axtell is an officer of the corporation.
- 2.) Narrative previously submitted, to recap: Project is three buildings (per attached plans) with parking lot, utilities, site lighting, and landscaping/irrigation. Entire project shall be constructed in one phase, with three separate building permits.
- 3.) Originally submitted application is legible and very short. No new application re-submitted.
- 4.) See civil engineer's response to this issue.
- 5.) Recorded Warranty Deed attached.
- 6.) Building #1 is an office/warehouse. Building #2 is a warehouse. Building #3 is an office. All uses are "Permitted Uses" in the "IL" district.
- 7.) West 10th Street is property front. West 12th Street and Avenue 'U' are the rear property lines. South and west property lines are the side property lines.
- 8.) Minimum pervious area revised to 16.36%, which exceeds 15%.
- 9.) 5' ADA aisle can be part of the accessible path from the right-of-way to the building. The concrete 5' aisle is flush with adjacent ADA pavement parking stall.

August 11, 2017
City of Rivera Beach
Department of Community Development
Mr. Jeff Gagnon
MAD ENTERPRISES PB, LLC
Lot 9, West 10th Street
City Site Plan Application #SP-17-02
Page 2.

PLANNING & ZONING con't:

- 10.) Circulation area clarified and outside equipment storage area now shown.
- 11.) Project shall be constructed in one phase, with a separate building permit for each building. See Note #11 on Sheet SP-1.
- 12.) Note #8 on Sheet SP-1 revised as requested.
- 13.) Comment acknowledged.
- 14.) New site wall previously noted as "minimum 6'-0" high" (above grade)." Existing site wall height varies with 6'-0" height minimum. Top of new wall shall not exceed maximum height of existing wall. Previously submitted site plan noted chain-link fence height at 6'-0" (above grade).
- 15.) Irrigation plan not required per City's checklist of submittal documents.
- 16.) See Landscape architect's response to this issue.
- 17.) East end of circulation area now curbed. All other landscape areas previously shown with curbs on wheel stops.
- 18.) 15% landscape area (minimum in IL district) now shown.
- 19.) See landscape architect's response to this issue.
- 20.) See landscape architect's response to this issue.
- 21.) See landscape architect's response to this issue.
- 22.) See landscape architect's response to this issue.
- 23.) See landscape architect's response to this issue.
- 24.) No monument sign proposed or shown.
- 25.) See landscape architect's response to this issue.
- 26.) Terminal is 13'-0" wide, which exceeds 10'-0" minimum
- 27.) See landscape architect's response to this issue.

FIRE:

- 1.) All buildings are less than 5,000 s.f. Fire sprinklers are not required in any building.

POLICE:

- 1.) Building #1 is an office warehouse. Building #2 is a warehouse (for contractor's storage). Building #3 is an office building.
- 2.) Comment acknowledged.
- 3.) Landscaping designed to City minimum standard.
- 4.) Comment acknowledged.
- 5.) Building numbers shall be installed, as directed by City, prior to Certificate of Occupancy. Address shall be illuminated and not obstructed.

August 11, 2017
City of Rivera Beach
Department of Community Development
Mr. Jeff Gagnon
MAD ENTERPRISES PB, LLC
Lot 9, West 10th Street
City Site Plan Application #SP-17-02
Page .

POLICE con't:

- 6.) Site lighting plan previously submitted. Each building shall also have exterior security lights that will be shown on construction documents.
- 7.) Site lighting plan previously submitted.
- 8.) Comment acknowledged.
- 9.) Comment acknowledged.
- 10.) Not a requirement per Code. This very good comment will be discussed with owner.
- 11.) Glazed openings shall be impact resistant and will be shown on construction documents.

ENGINEERING:


- 1.) See civil engineer's response to this issue.
- 2.) See civil engineer's response to this issue.
- 3.) See civil engineer's response to this issue.
- 4.) Current dumpster enclosure location approved by Waste Management. Five other properties on this street have enclosure in same/similar locations.
- 5.) Striping added – see Sheet SP-1.
- 6.) See civil engineer's response to this issue.
- 7.) See civil engineer's response to this issue.

