



MEETING AGENDA PLANNING AND ZONING BOARD CITY OF RIVIERA BEACH, FL

LOCAL PLANNING AGENCY

Development Services Department: (561)845-4060 / www.rivierabch.com

Commencement – 6:30 PM
Thursday, April 11, 2019

City Council Chambers - Municipal Complex
600 W. Blue Heron Blvd., Riviera Beach, FL 33404

If you wish to speak on any item(s) on this agenda, please complete a public comment card and provide it to Planning and Zoning Staff. Cards must be submitted prior to Board discussion of an item. Thank you.

I. MOMENT OF SILENCE AND PLEDGE OF ALLEGIANCE

II. ROLL CALL

Vacant, Chairperson	Rena Burgess, Vice-Chair
James Gallon, Board Member	Edward Kunuty, Board Member
Margaret Shepherd, Board Member	Jon Gustafson, Board Member
Anthony Brown, Board Member	
Javarious Jackson, 1 st Alternate Member	Vacant, 2 nd Alternate Member

III. NOMINATION OF CHAIRPERSON AND VICE-CHAIRPERSON

IV. ACKNOWLEDGEMENT OF BOARD MEMBER ABSENCE NOTIFICATION

V. ADDITIONS AND DELETIONS TO THE AGENDA

VI. DISCLOSURE BY BOARD MEMBERS AND ADOPTION OF THE AGENDA

VII. APPROVAL OF MINUTES – February 28, 2019.

VIII. UNFINISHED BUSINESS – None.

IX. NEW BUSINESS

A. A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF RIVIERA BEACH, PALM BEACH COUNTY, FLORIDA, APPROVING SITE PLAN AND SPECIAL EXCEPTION APPLICATION (SP-19-02 / SE-19-01) TO CONSTRUCT A 120,282 SQUARE FOOT WAREHOUSE, ON A 7.23 ACRE PARCEL OF LAND, LOCATED AT 1301 PRESIDENT BARACK OBAMA HIGHWAY, IDENTIFIED BY PARCEL CONTROL NUMBER 56-43-42-33-00-000-3010, HAVING AN INDUSTRIAL FUTURE LAND USE DESIGNATION AND A GENERAL INDUSTRIAL (IG) ZONING DESIGNATION; AND PROVIDING FOR AN EFFECTIVE DATE.

X. WORKSHOP ITEMS

A. DISCUSSION OF A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF RIVIERA BEACH, PALM BEACH COUNTY, FLORIDA, APPROVING A COLLABORATIVE WALL MURAL PROPOSED AT 105 BROADWAY, ASSOCIATED WITH THE MANATEE LAGOON, A FLORIDA POWER & LIGHT ECO DISCOVERY CENTER, THE PORT OF PALM BEACH, AND THE CITY OF RIVIERA BEACH; AND PROVIDING FOR AN EFFECTIVE DATE.

B. DISCUSSION OF CREATING A SPECIAL PRESERVATION ZONING DISTRICT.

XI. GENERAL DISCUSSION

- A. PUBLIC COMMENTS
- B. CORRESPONDENCE
- C. PLANNING AND ZONING BOARD COMMENTS
 - 1. Project Updates / Upcoming Projects
 - 2. Upcoming P&Z Board Meetings – April 25, 2019 / May 9, 2019.

XII. ADJOURNMENT

NOTICE: In accordance with the Americans with Disabilities Act, persons in need of a special accommodation to participate in this proceeding shall, within a reasonable time prior to any proceeding, contact the City of Riviera Beach, 600 West Blue Heron Boulevard, Riviera Beach, Florida 33404, Telephone 561-845-4000 or TDD 561-840-3350, www.rivierabch.com.

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<p>CITY OF RIVIERA BEACH PLANNING AND ZONING BOARD</p> <p>---</p> <p>Thursday, February 28, 2019</p> <p>Council Chambers 600 West Blue Heron Boulevard Riviera Beach, Florida</p> <p>6:43 p.m. - 7:40 p.m.</p> <p>---</p> <p>IN ATTENDANCE:</p> <p>Tradrick McCoy, Chair Rena Burgess, Vice Chair Anthony Brown, Board Member James Gallon, Board Member Jon Gustafson, Board Member Edward Kunuty, Board Member Jeff Gagnon, Acting Director of Development Services Lina F. Busby, Assistant City Attorney Simone Davidson, Staff Assistant</p>	<p>1 MR. BROWN: Present.</p> <p>2 MS. DAVIDSON: Renee Burgess.</p> <p>3 VICE CHAIR BURGESS: Present.</p> <p>4 MS. DAVIDSON: Tradrick McCoy.</p> <p>5 CHAIR McCOY: Here.</p> <p>6 MS. DAVIDSON: You have a quorum.</p> <p>7 CHAIR McCOY: Thank you.</p> <p>8 Item III, acknowledgment of Board member</p> <p>9 absence notification.</p> <p>10 MR. GAGNON: Thank you, Chair.</p> <p>11 Jeff Gagnon, Acting Director of Development</p> <p>12 Services.</p> <p>13 Staff did hear from Ms. Shepherd tonight that</p> <p>14 she may be running late or may not be able to attend at</p> <p>15 all.</p> <p>16 CHAIR McCOY: Thank you. Any additions or</p> <p>17 deletions, Mr. Gagnon?</p> <p>18 MR. GAGNON: I do not have any additions or</p> <p>19 deletions, however, I did have a few announcements that</p> <p>20 I want to make before we begin.</p> <p>21 First, I want to congratulate Mr. Anthony</p> <p>22 Brown for his City Council nomination from first</p> <p>23 alternate seat to a permanent, active seat on the</p> <p>24 Planning and Zoning Board. He's been definitely a</p> <p>25 valuable contributor to the Planning and Zoning Board</p>
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<p>1 BE IT REMEMBERED that the following Planning</p> <p>2 and Zoning Board meeting was had at Riviera Beach City</p> <p>3 Hall Council Chambers, 600 West Blue Heron Boulevard,</p> <p>4 Riviera Beach, Florida, on Thursday, February 28, 2019,</p> <p>5 beginning at 6:43 p.m., with attendees as hereinabove</p> <p>6 noted, to wit:</p> <p>7 ---</p> <p>8 CHAIR McCOY: Good evening. Going to call</p> <p>9 the February 28, 2019 Planning and Zoning Board meeting</p> <p>10 to order.</p> <p>11 A moment of silence.</p> <p>12 (Moment of silence observed.)</p> <p>13 CHAIR McCOY: Stand for the Pledge.</p> <p>14 (Pledge of Allegiance recited.)</p> <p>15 CHAIR McCOY: Ms. Davidson, if you would call</p> <p>16 the roll for us, please.</p> <p>17 MS. DAVIDSON: James Gallon.</p> <p>18 MR. GALLON: Here.</p> <p>19 MS. DAVIDSON: Edward Kunuty.</p> <p>20 MR. KUNUTY: Here.</p> <p>21 MS. DAVIDSON: Margaret Shepherd.</p> <p>22 (No response.)</p> <p>23 MS. DAVIDSON: Jon Gustafson.</p> <p>24 MR. GUSTAFSON: Here.</p> <p>25 MS. DAVIDSON: Anthony Brown.</p>	<p>1 now for many months, so it's really great to see him</p> <p>2 promoted to that slot. So thank you very much for your</p> <p>3 service.</p> <p>4 Additionally, I'd like to make note of the</p> <p>5 fact that Javarious Jackson was also nominated to sit</p> <p>6 as our first alternate. He is currently going through</p> <p>7 the on-boarding process with the City Clerk's Office,</p> <p>8 so once that paperwork has been processed, he will</p> <p>9 become an active Board member as well.</p> <p>10 Mr. Jackson was kind enough to be with us</p> <p>11 tonight as well, and if there's any additional comments</p> <p>12 or conversation that he'd like to have in regards to</p> <p>13 the workshop item, we can open the floor at this podium</p> <p>14 to facilitate that. But I definitely want to thank him</p> <p>15 for volunteering to serve on the Board, and hopefully</p> <p>16 by our next meeting, he'll be participating as our</p> <p>17 first alternate member.</p> <p>18 Finally, I just want to make note that the</p> <p>19 nomination of Chair and Vice Chair happens annually in</p> <p>20 April. So it just popped into my head earlier today,</p> <p>21 so I want to make that announcement at this point</p> <p>22 because it's creeping up relatively soon. So we'll</p> <p>23 revisit that in April. Thank you.</p> <p>24 CHAIR McCOY: Thank you, Mr. Gagnon.</p> <p>25 And welcome, Mr. Jackson.</p>

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<p>1 Item number V, any disclosures by members? 2 Hearing none, is there a motion to adopt the agenda? 3 VICE CHAIR BURGESS: So moved. 4 MR. GUSTAFSON: Second. 5 CHAIR McCOY: There was a motion and a 6 second. Roll call. 7 MS. DAVIDSON: James Gallon. 8 MR. GALLON: Yes. 9 MS. DAVIDSON: Edward Kunuty. 10 MR. KUNUTY: Yes. 11 MS. DAVIDSON: Jon Gustafson. 12 MR. GUSTAFSON: Yes. 13 MS. DAVIDSON: Anthony Brown. 14 MR. BROWN: Yes. 15 MS. DAVIDSON: Renee Burgess. 16 VICE CHAIR BURGESS: Yes. 17 MS. DAVIDSON: Tradrick McCoy. 18 CHAIR McCOY: Yes. 19 MS. DAVIDSON: Unanimous vote. 20 CHAIR McCOY: Thank you, Ms. Davidson. 21 Item number VI, approval of the minutes 22 January 24th, 2019. Is there a motion for approval of 23 the minutes? 24 VICE CHAIR BURGESS: So moved. 25 MR. KUNUTY: Second.</p>	<p>1 provide for content neutral sign regulations, as well 2 as digital sign use associated with places of worship. 3 So for reference, the last page in the 4 Planning and Zoning agenda packet is a copy of a 5 summary memo that was provided to Mayor and Council on 6 February 7th. That was following the February 6th, 7 2019 City Council meeting where there was a 8 conversation and motion from the dais directing staff 9 to look into the existing sign code to potentially 10 allow for digital sign use at places of worship. So 11 that has initiated this process where staff is looking 12 into your existing sign code regulations. 13 A few years back we went through a sign code 14 amendment process to allow for digital sign use at 15 governmental facilities. For example, the digital sign 16 we have out in front of the Municipal Complex was 17 approved after we went through that amendment process. 18 So staff is currently engaged in research to see how 19 other municipalities treat this use, as well as seeing 20 what type of amendments would have to occur in order to 21 facilitate that use within the city. 22 So again, research only has been occurring 23 for a few weeks now. We haven't been able to identify 24 this use, really, in many other municipalities. This 25 is not only throughout Palm Beach County, but</p>
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<p>1 CHAIR McCOY: I believe that was a motion by 2 Mrs. Burgess and a second by Mr. Kunuty. 3 Ms. Davidson, if you will call the roll on 4 that. 5 MS. DAVIDSON: James Gallon. 6 MR. GALLON: Yes. 7 MS. DAVIDSON: Edward Kunuty. 8 MR. KUNUTY: Yes. 9 MS. DAVIDSON: Jon Gustafson. 10 MR. GUSTAFSON: Yes. 11 MS. DAVIDSON: Anthony Brown. 12 MR. BROWN: Yes. 13 MS. DAVIDSON: Renee Burgess. 14 VICE CHAIR BURGESS: Yes. 15 MS. DAVIDSON: Tradrick McCoy. 16 CHAIR McCOY: Yes. 17 MS. DAVIDSON: Unanimous vote. 18 CHAIR McCOY: Thank you, members. 19 We have no unfinished business, no new 20 business, and we're going to jump right into item 21 number IX, workshop items, letter A. 22 MR. GAGNON: Yes, thank you, Chair. 23 Tonight we have one workshop item, which is a 24 discussion of proposed amendments to Chapter 28 of the 25 City's Code of Ordinances entitled "Signs" in order to</p>	<p>1 throughout the state and also nationally. So we're 2 trying to find some more examples of where this is 3 implemented, how it was implemented and the best ways 4 of implementation. 5 One of the things that staff is also 6 contemplating is if it were to move forward, what type 7 of conditions of approval may be appropriate for this 8 type of use. So as provided in the PowerPoint, we're 9 contemplating conditions. Perhaps any sign code 10 application of this nature would have to go through a 11 special exception approval process. What this means is 12 the application would have to go through a staff 13 analysis, there would be notification to adjacent 14 property owners, followed by review at the Planning and 15 Zoning Board and final approval by City Council. 16 What that would do is ensure that neighboring 17 property owners or residents that could be impacted by 18 a digital sign would have the opportunity to voice 19 their opinion on it. So that was one of the ideas that 20 staff is currently contemplating. 21 In addition to that, we're contemplating 22 restricted times for operation. For example, there 23 could be a shutoff time from 10 p.m. to 6 a.m., or 24 something similar, where the sign would not be active 25 at night during typical sleeping hours, it wouldn't</p>

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<p>1 cause a glare issue for adjacent residential uses.</p> <p>2 One of the other conditions that we're</p> <p>3 contemplating is to ensure that the place of worship is</p> <p>4 an established facility and has been in the community</p> <p>5 for some time, perhaps a one year more time restriction</p> <p>6 or one year more requirement that would allow for</p> <p>7 eligibility to apply for a digital sign. What this</p> <p>8 would do is prohibit a brand new tenant coming into a</p> <p>9 location, establishing a place of worship and</p> <p>10 instantaneously having a digital sign. So this was</p> <p>11 another thought process that staff had.</p> <p>12 At this point, before I move on to the</p> <p>13 content based section of the presentation, I wanted to</p> <p>14 open the floor to the Planning and Zoning Board if you</p> <p>15 have any comments, as well as Mr. Jackson, if you'd</p> <p>16 like to introduce himself or add anything to the</p> <p>17 conversation.</p> <p>18 CHAIR McCOY: Members, any questions or</p> <p>19 comments of what we've seen from Mr. Gagnon?</p> <p>20 MR. KUNUTY: Just a question. Once we get --</p> <p>21 once we finalize this, are we going to do something</p> <p>22 that's, you know, add and strike-through so that when</p> <p>23 we go through it for the final time?</p> <p>24 MR. GAGNON: Yes, absolutely. So what was</p> <p>25 provided for backup material with tonight's meeting</p>	<p>1 So we have knowledge of at least one place of</p> <p>2 worship that would like to have a digital sign. Again,</p> <p>3 our current sign code is rather restrictive for that</p> <p>4 use, so it's not currently a permitted use. So there's</p> <p>5 at least one; so if there's one, I'm sure there's</p> <p>6 others that would be interested as well.</p> <p>7 From a staff perspective, because it is a</p> <p>8 global application of these regulations, we'd want to</p> <p>9 make sure that we protect other residents maybe in</p> <p>10 other locations and kind of have that thought process</p> <p>11 and really contemplate all possible uses in the future</p> <p>12 before we go through with any amendments similar to</p> <p>13 this.</p> <p>14 VICE CHAIR BURGESS: Of course. Thank you.</p> <p>15 CHAIR McCOY: I have a couple things,</p> <p>16 Mr. Gagnon, and I want to kind of see how we can tackle</p> <p>17 this, because, you know, I understand why someone would</p> <p>18 want a digital sign, and I'm not really in opposition</p> <p>19 of it, but we have some unique characteristics in</p> <p>20 Riviera Beach, and I'm very much concerned.</p> <p>21 And I would agree to every digital sign, it</p> <p>22 has to be a special exception. And there are a number</p> <p>23 of reasons why, because if you look at -- I'll just</p> <p>24 take for an example -- and members, if you can kind of</p> <p>25 just go with me and imagine this.</p>
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<p>1 agenda is our current sign code, which is within</p> <p>2 Chapter 28. Additionally, what was provided is two</p> <p>3 examples of content neutral sign code that had</p> <p>4 previously been approved in other municipalities. So</p> <p>5 that backup information is more relevant to the content</p> <p>6 based conversation that we'll have in a few moments,</p> <p>7 just as working examples of previously approved</p> <p>8 ordinances from other municipalities.</p> <p>9 But we would bring this back once we receive</p> <p>10 input from the Planning and Zoning Board. Tonight we</p> <p>11 would draft some language for Planning and Zoning Board</p> <p>12 consideration, followed by City Council consideration.</p> <p>13 VICE CHAIR BURGESS: Chair.</p> <p>14 CHAIR McCOY: You're recognized.</p> <p>15 VICE CHAIR BURGESS: I'm just wondering if we</p> <p>16 have current churches in our community that are</p> <p>17 interested in putting up electronic signage. Like how</p> <p>18 did the revision of the ordinance come about</p> <p>19 specifically for churches?</p> <p>20 MR. GAGNON: During, I believe it was the</p> <p>21 public comment section of the February 6th City Council</p> <p>22 meeting, there was a discussion that ensued regarding</p> <p>23 that use, which led to City Council providing a motion</p> <p>24 directing staff to look into regulations that would</p> <p>25 potentially allow for that to occur.</p>	<p>1 On Avenue O, in the, I want to say that's the</p> <p>2 1100 block at 27th Street, and if you go east -- I</p> <p>3 guess if you go northbound on Avenue O to Silver Beach</p> <p>4 Road, you're going to come across at least almost five</p> <p>5 or six churches. And what I don't want to see in doing</p> <p>6 this is that when you come down the street at 11:00 at</p> <p>7 night, you seem like you're in Las Vegas because</p> <p>8 there's lights everywhere. You know, that's one of the</p> <p>9 concerns that I have.</p> <p>10 But let's back up even further. You know,</p> <p>11 when we begin to take this on -- and I really</p> <p>12 appreciate having such a diverse Board of professionals</p> <p>13 that we can all think about this thing. But I think</p> <p>14 before we even begin to do this, I want to see if we</p> <p>15 can put in something that requires every place of</p> <p>16 worship to be registered with the City.</p> <p>17 And I think if we try to do this sign code,</p> <p>18 it would be way premature, because I understand that</p> <p>19 there are some regulations that makes the City's hands</p> <p>20 pretty much tied as to where a church can go. But at</p> <p>21 the very least, the only thing that we can hold onto is</p> <p>22 the fact that we shouldn't have digital signs on every</p> <p>23 single block.</p> <p>24 And I'm telling you, I live in a neighborhood</p> <p>25 where I can be assured that there's not going to be any</p>