UTILITIES:

- 1.) Existing trees shown near west property line are on neighbor's property.
- 2.) See civil engineer's response to this issue.
- 3.) See civil engineer's response to this issue.
- 4.) See civil engineer's response to this issue.
- 5.) See civil engineer's response to this issue.
- 6.) See civil engineer's response to this issue.

Attached are revised plans and requested data for re-submission. Please schedule this project for the September, 2017 Planning/Zoning Meeting. If you have any questions, please write or call.

Respectfully submitted,


Robert E. Kuoppala
Architect
AR0009481



August 24, 2017

Mario Velasquez, Senior Planner
City of Riviera Beach
Department of Community Development
600 West Blue Heron Blvd.
Riviera Beach, FL 33404

Re: Response to Landscape Comments, Site Plan Application SP-17-02 MAD Enterprises

Mario,

Please find below our responses to specific landscape comments for the above referenced project. The Responses have been noted in BOLD print.

16. Stakes and braces shall remain for a minimum of 12 months. Please revise and update notes as needed (LP-2, planting specifications #4).
Response: Note regarding timeframe for staking and bracing to minimum of 12 months has been added on sheet LP-2.
19. Please relocate the shrubs along the east side outside of the 5' access easement.
Response: By relocating the shrubs outside of the Limited Access Easement will place them on the inside of the existing concrete wall where they will not be seen by the public. We don't believe there will be an issue planting shrubs within an a limited access easement therefore we continue to show hedge in 5' L.A.E. along the outside of the existing wall.
20. The proposed landscape does not comply with the perimeter trees requirement which requires a tree every 20'.
Response: Trees have been added to ensure compliance with the city's perimeter tree requirements. We are proposing to utilize the existing large mature Live Oaks along the west property line, which are located on the adjacent property, as our west buffer trees since their mature canopies currently cover the entire buffer strip. We feel by adding additional shade trees along this buffer will be counterproductive since there is already a mature buffer that exists. A new hedge has been added along the west buffer.
21. Trees outside the property do not count towards minimum landscape requirement.
Response: Existing trees along the west property line, which are located just outside of the subject property, have been used to comply with the required buffer plantings due to the existing mature live oaks currently provide a continuous mature canopy along most of the west buffer. We feel planting additional trees along this buffer will be counterproductive since new trees will not thrive being installed under an existing canopy.
22. Please update the plant list to show an additional column for shade, accent, and palm trees, and provide on center planting dimension for groundcovers and shrubs.
Response: Plant list has been updated showing column for "Shade, accent, and palm trees." Spacing for all shrubs and groundcovers have been provided.
23. Please specify the amount of different planting species provided.
Response: number of different planting species has been added to the landscape data on sheet LP-1.
25. The proposed landscape does not fully comply with Sec. 31-610. Parking areas for multi-family and all non-residential developments, (C), (2).
Response: 5' foundation landscaping has been provided along the front of all proposed buildings per code. A 5' strip of landscaping has also been provided along one side of the drive aisles between the proposed buildings in lieu of a 3' strip on both sides which is



required.

27. Please update proposed landscape plan to comply with Article VIII. - Florida Friendly Landscape Regulations, specifically with Sec. 31-605.

Response: Revised landscape plans comply with section 31-605.

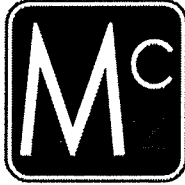
Please don't hesitate to call me should you have any questions.