<p style="text-align: right;">Page 13</p> <p>1 liquor stores, because there's a church on almost every 2 other corner, and I know there's a buffer around, you 3 know, certain stores that serve alcoholic beverages. 4 But clearly, we have to have some knowledge 5 of where churches are, because you have them in 6 storefronts. I mean I think you could probably have 7 one in someone's house if they really tried. You know, 8 there's nothing we can do to prevent it. So at the 9 very least, we need to first know where every church 10 is, and they should be required to register. That's 11 the first part. 12 Secondly, the other thing that came to mind 13 when I was reviewing this packet was when it comes to 14 churches, it appears that a lot of these churches are 15 kind of doing multiple, I guess, either church or day 16 care, church or event center, church or -- the place, 17 that Transformation Church, they do a rehab. 18 So like we're going to have multiple uses all 19 at this location. So I want to make sure that this 20 language is very restrictive, that we only allow it for 21 specific uses, even though the church may double as 22 theater or event center. 23 But we have to be mindful that folks live in 24 these communities, and as much as I want to -- I would 25 hope everybody has some sort of higher power or</p>	<p style="text-align: right;">Page 15</p> <p>1 MR. GAGNON: Yes, I believe there's federal 2 regulations. I can't remember the entire acronym, but 3 in short, it's the Religious Land Use Act. And what 4 that does in a nutshell is almost streamlines the 5 process, or it ensures that there's no extra burden in 6 order for those uses to occupy space similar to other 7 uses. 8 For example, if you had a grocery store that 9 was trying to move into a commercial location and there 10 were maybe a few minor regulations they needed to 11 satisfy, let's say parking, just for our conversation. 12 Let's say a grocery store comes in and they satisfy the 13 parking requirement and they're allowed to move in and 14 they're operating. 15 What the Religious Land Use Act does is it 16 states that you can't create an additional burden for a 17 religious use. So if a church wanted to move in, you 18 could say, well, you need to meet parking requirements, 19 but you couldn't say in addition to those parking 20 requirements, we want to make you do these other things 21 above and beyond what another use wouldn't have to do 22 in order to move into that location. 23 CHAIR McCOY: Sure. And I know this may be 24 something that you may have to research, but that 25 wouldn't limit the City's ability to require churches</p>
<p style="text-align: right;">Page 14</p> <p>1 something of that sort -- I don't want to disrupt 2 anyone's, you know, their way of living by having all 3 these illuminated signs. 4 So that's all I have on that, members. Any 5 other members? 6 MR. KUNUTY: I haven't done it in a while, 7 but one time when we had some churches on the agenda, I 8 counted up the churches in Riviera Beach, and it was 9 something like less than 1,000 people per capita, there 10 was a church. And it seemed to be very high, so I 11 checked a couple other municipalities, and it was. 12 So we have a lot of churches. And I think 13 that's a good point that Mr. McCoy makes. We have a 14 lot of churches, and there should be some qualification 15 that says this is a real church, or have some kind of 16 minimum membership or time, as you suggested, but some 17 criteria. 18 CHAIR McCOY: And I know this is early on, 19 Mr. Gagnon, but I think it may be useful if you can 20 provide us with, I guess, whatever the authoritative 21 reference as far to zoning for religion organizations 22 and religious places of worship so that we can have 23 that in review as well, because I think there's 24 something -- is it state or federal that guides where 25 churches can be? Is it federal law?</p>	<p style="text-align: right;">Page 16</p> <p>1 to register though, correct? 2 MR. GAGNON: For that concept of 3 registration, the way that we've handled it is 4 technically, anyone that has a business activity or a 5 use in the city is required to have a Certificate of 6 Use and Business Tax Receipt. If it is a religious 7 institution, it would be exempt from any fees, however, 8 we still ask that they get that documentation from the 9 City. 10 That way, we can generate maps such as 11 Mr. Kunuty has referenced as far as location of those 12 religious institutions or places of worship, as well as 13 the item you referenced where it's important for us to 14 have that base information, because if somebody comes 15 in and proposes alcohol sales within a certain 16 proximity, that may prohibit that use from being placed 17 there. 18 So we do ask that all places of worship, in 19 essence, register with the City by receiving a 20 Certificate of Use and Business Tax Receipt at no 21 charge, just so we have our documentation in order. 22 CHAIR McCOY: Okay. So would the language, 23 or I guess the authoritative reference that you're 24 mentioning, would that then dictate that the City 25 couldn't charge a church more for the use of a digital</p>

<p style="text-align: right;">Page 17</p> <p>1 sign compared to if it was a fueling station or 2 something of that sort? 3 MR. GAGNON: What we would do is associated 4 with permit fees, it's based on the valuation of work. 5 So that is completely independent of what the end user 6 is doing. It's only dependent on the value of work. 7 So that wouldn't be an issue in that instance. As far 8 as any other general application fees, those would be 9 standard as well, so I don't think we would run the 10 risk of having any sort of conflict like that. 11 CHAIR MCCOY: Any other members with some 12 questions? Chime in. It's kind of open floor if you 13 will go ahead. 14 MR. KUNUTY: Mr. Gagnon. 15 MR. GAGNON: Yes, sir. 16 MR. KUNUTY: I can't remember exactly where I 17 saw it, but I did read it in here that there is a 18 limitation on digital billboards. I mean could you -- 19 since, as Mr. McCoy said, he's got a bunch of churches 20 in his neighborhood, would that make sense, to consider 21 some kind of limitation or distance requirement 22 between? 23 MR. GAGNON: We could potentially consider a 24 separation requirement. The section of the code that 25 you're referencing is actually one of the newer</p>	<p style="text-align: right;">Page 19</p> <p>1 specifically with content based versus content neutral 2 codes. So there was a 2015 Supreme Court ruling, and 3 the case was Reed versus Town of Gilbert, and that was 4 based in Arizona. 5 There's a lot of intricacies that are tied up 6 in this specifically with other case law, but this is 7 really just touching on the basic points to provide 8 that, you know, first level of education, make sure 9 that I can answer any Board questions associated with 10 this, and also kind of go through some of the 11 difficulties in achieving this and some of the goals 12 and objectives that City has in order to make sure that 13 they are in compliance with the Supreme Court ruling. 14 Any sort of content based regulation in the 15 sign code becomes subject to what's called strict 16 scrutiny. And the further definition of strict 17 scrutiny is really an in-depth analysis of whether or 18 not that code provision is the least restrictive means 19 of achieving a compelling governmental interest. So it 20 does not mean that you can't have any content based 21 regulations, so long as what you're regulating can 22 survive this strict scrutiny test. 23 For example, if it is an adult use, so an X 24 rated use, there is case law that says this does serve 25 a compelling governmental interest, so that type of</p>
<p style="text-align: right;">Page 18</p> <p>1 sections of our sign code. I think that was amended 2 four years, five years ago maybe. 3 MR. KUNUTY: Right. 4 MR. GAGNON: That was in response to a push 5 from billboard organizations that were now able to 6 access this digital technology at a much more 7 economical price. So with that, we did allow for 8 digital billboards within certain corridors, 9 specifically adjacent to I-95. 10 But in addition to that, there's a separation 11 requirement between those billboards, so that way, 12 there's not oversaturation. In addition, there's a 13 state requirement for separation between billboards as 14 well. 15 So billboards is a unique kind of carve-out 16 within the sign code because there are additional 17 regulations. But to your point, for separation 18 requirements, that's definitely something we can 19 contemplate as well. 20 CHAIR MCCOY: Any other members? The floor 21 is open. 22 Mr. Gagnon, you can continue with your 23 presentation. 24 MR. GAGNON: All right, thank you, sir. 25 So the second half of the presentation deals</p>	<p style="text-align: right;">Page 20</p> <p>1 speech can be regulated. So there's also different 2 categories of speech, whether or not it's just open 3 speech or commercial speech or governmental speech. 4 So that's kind of getting into the weeds of 5 the process, but if you look at the true definition for 6 content based, if you have a code structure that 7 assigns different definitions or different categories 8 or provides special treatments or exemptions for one 9 type of sign versus another based on the subject or 10 text of the sign itself, the topic expressed or the 11 overall content of the sign, that's going to fall under 12 a content based definition. 13 So if you have a sign code that says real 14 estate signs can measure six feet by six feet, what 15 you're asking someone to do is to read what the sign 16 says, make a determination whether it's a real estate 17 sign or another type of sign. So that would fall under 18 the definition of a content based definition within the 19 sign code. 20 Additionally, if you stated temporary 21 directional signs can measure three feet by three feet, 22 once again, you're asking someone to read the content 23 of the sign in order to make a determination of how 24 that sign is defined within the code. So that, once 25 again, would be an example of a content based</p>

<p style="text-align: right;">Page 21</p> <p>1 definition for a sign. 2 So what municipalities have found to be a 3 solution is to move away from content based codes to 4 the greatest extent possible and rely on content 5 neutral or form based codes. So instead of saying a 6 real estate sign can be six feet by six feet, perhaps 7 there would be a definition for a pole type sign, and 8 that sign can measure six feet by six feet. 9 So you're no longer looking at what the text 10 of the sign is trying to say or does say, you're now 11 just simply looking at the construction of the sign and 12 saying that this construction for a pole type sign will 13 allow a six by six foot structure. 14 Similarly, instead of saying temporary -- I 15 think the example before was temporary directional 16 sign. So instead of saying temporary directional sign, 17 you just call it a temporary sign, and now the 18 definition for that, you're not saying it's a 19 directional sign, you're not trying to read what is 20 stated on the sign itself. So if you had a definition 21 for temporary sign, that would be permissible, and you 22 could associate a certain size or location criteria, or 23 even a total number of signs for property or stretch of 24 property. 25 So if you look through the City's code, I</p>	<p style="text-align: right;">Page 23</p> <p>1 CHAIR McCOY: Members, the floor is open. 2 VICE CHAIR BURGESS: Chair. 3 CHAIR McCOY: You're recognized. 4 VICE CHAIR BURGESS: Well, the monument sign 5 is the sign that I mostly see at churches in our 6 community, but you're saying going into the code for 7 the workshop, this would be displayed as examples of 8 what could be permissible? 9 MR. GAGNON: So the City has been pushing for 10 monument type signs for probably ten years or so, 11 especially along our principal arterial roadways. So 12 this has been the most favorable type of sign. This is 13 something that's the most desirable type of sign. 14 What we would associate with these sign types 15 is either they would be permissible within certain 16 zoning districts, maybe certain roadway corridors, but 17 we would assign the location of where these signs could 18 be built. And again, they would be form based versus 19 content based. 20 So currently our code talks about real estate 21 signs and treats those types of signs different than 22 other types based on the fact that they're a real 23 estate sign. So because that determination needs to be 24 made, it falls into that content based category. 25 So what staff will need to do is look through</p>
<p style="text-align: right;">Page 22</p> <p>1 don't want to point out specific examples yet, but we 2 have issues with definitions that are content based 3 versus non-content based. So we have a few examples of 4 content based definitions that do need to be amended, 5 and the two examples that were provided as backup have 6 recently been approved by other municipalities, but not 7 local municipalities, but they've survived, I guess, 8 other tests as far as whether or not they meet content 9 neutral or content based code structures. 10 And these are some of the examples of 11 illustrations that are provided in one of those 12 backups. So these are additional illustrations that 13 are provided within the definition section, so it makes 14 it very clear for any applicant, any sign company, any 15 resident that is looking to install a sign or looking 16 to improve their property exactly what type of sign 17 would be permissible as well as some of the 18 requirements, structural elements that would be allowed 19 as well. 20 Again, you recognize that there isn't 21 something that says real estate sign, it says pylon 22 sign. So again, we're focusing more on the structure 23 of the sign versus the content of the sign. 24 So at this point, I'll open up the floor for 25 any questions or comments from the Board.</p>	<p style="text-align: right;">Page 24</p> <p>1 really our entire sign code and make sure those types 2 of conflicts don't exist, especially since a large 3 chunk of our sign code is still from 1957 and it hasn't 4 been amended since then. 5 VICE CHAIR BURGESS: Okay. 6 MR. GAGNON: We have a heavy lift. 7 VICE CHAIR BURGESS: Thank you. 8 CHAIR McCOY: I want to say this, and I know 9 this is going to sound prejudiced, but I am prejudiced, 10 because when I think about it, folks, we can't have 11 these digital signs in our neighborhood, because, you 12 know, here's what we didn't foresee in 1957. We didn't 13 foresee that we'll have home day cares, you know. 14 And I was just talking to, believe it or not, 15 our former member, Mr. Hamilton, I think just a couple 16 days ago about the day care facility that's just next 17 door to him and across the street from me, and I'm 18 thinking to myself there's one there now, and there's 19 going to be another one up the street in a few years. 20 At what point does the day care industry come in and 21 say they want to put a sign in their front yard? And 22 it becomes now that we've turned a residential 23 community into a business district. 24 And you know, there's one thing to have 25 lettering outside a church, but I just don't understand</p>