Sincerely,

Jason
Litterick

Digitally signed by Jason Litterick
DN: cn=Jason Litterick, o=Litterick
Landscape Architecture,
ou=LA0001677,
email=jasonla1677@yahoo.com, c=US
Date: 2017.08.24 14:10:50 -0400

Jason Litterick
Landscape Architect (LA0001677)



McLeod • McCarthy & Associates, P.A.
Civil Engineers

August 21, 2017

City of Rivera Beach
Department of Community Development
600 W Blue Heron Blvd.
Riviera Beach, Florida 33404

Attention: Mr. Jeff Gagnon

Re: MAD Enterprises PB, LLC: Response to Engineering Comments
Lot 9, Port Commerce Center II
City of Riviera Beach, Florida (MMA #17-009)

In response to the Engineering comment for the subject project, we offer the following:

Drainage calculations are required. The receiving area to the north of the property will need to be modelled as a swale enclosed at the property boundary. Provide drawdown calculations within a 72 hour period for the 25-year and 100-year storm events. Please use 10.2 inches for the 25-year and 14.1 inches for the 100-year storms.

Response: Per our telephone conversation, this project is with the Commerce Center II master stormwater system and flood attenuation and water quality treatment are provided in the master system as long as the individual lots meet the land use assumptions of the permit. Refer to the originally submitted Concurrency Statement for a breakdown of this project's land use and the assumptions of the master ERP.

Enclosed in this submittal are copies of the original master ERP and a previous project's ERP for this same lot, which was never constructed.

Please provide berm elevations reflecting the 25-year storm along the perimeter where there are no proposed or existing walls to remain.

Response: As this lot is part of a master system, 25 year berms are not applicable.

Please provide the SFWMD Master Permit number referenced in the Drainage Statement.

Response: The Master ERP No. for this industrial park is 50-01463-S and a copy of the ERP is enclosed.

Please consider relocating the dumpster enclosure as the present location will be a point of conflict between waste management and passenger vehicles.

Response: (From Kuoppala & Associates) Current dumpster enclosure location approved by Waste Management. Five other properties on this street have enclosure in same/similar locations.

As a minimum, please provide pavement striping to delineate/separate the exit travel lane from the dumpster pickup area.

Response: (From Kuoppala & Associates) Striping added – see Sheet SP-1.

Provide a Pavement Marking and Signage Plan including details.

Response: Per our telephone conversation, a full striping/signage plan will be submitted with the future Construction Plans permit application.

Provide dimension from Building #1 to the parking spaces at the north-east end of the Circulation Area.

Response: The requested dimension has been added to civil sheet C02.

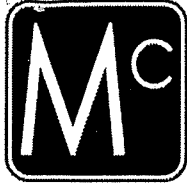
If you have any questions regarding this application, feel free to contact me at 561.689.9500 or todd@mcleodmccarthy.com.

Sincerely,



Todd N. McLeod, P.E., President
FL License No. 69811 | CA 30535





McLeod • McCarthy & Associates, P.A.
Civil Engineers

August 21, 2017

City of Riviera Beach
Department of Community Development
600 W Blue Heron Blvd.
Riviera Beach, Florida 33404

Attention: Mr. Jeff Gagnon

Re: MAD Enterprises PB, LLC: Response to Utilities Comments
Lot 9, Port Commerce Center II
City of Riviera Beach, Florida (MMA #17-009)

In response to the Utilities comments for the subject project, we offer the following:

No landscaping shall be planted within the utility easement. On sheet LP-1, the western lot line calls-out for trees to be planted on the western side of the proposed dumpster which would place the trees within the utility easement.

Response: (From Kuoppala & Associates) Existing trees shown near west property line are on neighbor's property.

There shall be no construction of private water service lines within the existing utility easement to the western edge of the property, as called out on the survey drawing. Water & sewer plans show a portion of the proposed water service lines within this easement.

Response: The private water/fire lines have been moved out of the existing utility easement.

Construction drawings shall include standard details for proposed sewer and water utility connections.

Response: Acknowledged.

Any water and/or sewer connections shall be coordinated and supervised by Utility District personnel. A minimum of 72 hours notice is required for connections.