<p style="text-align: right;">Page 25</p> <p>1 that there is such a dire need to have electronic 2 signage. You have to deal with things like when it's 3 turned off, the dimness, the brightness. You know, 4 there's just going to be so many unintended 5 consequences allowing a digital sign inside a 6 residential neighborhood. 7 And you know, it's going to have to be very 8 strict scrutiny and definitely a special exception, 9 because if you have a boilerplate language, this is 10 going to be abused. And I would hate to be in a 11 neighborhood where you have to deal with this. So you 12 know, just from where we are now, just thinking about 13 it, I sure wouldn't want this in my neighborhood. 14 Any other members? 15 MR. GALLON: Chair. 16 CHAIR McCOY: You're recognized. 17 MR. GALLON: I have to concur, because I have 18 a church right down the street from me, and I 19 definitely wouldn't want no bright signage in front of 20 the church. Also, what will this do to the property 21 values, having all these signs in front of churches and 22 day cares in residential neighborhoods? 23 CHAIR McCOY: We'll take any other members. 24 MR. GUSTAFSON: Chair. 25 CHAIR McCOY: You're recognized.</p>	<p style="text-align: right;">Page 27</p> <p>1 just going to be more trouble than it's worth. 2 And I was looking at this. I guess this is 3 Metropolitan Council? This is Chapter 16 of -- I guess 4 this is just sample language. And if you look at some 5 of the language, it makes really good sense as to why 6 we shouldn't have it. 7 And, you know, I would like to see what the 8 real need of it is, why someone would want this and 9 what each one of them, each sign is and what exactly it 10 means, because I'm just looking at some of the 11 language, such as, if I can just get your attention to 12 16-5 of that, and there's a section, Electronic 13 Messages Centers, and it speaks of LEDs, LCDs, flip-up 14 matrix. 15 We're just taking a lot of elements out of a 16 residential community when we allow for these kind of 17 signage, and I just don't think that that's going to be 18 good. We have to not think about 2019, folks. We've 19 got to think about 2039 and what our community will 20 look like in 30 years. 21 So I'm just having some difficulties trying 22 to understand how we're going to get there. And at the 23 very least, if we have to, members, pass something, it 24 has to be done on a special exception basis only, 25 because, you know, a church is fine until you have to</p>
<p style="text-align: right;">Page 26</p> <p>1 MR. GUSTAFSON: I also concur on this matter 2 of regulating them or not having them in our 3 neighborhoods at all. With today's society of being so 4 distracting with cell phones, the information being 5 constantly pushed at us, I also think it could be a 6 safety factor from a driving standpoint. 7 CHAIR McCOY: Thank you. And you know, 8 here's the other thing. I think it really was 9 meaningful to see that case law, because, you know, now 10 when you think about it, a lot of these churches double 11 as not only day cares, but some of them as schools. 12 Now, you know what's unique about the state 13 of Florida, I believe all School Districts have their 14 own Building Department. Well, I'm not going to say 15 that. They are not required to come to local 16 government for building. 17 Then you're going to have some legislator or 18 some lobby group pushing to allow, you know, these same 19 digital signs inside of a neighborhood that's going to 20 be on a school property that, you know, we can't really 21 begin to juggle with, because you'll have a school on 22 the north side of Blue Heron that has a digital sign, 23 and then a church right across the street that falls 24 under totally separate regulations, and then we're kind 25 of going to find ourselves in the situation where it's</p>	<p style="text-align: right;">Page 28</p> <p>1 live next door to it and you have deal with it every 2 day, you know, so -- 3 MR. GAGNON: If I could add to that 4 statement, Mr. Chair, I do want to point out the fact 5 that there is a slightly different treatment between 6 the governmental speech and commercial speech. So the 7 reference to School Board and some of the digital signs 8 that you'll see on school property, that's considered 9 governmental speech, similar to the billboard up front 10 at City Hall. And I think the intent behind that is 11 messaging on that billboard is supposed to be 12 beneficial for the community. 13 When it comes to commercial speech, 14 specifically with content neutral sign codes, it's 15 almost impossible to limit what that digital display 16 could say. Unless it falls into one of those 17 categories that can survive strict scrutiny, and you 18 know, it's adult entertainment or something that is 19 really out there, you know, you would have the ability 20 to place almost, almost any message on a digital 21 billboard. 22 So I think the intent behind it is good as 23 far as, you know, the first thought is, well, you know, 24 it's going to be used for church services only, it's 25 going to only display information for that location.</p>

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<p>1 The reality is it's almost impossible to regulate what 2 truly will be on that display. 3 So to your point, Mr. Chair, as far as having 4 supplemental uses at that location, it could be used 5 for supplemental uses as well. 6 Additionally, a place of worship, the 7 definition for that is very broad. So I think 8 throughout the U.S. we are accustomed to seeing certain 9 religious uses, certain religions in general. However, 10 that worship or religious group, it's very wide. So 11 you could have a very unique or different religious 12 organization come into the city and have a digital sign 13 and have it say something that others may not agree 14 with. 15 CHAIR McCOY: Sure. 16 MR. GAGNON: But that's just part of their 17 right and First Amendment right. So again, thinking of 18 the future of the city, 2037 that you referenced, from 19 a planning perspective, we're just trying to think of 20 any possible scenario that could occur in the future. 21 CHAIR McCOY: Thank you. 22 MR. KUNUTY: Mr. McCoy. 23 CHAIR McCOY: You're recognized. 24 MR. KUNUTY: To that extent of what 25 Mr. Gallon and Mr. McCoy have been saying, 1611, item</p>	<p>1 more current manner, being that that code section that 2 we currently have is from 1957. 3 MR. KUNUTY: Well, I think it's important to 4 hear what Mr. McCoy said about thinking about this 5 further out too, because, you know, ten years ago no 6 one predicted that marijuana sales is going to be so 7 common all over the country. So you know, we don't 8 know where it's going to go. 9 So, but the other, my other point is you said 10 that this has been triggered by one person's comment at 11 a Council meeting. And I really think we should 12 understand the intent of that. Why? And are we 13 overreacting by reacting to one person's comment at a 14 City Council meeting, and now we're going to spend, you 15 know, hundreds of people hours rewriting the sign code? 16 Granted, some of it needs to be done, but you 17 know, just on this Board, we've spent a lot of time 18 just talking about digital signs, and it's, you know, 19 one person, you know. What if somebody got up and 20 said, you know, we ought to have licensed medical 21 marijuana in Riviera Beach? I mean do we react to 22 that? 23 MR. GAGNON: What I can say for this instance 24 is the City Council did provide a motion to staff to 25 follow up with the process, so we are doing that. I do</p>
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<p>1 D, protect property values. So that's already embedded 2 in our current sign code. 3 CHAIR McCOY: No, that's not. That's not us. 4 That's the sample language. 5 MR. KUNUTY: Oh, okay. Take it back. 6 CHAIR McCOY: But, you know, that's what we 7 need. 8 MR. KUNUTY: It probably should have been. 9 CHAIR McCOY: Yes, that's -- 10 MR. KUNUTY: Yes, it probably should be. 11 MR. GAGNON: Well, we have a similar section. 12 Ours is actually 28-2, which is labeled Intent. And 13 what locations have discovered is if you do not provide 14 a purpose and intent and findings associated with your 15 ordinance, it may not survive scrutiny. So unless 16 you're stating the intent of the ordinance, it could 17 have other legal challenges. 18 So we definitely have to strengthen our 19 Intent section similar to the section referenced by 20 Mr. Kunuty, the Findings section that's provided in the 21 example of Chapter 16. So you can see they have a 22 really well developed Findings section that talks about 23 property values, health, safety, welfare, while our 24 section, which is just labeled Intent, it talks about 25 similar things, but it maybe could be developed in a</p>	<p>1 hear your comment though. 2 CHAIR McCOY: Any other members? 3 Thank you for not saying that. I have to 4 respond. And you're absolutely right, Mr. Kunuty, 5 that's what they do. They lobby Council members in a 6 public meeting, and they put them on the spot. And the 7 first thing they say is: Staff, go back and see what 8 you can do. And it's not fair to staff, and it's 9 certainly not fair to us. 10 The other problem with that is, you know, 11 we've been on this Board, and again, I really 12 appreciate having the opportunity to serve, but you 13 know, some folks come in by way of having to amend or 14 put in an application for a text amendment to the code. 15 That's a process, and I just don't like the fact that 16 sometimes folks come in and they lobby Council and they 17 want to circumvent the rules. 18 But we live in a city where people just, I 19 guess -- and I'll repeat what I said the other night: 20 Right is wrong and wrong is right. But they should 21 come through the process, and if they want to amend the 22 code, do a text amendment and do the application. 23 But to do, you know, spot zoning and single 24 ordinances, it's just not fair, because there's going 25 to be a guy who really has an issue with something in</p>

<p style="text-align: right;">Page 33</p> <p>1 our code, and he's not going to be able to afford to do 2 that, and he's not going to have the political 3 willpower to come in and lobby a Council member from 4 the floor. 5 So, you know, I guess we're charged with a 6 duty as members of this Board, so we have to kind of 7 deliberate and review what's presented in front of us. 8 But I think that's just -- it speaks to the process 9 that we're in. And that's why I commend everybody for 10 serving here and want to volunteer. But you know, I 11 just don't think it's a fair process sometimes. 12 And you know, with that in mind, speaking of 13 text amendments, you know, it took me back. I was on 14 10th Street this past week, and even reviewing what we 15 have in front of us, I remember it when we had a text 16 amendment to do the electric fence ordinance. And to 17 my surprise, passing the, I think the 1000 block of 18 10th Street, I still see the electric fence, even 19 though I know it's not allowed in the city, but I guess 20 they still have it physically there. 21 So things happen in the city, and sometimes I 22 don't agree with it, but I certainly don't think that 23 we should change our code for one applicant. Make them 24 go through the text amendment application is what I 25 say.</p>	<p style="text-align: right;">Page 35</p> <p>1 CHAIR McCOY: Yes. 2 MS. BUSBY: Thank you. 3 I will note that this is a great endeavor. 4 And a lot of municipalities have not updated their sign 5 code. Our office worked closely with Development 6 Services and Mr. Gagnon's office, and we did a survey 7 of many of the different municipalities and their sign 8 codes, and many still, since 2015 and this recent 9 Supreme Court ruling, have not updated the provisions 10 of their sign code. So there are things that need to 11 be addressed, and simply looking towards another 12 municipality is probably not going to provide that 13 direction. 14 CHAIR McCOY: Okay. Well, thank you for 15 that, Ms. Busby. 16 MS. BUSBY: You're welcome. 17 CHAIR McCOY: At the very minimum, I think 18 special exception, because we can't allow these people 19 unfettered access to just do whatever they want in our 20 neighborhoods. And you know, it has to be very strict 21 rules, because, you know, I guess our code requires a 22 mail-out of 300 feet or something like that in special 23 exception application. I mean, folks, how much junk 24 mail do we get, you know? I just think it's going to 25 be so intrusive, so I don't want to continue down that</p>
<p style="text-align: right;">Page 34</p> <p>1 MR. KUNUTY: Maybe we should table this until 2 March 12th. 3 VICE CHAIR BURGESS: Is that a motion? 4 MR. GAGNON: Can I add to the electric fence 5 comment also? 6 CHAIR McCOY: Sure. 7 MR. GAGNON: There's actually state 8 legislation that was passed that has trumped local 9 zoning regulations in regards to electric fences. 10 CHAIR McCOY: Oh, really? 11 MR. GAGNON: That was approved maybe a year 12 and a half ago now. I can find the exact legislation. 13 But I know the City had worked on that issue for a 14 number of hours, a number of months, and we came up 15 with regulations, but at this point, they're null and 16 void. 17 CHAIR McCOY: Really? So is that -- well, I 18 guess we could probably -- I don't want to interrupt if 19 somebody has something on the sign code, but I 20 definitely want to hear more about this. Any other 21 members related to the sign code? 22 MS. BUSBY: Chair. 23 CHAIR McCOY: You're recognized. 24 MS. BUSBY: Yes, permission to speak, to 25 address the Board?</p>	<p style="text-align: right;">Page 36</p> <p>1 path. But we just got to be on the lookout, and I 2 guess be prepared for what comes forward in the future. 3 Anything else? 4 MR. GAGNON: If I may, just for record 5 keeping purposes, is there a final discussion point or 6 motion from Planning and Zoning Board at this point in 7 time? 8 CHAIR McCOY: Members, the floor is open. 9 VICE CHAIR BURGESS: Well, my question is if 10 this -- are we voting on this, because it's a workshop 11 item, so do we need a motion or -- 12 MR. GAGNON: A motion's not needed. It is 13 just a workshop item. Of course, the meeting minutes 14 and deliberation will be provided to City Council. But 15 I just wanted to provide the opportunity, if there was 16 a motion, to hear the motion. 17 CHAIR McCOY: Floor is open, members. 18 MR. KUNUTY: One suggestion I would make is 19 that we probably are in need of reviewing it. Maybe 20 the first thing we should do is run through this and do 21 the very obvious changes that we know. Of course, 22 there's a bunch of them in there that we all saw as we 23 just read through it. So I mean we do that. 24 And I think as far as the digital signs at 25 churches, I think that's a deeper issue, you know. I</p>

<p style="text-align: right;">Page 37</p> <p>1 mean it really will have serious impact on residential 2 areas, okay? So having said that, I think, you know, 3 we just really, we don't necessarily have to agree to 4 let people do that. We could just write a sign code 5 that says we don't think it's a good idea, or wording 6 to that effect. 7 But I think there's a bunch of obvious stuff 8 that we probably better -- almost like housekeeping 9 issues in there that you could quickly change. 10 CHAIR McCOY: Mr. Gagnon, how do you propose 11 we, and just conceptually, how do you propose that we 12 challenge or take on this challenge of, you know, 13 taking on trying to eat this elephant, because clearly, 14 it can't be one bite. 15 MR. GAGNON: I think that Mr. Kunuty's 16 suggestion is a wise one. So perhaps staff can 17 identify the clear instances where there's a content 18 based conflict. So perhaps we can go through the 19 existing code section by section. Perhaps if we work 20 at the most glaring conflicts first, we can get through 21 those relatively easily, and then if we go section by 22 section, perhaps we can have a final product that's 23 provided to the Planning and Zoning Board based on 24 those individual sections and review process, which 25 will then move to City Council.</p>	<p style="text-align: right;">Page 39</p> <p>1 a motion, can you just -- 2 MR. GUSTAFSON: Yes, I would like to make a 3 motion for staff to review the sign code and special 4 exceptions, including the digital signs for the 5 minimization for residential areas. 6 VICE CHAIR BURGESS: So moved. 7 CHAIR McCOY: Mr. Gustafson made the motion. 8 Is that a second, Ms. Burgess? 9 VICE CHAIR BURGESS: Yes. 10 MR. KUNUTY: One question. Right now digital 11 signs are not allowed at churches, so in the review of 12 this, we would have to add that provision into the new 13 sign code. 14 MR. GAGNON: What staff would do is draft 15 language for Planning and Zoning Board's consideration 16 that would allow a digital sign at a place of worship. 17 The discussion on that language will pursue 18 accordingly, and the final recommendation of the 19 Planning and Zoning Board would be transmitted to City 20 Council. 21 MR. KUNUTY: Okay. 22 CHAIR McCOY: There was a motion and there 23 was a second. Can we -- I guess this is all going to 24 be part of what comes back, but can the process be 25 initiated to have some sort of registration for these</p>
<p style="text-align: right;">Page 38</p> <p>1 CHAIR McCOY: Any other members? 2 VICE CHAIR BURGESS: Chair -- 3 MR. GALLON: Yes -- 4 VICE CHAIR BURGESS: -- I would be in favor 5 of that, you know, redoing or re-looking over the sign 6 code, and then as we go through the code, then we see 7 how it applies and then we make our recommendations. 8 CHAIR McCOY: Thank you, Ms. Burgess. 9 Mr. Gallon. 10 MR. GALLON: I would like to also, Jeff, if 11 you can, Mr. Gagnon, make sure that what Mr. McCoy 12 stated about the special exception is in there for 13 residential use. 14 MR. GAGNON: Okay. 15 CHAIR McCOY: Mr. Gustafson. 16 MR. GUSTAFSON: Mr. Gagnon, does this require 17 a motion from us for staff to review this and to make 18 recommendations? 19 MR. GAGNON: Technically, no. I think that's 20 the direction that staff will proceed at this point 21 based on the consensus of the Board and also the 22 previous directive from Council. Again, the Board's 23 always welcome to make a motion if you feel like that 24 would be clear for the record. 25 CHAIR McCOY: Okay. If you're going to make</p>	<p style="text-align: right;">Page 40</p> <p>1 churches, because registration -- I guess the ordinance 2 is only as good as the registration if we actually know 3 where churches are, because that's going to go to the 4 very core of whether or not we're going to do a buffer 5 area or something of that sort. 6 So I think it's going to probably be a little 7 bit of a task just to find out how many churches we 8 actually have, being that, you know, there was never 9 really any kind of controls in making sure that they 10 were registered. So I think that has to be 11 incorporated somewhere in that process to make sure 12 that we have, you know, voluntary registration. Or I 13 guess it shouldn't even be -- it should be mandatory 14 registration, am I right, based on Certificates of Use 15 and Certificates of Occupancy? 16 MR. GAGNON: What I can do is follow up with 17 our Licensing Division in the Finance Department and 18 see what records we currently have. In addition to 19 that, see if there are any other known churches which, 20 just through typical search processes -- the most 21 prominent ones are easy to find. You know, there are 22 some small storefront churches that do pop up, so that 23 might take a little bit more legwork. But the more 24 information we have, the better off we are able to make 25 decisions. So I agree with the fact that we need that</p>