Response: Acknowledged.

Construction drawings shall include potable water and sewer use calculations in accordance with the City of Riviera Beach Code of Ordinances (Sec. 31-716).

Response: Acknowledged.

The contractor shall field verify the exact locations and depths of utility lines. The City of Riviera Beach Utility District assumes no responsibility for any potential conflicts. Additionally contractor shall locate all sewer service laterals north of the property by W 12th St and verify that they are properly capped. Any uncapped or improperly capped laterals shall be properly capped by the contractor.

Response: Acknowledged.

If you have any questions regarding this application, feel free to contact me at 561.689.9500 or todd@mcleodmccarthy.com.

Sincerely,



Todd N. McLeod, P.E., President
FL License No. 69811 | CA 30535





**STAFF REPORT – CITY OF RIVIERA BEACH
PRINCIPAL ARTERIAL DESIGN STANDARDS ORDINANCE
PLANNING AND ZONING BOARD – OCTOBER 26, 2017**

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF RIVIERA BEACH, PALM BEACH COUNTY, FLORIDA, AMENDING CHAPTER 31 OF THE CITY'S CODE OF ORDINANCES ENTITLED, "ZONING", ARTICLE VI, ENTITLED, "SUPPLEMENTAL DISTRICT REGULATIONS", SECTION 31-551, ENTITLED, "PRINCIPAL ARTERIAL COMMERCIAL DESIGN STANDARDS OVERLAY", TO AMEND EXISTING OBJECTIVES AND DISTRICT DELINEATION, AND TO ENACT NEW REGULATIONS FOR THE APPEARANCE OF STRUCTURES, LANDSCAPE DESIGN, BUFFER STANDARDS, AND SIGNAGE, AND PROVIDING FOR AN EFFECTIVE DATE.

A. Applicant: City initiated process.

B. Request: To amend the City's existing Principal Arterial Commercial Design Standards Overlay in order to strengthen existing requirements and also to add new landscape buffer standards.

C. Location: The delineation of the district is proposed to impact real property fronting any one (or more) of the following roadways:

- (1) Dr. Martin Luther King Jr. Boulevard.
- (2) Old Dixie Highway.
- (3) Blue Heron Boulevard.
- (4) Broadway (U.S. Highway No. 1).
- (5) 13th Street.
- (6) Military Trail.
- (7) Congress Avenue.
- (8) Australian Avenue.

D. Background and Staff Analysis: The City's Principal Arterial Commercial Design Standards Overlay District was originally approved by Ordinance No. 2833 in 1999. Since that time, discussions at various public meetings have indicated that additional development guidelines for building construction along the City's most prominent roadways may be required. The City Council enacted a moratorium for development along Blue Heron Boulevard and US1 (Broadway) in order to provide additional time to review existing development criteria (Ordinance No. 4091). City staff believe that the recommended ordinance amendments will help to satisfy the desires of the community and City Council.

E. Recommendation: City staff advises that the Planning and Zoning Board review all information presented and provide an approval recommendation to City Council.

Proposed additions are underlined and proposed deletions are shown in ~~strikethrough~~ format:

Sec. 31-551. - Principal arterial ~~commercial~~ design standards overlay.

(a) *Objectives of this section.*

- (1) The following standards are established for ~~commercial~~ development along principal arterial roadways, excluding Downtown Districts, to ensure that such uses are compatible with other uses permitted in the same district and to protect the public health, safety and welfare of the community.
- (2) The purpose of these standards is to promote designs that are architecturally compatible with the surrounding area and the design goals of the city.
- (3) These standards are designed to promote development and redevelopment where the physical, visual and spatial characteristics are established and reinforced through the consistent use of compatible architectural elements. Such elements shall relate the design characteristics of an individual building or project to the other existing and planned structures in a harmonious manner, resulting in a coherent overall development and redevelopment pattern and streetscape.
- (4) The standards used in this section are intended to discourage development types that bear little relation to the planned redevelopment pattern of Riviera Beach.