<p style="text-align: right;">Page 41</p> <p>1 list of registered places of worship. 2 CHAIR McCOY: Any other members with comments 3 before we do a roll call vote? 4 Hearing none, Ms. Davidson, call the roll on 5 that motion. 6 MS. DAVIDSON: James Gallon. 7 MR. GALLON: Yes. 8 MS. DAVIDSON: Edward Kunuty. 9 MR. KUNUTY: Yes. 10 MS. DAVIDSON: Jon Gustafson. 11 MR. GUSTAFSON: Yes. 12 MS. DAVIDSON: Anthony Brown. 13 MR. BROWN: Yes. 14 MS. DAVIDSON: Renee Burgess. 15 VICE CHAIR BURGESS: Yes. 16 MS. DAVIDSON: Tradrick McCoy. 17 CHAIR McCOY: Yes. 18 MS. DAVIDSON: Unanimous vote. 19 CHAIR McCOY: Thank you, members, for that 20 very robust conversation. 21 Do we have any public comments? 22 MR. GAGNON: No, sir. 23 CHAIR McCOY: Any correspondence? 24 MR. GAGNON: Nothing additional. 25 CHAIR McCOY: Board members, is there any</p>	<p style="text-align: right;">Page 43</p> <p>1 MR. KUNUTY: What is the application for? 2 What do they intend? 3 MR. GAGNON: It's for residential use. 4 MR. KUNUTY: Residential? 5 MR. GAGNON: Yes, sir. 6 CHAIR McCOY: Any other members? 7 Mr. Gagnon, if I could just get your 8 attention back on the electric fence, so is that 9 electric fence operable currently? 10 MR. GAGNON: I'd have to follow up with you 11 on that specific location. And I'd be happy to provide 12 that previous state legislation that has, in essence, 13 trumped local municipalities' authority to regulate 14 electric fences. I can't remember the number at this 15 point, but I'd be happy to provide that to the Planning 16 and Zoning Board. 17 CHAIR McCOY: Okay, yes, I want to know, 18 because there's a church right behind it. There's the 19 day care facility that we all were on pins and needles 20 about. Then there's a multifamily apartment building 21 there. And when I see it, I was thinking to myself I 22 could have distinctly remembered I thought the City 23 ordered that to be removed. 24 MR. GAGNON: This is -- 25 CHAIR McCOY: Old Dominion.</p>
<p style="text-align: right;">Page 42</p> <p>1 Planning and Zoning Board members with comments? 2 MR. BROWN: Mr. Chairman. 3 CHAIR McCOY: You're recognized. 4 MR. BROWN: It would be remiss of me to let 5 this meeting end without thanking Mr. Gagnon for 6 pursuing the appointment, and of course, second is City 7 Council for approving it. 8 And Mr. Chairman, thank you also. That's it. 9 CHAIR McCOY: Thank you, Mr. Brown. 10 Any other -- 11 MR. KUNUTY: Mr. McCoy. 12 CHAIR McCOY: You're recognized. 13 MR. KUNUTY: Yes, I was just curious. I 14 wanted to ask Mr. Gagnon, is there any activity on the 15 Broadway, the now vacant trailer park properties? 16 MR. GAGNON: We have one site plan 17 application under review. I don't recall the numerical 18 address, but it is located in the northern portion of 19 the Broadway corridor, northwest. 20 MS. HARPER: 3301 Broadway. 21 MR. GAGNON: 3301 Broadway is the address. 22 Ms. Harper is our current project manager for that one. 23 So that is actively moving forward. The 24 other vacant properties, I don't believe we have any 25 pending applications at this time.</p>	<p style="text-align: right;">Page 44</p> <p>1 MR. GAGNON: -- on Australian? 2 CHAIR McCOY: Yes. 3 MR. GAGNON: Yes, I know the site. Yes, this 4 was something that came up with that Florida statute 5 amendment, and they were able to proceed. 6 CHAIR McCOY: So that wouldn't even allow the 7 City to do a special exception? 8 MR. GAGNON: I'll provide the regulations. I 9 haven't read them myself in some time. But in essence, 10 what happened was the local regulations were trumped by 11 that statute amendment. 12 CHAIR McCOY: Now, would the Building Code be 13 impacted by that? Did the Building Department have any 14 insight or I guess any kind of control in that? 15 MR. GAGNON: If I'm remembering back now, the 16 amendment to the Florida statute required treatment of 17 electric fences either identically or similarly to 18 alarms, as if it were just an alarm permit. 19 CHAIR McCOY: Okay. 20 MR. GAGNON: But please let me -- 21 CHAIR McCOY: Don't worry about it, 22 Mr. Gagnon. What I'm going to do when I leave here, 23 I'm going to go over and touch it and see if it works, 24 and then I'll come back and give you a report. 25 VICE CHAIR BURGESS: Tonight?</p>