(b) *Delineation of the overlay district.* The Riviera Beach Principal Arterial Overlay District shall be superimposed on all ~~commercial-zoned~~ properties fronting on any of the following roads in the city:

- (1) Dr. Martin Luther King Jr. Boulevard.
- (2) Old Dixie Highway.
- (3) Blue Heron Boulevard.
- (4) Broadway (U.S. Highway No. 1).
- (5) 13th Street.
- (6) Military Trail.
- (7) Congress Avenue.
- (8) Australian Avenue.

(c) *Applicability.* This section shall apply to all new ~~commercial~~ developments, additions or renovations in excess of 50% of assessed value of building within any 12-month period, and for signs or signage changes in excess of \$500.00, as determined by the city's director of development services ~~community development~~.

(d) *Exceptions.* ~~The city council may approve exceptions to these regulations as conditions of a site plan approval.~~ The Development Special Magistrate may grant one or more variance to these provisions according to the City's established variance process as provided in Code Sec. 31-42.

(e) *Appearance.*

- (1) All structures on the same parcel of land or in the same development shall have one architectural theme.

- (2) Building walls exposed to public view shall be designed through the use of a coherent and clear architectural design consistent with the character of the building. Building designs should incorporate architectural details and natural lighting.
 - (3) Buildings facing a public street or interior courtyard space shall be architecturally emphasized through entrance treatments and building details. Buildings with more than one facade facing a public street shall provide architectural treatment on each such facade.
 - (4) ~~Roofs shall give the appearance of having a pitch of 6/12 with overhangs. The roofing~~ Roofing shall be incombustible material such as shingles, clay or cement tiles, or metal.
 - (5) Roof and exterior wall surfaces, with the exception of glass, shall be nonreflective. Reflective or mirrored glazing at ground level, visible from the sidewalk, is prohibited.
 - (6) The rear and side of buildings shall be finished with material that in texture and color resembles the front of the building.
 - (7) Glass windows and doors must make-up a minimum of 20% of the primary elevation and a minimum of 10% of the secondary elevation. The primary elevation is defined as facing the abutting arterial road. The secondary elevation is defined as facing a perpendicular side road. Faux windows do not count towards the above mentioned required percentages. Visibility into the building through the required windows must be maintained.
 - (8) The coloration of all building walls shall be with a maximum of three colors, exclusive of the roof color. The use of "earth tone" and ~~pastel colors~~ neutral color palettes shall be ~~encouraged~~ required. Semi-transparent stains are recommended for application on natural wood.
 - (9) Canopies over vehicular use areas shall have a maximum clearance of up to 14 feet above grade and shall be consistent with the main building design. The canopy columns shall be architecturally finished to match the building.
 - (10) Work area or storage doors and open bays shall not open toward or otherwise be visible from any of the designated principal roads.
 - (11) Heating, ventilation, air conditioning equipment, duct work, air compressors, other fixed operating machinery shall be either screened from public view or located so that such items are not visible from a designated arterial, adjacent residential properties or intersecting street.
 - (12) No temporary structures shall be permitted, except those used in conjunction with and during construction. Office-type mobile units when used as temporary facilities shall be screened from view from a designated arterial and equipped with rigid skirting on all sides. Any towing gear shall be removed, and if not removable, shall be screened from a designated arterial.
- (f) *Landscaping, walls and fencing.* Commercial Development must comply with the landscaping requirements in article VIII of chapter 31 in the Riviera Beach Land Development Code as well as the items specified below:
- ~~(1) The use of planters shall be encouraged in the overall landscape design.~~
 - ~~(2) A tiered effect is required when multiple hedges are utilized.~~
 - ~~(3)~~ (1) Landscaped areas shall be surrounded with a six-inch raised curb.
 - (2) Perimeter Buffer Landscape Requirements
 - Landscape buffers shall be installed and maintained in accordance with the following standards.
- a) Right of Way (R-O-W)
R-O-W buffers shall be provided along all street R-O-W.

1. Width: The total width of the buffer along streets, thoroughfares, or other means of vehicular access shall depend on the width of the street, as indicated in Table 31-551.f.2. Width of R-O-W Buffer. The width of the R-O-W shall be determined by reference to the Roadway Functional Classifications Map in the Plan, or as determined by the Engineering Division. R-O-W widths for non-thoroughfare plan streets shall be determined by Engineering Division.

Table 31-551.f.2.a – Width of R-O-W Buffer (Feet)

<u>Width of R-O-W (Feet)</u>	<u>Minimum Width of Buffer (Feet)</u>
<u>76+</u>	<u>15</u>
<u>0-75</u>	<u>10</u>

2. Shrub Hierarchy

R-O-W buffers shall include each of the shrub types listed in Table 31-551.f.2.b, Shrub Planting Requirements.

Table 31-551.f.2.b – Shrub Planting Requirements

<u>Shrub Type</u>	<u>Minimum Height at Installation (Size)</u>	<u>Minimum Number of Shrubs Per Linear Foot of Buffer Length</u>	<u>Maximum Spacing at Installation</u>	<u>Maximum Maintained Height</u>
<u>Ground Cover</u>	<u>6 inches</u>	<u>2 per 1 linear foot</u>	<u>6 Inches</u>	<u>N/A</u>
<u>Small Shrubs</u>	<u>18 inches</u>	<u>1 per 2 linear feet</u>	<u>24 inches</u>	<u>36 inches</u>
<u>Medium Shrubs</u>	<u>24 inches</u>	<u>1 per 4 linear feet</u>	<u>48 inches</u>	<u>48 inches</u>
<u>Large Shrubs</u>	<u>36 inches</u>	<u>1 per 4 linear feet</u>	<u>48 inches</u>	<u>N/A</u>
<u>Notes</u>				
1. <u>Maximum maintained height is established to maintain the hierarchical visual effect for Perimeter R-O-W buffer.</u>				

3. Planting Pattern for a Perimeter R-O-W Buffer

One hundred percent of the buffer length shall be composed of a continuous opaque vertical landscape screen at least two feet in height, and composed of the shrub types listed in Table 31-551.f.2.b, Shrub Planting Requirements. The area of the buffer not planted with trees and shrubs shall be landscaped with ground treatment.

4. Minimum Tree Quantities: R-O-W Buffers shall contain One canopy tree per 20 lineal feet.

5. Area Measurement: The width of access ways that traverse required perimeter landscape buffers shall be included in the calculation of linear dimension.

6. Buffer Width Reduction: The required buffer width may be reduced by 50 percent where a project is separated from a R-O-W by a canal, lake, open space, or combination thereof, with a minimum width of 80 feet subject to DRC approval. The required number of canopy trees or palms shall not be reduced. The required quantity of shrubs may be reduced in proportion to the reduction in the buffer width, a maximum of 50 percent, to ensure the viability of the material.

7. Encroachment: No easement encroachment greater than five feet shall be permitted in required perimeter buffers, except for bisecting utility easements and

required safe sight distance easements not to exceed a maximum of fifty percent of the required buffer width.

8. Exemptions: R-O-W buffers are not required for individual single-family residential, townhouse lots, or the side of lot that abuts the Intracostal Waterway, private street right-of-ways internal to a PUD, and alleys.

~~(4)~~ (3) Chain-link or similar fencing ~~along~~ adjacent to a designated arterial roadway is prohibited. Where such fencing can be viewed from a designated arterial, landscaping or berms shall be provided to minimize visibility from the designated arterial.

~~(5)~~ (4) Perimeter walls shall be architecturally compatible with the principal building.

(g) *Signage and lighting.*

(1) Monument signs compatible with the architectural design of the development are the only permitted freestanding sign. Only one such sign is permitted per site roadway frontage and it can measure no more than seven feet high and six feet in width. ~~If there are separate businesses on a site, they may share identification on the one monument sign.~~ If a property roadway frontage exceeds 400 feet, a second monument sign may be permitted on that frontage, so long as the two signs are separated by 100 feet or more.

(2) Canopies shall not contain any signage, striping or other graphics.

(3) Window signage, whether permanent or temporary, shall be permitted up to 20% coverage of a window.

(4) Lighting fixtures shall be baffled and arranged so that illumination is deflected away from adjacent properties and roads.

(5) All signage must comply with these regulations within five years of adoption of this section.

(6) Fuel price digital signs shall be permitted as a monument sign feature subject to meeting the digital fuel price sign requirements of section 28-125.

(h) *Location criteria for developments with drive-up facilities.*

(1) No drive-up facilities may be located within 500 feet of an existing facility located on the same side of a designated arterial.

Such distance shall be measured from the point of ingress or egress of an existing site to the point of ingress or egress of the proposed site.

(2) Existing drive-up facilities located closer than 500 feet may be improved or upgraded provided that are able to meet the other requirements of this section.

(Ord. No. 2833, § 1, 9-21-99; Ord. No. 4073, § 4, 12-16-15)



**STAFF REPORT – CITY OF RIVIERA BEACH
ORDINANCE FOR PLANNING MANUALS
PLANNING AND ZONING BOARD – OCTOBER 26, 2017**

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF RIVIERA BEACH, PALM BEACH COUNTY, FLORIDA, AMENDING CHAPTER 27 OF THE CITY'S CODE OF ORDINANCES ENTITLED, "PLANNING", ARTICLE II, ENTITLED, "ADMINISTRATION", BY ENACTING SECTION 27-16, ENTITLED, "PLANNING MANUALS", AUTHORIZING THE CREATION OF A TECHNICAL MANUAL AND THE CREATION OF A POLICY AND PROCEDURE MANUAL, AND PROVIDING FOR AN EFFECTIVE DATE.

A. Applicant: City initiated process.

B. Request: To add specific language identifying and authorizing the implementation and use of a Technical Manual and a Policy and Procedure Manual for the Development Services Department.

C. Location: This Ordinance proposal would have a city-wide impact.

D. Background and Staff Analysis:

Technical Manual: This Manual will provide written and visual descriptions of elements required to be provided on site plans and similar documents to ensure uniformity for all submittals. This, in turn, will allow City staff to provide a more expeditious review of plans once they are submitted. Palm Beach County currently utilizes a Technical Manual to great success and the City will draw from this existing document to aide in the creation of our own Technical Manual. City staff believes that creation and implementation of this Manual falls within the administrative ability of the Department Director, however, referencing this document within the City's Code of Ordinances will help to increase transparency and to ensure that this document will have longevity once approved and created.

Policy and Procedure Manual: Currently, there are a multitude of City Code Sections that are out-of-date, silent, or provide incomplete information. These Code Sections will require future amendments. Due to the review process associated with Code amendments, the simplest revisions can take months to implement. Palm Beach County currently utilizes a "Policy and Procedure Manual" to provide a clear and concise mechanism to allow administration to clarify code deficiencies or code interpretations.

When a code deficiency is identified or a further interpretation is required, a topic specific memo is generated by administration which identifies the subject, purpose, background and subsequent procedures. Each memo is given a unique number for future reference and is publicly available online. These individual memos comprise the Manual. This ensures that as questions arise, administration and City staff take a proactive approach and also to ensure that an identical (or similar) situation is treated in the same manner moving forward.

In short, if the need to amend an existing City Code is identified, the memo will act as a temporary "stop-gap" until a final Ordinance is approved by the City Council. City staff believes that administration of the City's Code of Ordinances falls within the administrative ability of the Department Director, however, for transparency, City staff is requesting that this authority is expressly stated within the City's Code of Ordinances.

E. Recommendation: City staff advises that the Planning and Zoning Board review all information presented and provide an approval recommendation to City Council.

Proposed additions are underlined and proposed deletions are shown in ~~striketrough~~ format:

DIVISION 1. - GENERALLY

Sec. 27-16. – Planning Manuals

1. Specific authority is granted to the Development Services Director to create, implement, amend and administer the following Manuals:
 - a. Technical Manual.
 - i. The Technical Manual shall be utilized by the Development Services Department and associated Divisions and shall provide written and visual descriptions of elements required to be provided on site plans and similar documents to ensure uniformity for all development submittals.
 - ii. The Technical Manual may also include any additional information associated with development within the City.
 - b. Policy and Procedure Manual.
 - i. The Policy and Procedure Manual shall be utilized by the Development Services Department and associated Divisions and shall provide a mechanism for Administration to provide processes, code interpretations and to enact temporary measures to rectify existing deficiencies prior to Ordinance amendments being approved accordingly.

Secs. 27-16—27-30. - Reserved.



**PALM BEACH COUNTY
PLANNING, ZONING AND BUILDING DEPARTMENT
ZONING DIVISION
POLICY AND PROCEDURE**

JON P. MACGILLIS, ASLA, ZONING DIRECTOR,

PPM #: ZO-O-066

Issued: 04/17/17

Effective: 04/17/17

SUBJECT: **Shipping Containers used for storage or repurposed as a building structure**

PURPOSE: To address the use or repurposing of a shipping container and how and when the Palm Beach County (PBC) Unified Land Development Code (ULDC) Zoning Regulations apply.

BACKGROUND: Since 1997, Shipping Containers has been used for storage on bona fide agricultural uses. However, in recent years, there is a growing trend to repurpose one or more shipping containers and reclassify the structure for building purposes. The ULDC Art.4.C.1.h., only address shipping containers when used as an accessory structure for storage to an Agricultural use. However, until the proposed 2017 ULDC amendment is approved, this PPM will address how and when to apply zoning regulations to shipping containers that are being repurposed and reclassified as a different type of structure for purpose of obtaining a building permit.

PROCEDURES: Applying Zoning Regulations:

1. Shipping Container(s) may be used as an Accessory to a Bona Fide Agricultural Use and as a temporary Contractor Storage Container during construction:

a) Accessory to Agricultural Use: Refer to the ULDC, pursuant to Art., 4.C.1.h. which allows shipping container(s) to be used for temporary storage as an accessory to Agricultural Uses. The shipping container shall comply with Art.5, Accessory Structure ULDC requirements.

b) Temporary Storage during Construction: The ULDC does not address the use of shipping container(s) on construction sites as a temporary contractor storage in various zoning districts. However, the use of shipping container(s) as a

temporary contractor storage unit has been a long accepted practice in the county because of the "temporary" nature. Provided the shipping container is located on the site only during the construction phase, not located adjacent to property lines so as to cause a nuisance to adjacent property owners and does not interfere with the overall operation of the site which will then be regulated by the Building Division.

2. Repurposed Shipping Container(s):

A growing trend in Palm Beach County by property owners is to obtain shipping container(s) and converting them for permanent storage or a habitable structure. Once the owner applies for a building permit and requests to convert the structure the Zoning Division will no longer consider it a shipping container. The newly classified structure shall comply with all required Florida Building and Zoning Code requirements.

ADDITIONAL REQUIREMENTS:

The following additional requirements shall be complied with by the property owner:

- Identify the use of the structure, as outline in number 1 and 2 above.
- All necessary Building permits shall be obtained prior to placing the "shipping container" on the property.
- For repurposed containers all Zoning Regulations for the newly classified structures shall be met. This may require modifications to already approved Site Plans for the project, if applicable. In addition, all Florida Building Code requirements shall be met.



Director