<p style="text-align: right;">Page 45</p> <p>1 CHAIR McCOY: Yes, tonight. 2 Well, thank you for that, Mr. Gagnon. 3 Any other members? 4 MR. GUSTAFSON: Chair. 5 CHAIR McCOY: You're recognized. 6 MR. GUSTAFSON: Being a waterfront city, and 7 with West Palm Beach looking at it and I believe Palm 8 Beach Gardens is, I was wondering if it is possible to 9 make a request for a workshop item for single use 10 plastics and plastic straws to be removed from our 11 city. West Palm Beach is looking into it currently, 12 right now, and Palm Beach Gardens has already passed 13 it. And being a waterfront city, I think it's 14 important to look into. 15 CHAIR McCOY: Thank you; thank you for that. 16 That's very environmentally conscious. 17 Any other members? 18 MR. GAGNON: If I could follow up to that, is 19 there a motion that the Board can make in regards to 20 that, and then we can provide that to City Council as 21 well? 22 MR. GUSTAFSON: I would make a motion for a 23 workshop item to discuss single use plastics and the 24 removal of plastic straws as a waterfront city. 25 MR. BROWN: Second.</p>	<p style="text-align: right;">Page 47</p> <p>1 CHAIR McCOY: Thank you. 2 Anything else for the good of the order? 3 Hearing none, we stand adjourned, members. 4 MR. GUSTAFSON: Thank you. 5 (Whereupon, at 7:40 p.m., the proceedings 6 were concluded.) 7 8 9 10 11 12 13 14 15 16 17 18 19 20 21 22 23 24 25</p>
<p style="text-align: right;">Page 46</p> <p>1 CHAIR McCOY: Motion by Mr. Gustafson; there 2 was a second by Mr. Brown. Any other comments? 3 Roll call on that, Ms. Davidson. 4 MS. DAVIDSON: James Gallon. 5 MR. GALLON: Yes. 6 MS. DAVIDSON: Edward Kunuty. 7 MR. KUNUTY: Yes. 8 MS. DAVIDSON: Jon Gustafson. 9 MR. GUSTAFSON: Yes. 10 MS. DAVIDSON: Anthony Brown. 11 MR. BROWN: Yes. 12 MS. DAVIDSON: Renee Burgess. 13 VICE CHAIR BURGESS: Yes. 14 MS. DAVIDSON: Tradrick McCoy. 15 CHAIR McCOY: Yes. 16 MS. DAVIDSON: Unanimous vote. 17 CHAIR McCOY: Any other Board member 18 comments? 19 Hearing none, Mr. Gagnon, where are we on 20 project updates and upcoming projects? 21 MR. GAGNON: I don't have any updates at this 22 time. I'll be happy to provide the Board with our 23 current project list at our next meeting. We're 24 currently scheduled tentatively for March 14th and 25 March 28th.</p>	<p style="text-align: right;">Page 48</p> <p>1 CERTIFICATE 2 3 4 THE STATE OF FLORIDA) 5) 6 COUNTY OF PALM BEACH) 7 8 I, Susan S. Kruger, do hereby certify that 9 I was authorized to and did report the foregoing 10 proceedings at the time and place herein stated, and 11 that the foregoing pages comprise a true and correct 12 transcription of my stenotype notes taken during the 13 proceedings. 14 IN WITNESS WHEREOF, I have hereunto set my 15 hand this 4th day of March, 2019. 16 17 18 19 20 21 22 Susan S. Kruger 23 24 25</p>



**CITY OF RIVIERA BEACH STAFF REPORT
CASE NUMBERS SP-19-02 / SE-19-01, JDA INDUSTRIAL WAREHOUSE
APRIL 11, 2019**

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF RIVIERA BEACH, PALM BEACH COUNTY, FLORIDA, APPROVING SITE PLAN AND SPECIAL EXCEPTION APPLICATION (SP-19-02 / SE-19-01) TO CONSTRUCT A 120,282 SQUARE FOOT WAREHOUSE, ON A 7.23 ACRE PARCEL OF LAND, LOCATED AT 1301 PRESIDENT BARACK OBAMA HIGHWAY, IDENTIFIED BY PARCEL CONTROL NUMBER 56-43-42-33-00-000-3010, HAVING AN INDUSTRIAL FUTURE LAND USE DESIGNATION AND A GENERAL INDUSTRIAL (IG) ZONING DESIGNATION; AND PROVIDING FOR AN EFFECTIVE DATE.

-
- A. Applicants:** 1501 Florida Mango, LLC
Agent: Josh Nichols, Schmidt Nichols Landscape Architecture & Urban Planning
- B. Request:** The applicant is requesting Site Plan and Special Exception approval to construct a 120,282 square foot warehouse building.
- C. Location:** The subject property is located at the northwest corner of West 13th Street and President Barack Obama Highway, identified by Parcel Control no. 56-43-42-33-00-000-3010. This parcel is located within the City's municipal boundary as depicted on Exhibit A, Location Map (below).
- D. Property Description and Uses:** The subject property description and uses are as follows:

Parcel Control Numbers: 56-43-42-33-00-000-3010

Parcel Size: 7.23-Acres

Existing Use: Vacant (Undeveloped)

Zoning: General Industrial (IG)

Future Land Use: Industrial

E. Adjacent Property Description and Uses:

North: Light Industrial (IL) & General Industrial (IG) Zoning District: Industrial Use

South: Light Industrial (IL) & General Industrial (IG) Zoning District: Ice Marine Inc.

East: Downtown General (DG) Zoning District: ROW, Rail Road, Vacant Lot

West: General Industrial (IG) Zoning District: Vacant (Undeveloped)

F. Background:

City staff received a Uniform Land Use Applicant and supplement documentation from the Applicant on January 11, 2019. Please refer to the Applicant's Justification Statement for additional information. The proposal would result in the development of a seven acre parcel of land, which has remained vacant for well over a decade. The site was historically utilized as a drive-in movie theater, followed by a flea market, and has not been utilized by any business for a number of years. Please note that this property has an Industrial Future Land Use designation and an Industrial Zoning designation which would extremely limit the possibility of any future recreational development onsite.

Most recently, in 2016, the City Council approved a development proposal, through Resolution No. 73-16, to construct a new 131,944 square foot industrial building for manufacturing, fabrication and processing for "E-Z Weld". The E-Z Weld project did not proceed to the construction phase and the development order has now expired. In comparison, the current Applicant is requesting site plan and special exception approval to construct a 120,282 square foot warehouse and storage building.

The site plan and special exception application for the subject property is scheduled to be heard by the Planning and Zoning Board on Thursday, April 11, 2019 at 06:30 P.M.

G. Staff Analysis:

Proposed Use: Warehouse and Storage

Zoning Regulations: The General Industrial (IG) Zoning District highlights the requirements for developments / redevelopment within the District. The proposed construction of the warehouse and storage structure is contained within the site, away from any required setbacks and does not affect existing surrounding buffers. The proposed use would requires special exception approval, but is consistent with the development patterns of the area. The proposal is consistent with associated zoning requirements, so long as special exception approval is granted by the City Council for warehouse and storage use.

Comprehensive Plan: The proposal is consistent with the City's Comprehensive Plan and the Industrial Future Land Use category.

Uses: Warehouse and storage uses require special exception approval. The current buildout is speculative in nature, however, the Applicant has stated that future tenants would not propose to store harmful chemicals or materials and they would be categorized as clean industrial uses. All future uses must comply with the City's Land Development Regulations.

Levels of Service: Customary services such as water, sewer, roads and garbage collection are available to the site.

Landscaping: New landscaping will be installed according to the landscape plan consistent with the City's landscape code requirements. Special emphasis will be placed along the West 13th Street and President Barack Obama Highway corridors.

Parking/Traffic: Parking calculations has been reviewed as part of the Site Plan and Special Exception application in accordance to the parking section of the Zoning Code for warehouse and storage use. A total of 120 parking spaces is required for the warehouse

and storage use and the applicant has provided 120 parking spaces. An Alternative Parking layout has also been provided on the site plan for the northern loading area if required in the future. Additionally, the site plan provides an access point at the northeastern portion of the property, with an additional Stabilized Fire Access to be utilized only for emergency access purposes, located along President Barack Obama Highway. Two site access points are provided along West 13th Street.

H. Special Exception Analysis

a. *Ingress to and egress from the property and the proposed structures thereon, if any, including such considerations as automotive and pedestrian safety and convenience, traffic flow and control, and access in case of fire or catastrophe.*

- Ingress to and egress from the site is provided from President Barack Obama Highway and West 13th Street. A Stabilized Fire Access point has been provided along PBOH for emergency use. The Applicant has also agreed to dedicate a corner-clip at the southwest corner of the site associated with the PBOH and the W. 13th Street intersection.

b. *Off-street parking and loading areas, where required, including consideration of relevant factors in subsection (2) a. of this section, and the economic, noise, glare or odor effects of the location of such areas on adjacent and nearby properties and properties generally in the district.*

- Per the City's Code of Ordinances, adequate off-street parking has been proposed. All future uses must comply with required parking as identified in the City's Zoning Code Article VII. – Off-street Parking and Loading.

c. *Refuse and service areas, including consideration of relevant factors in subsections (2) a. and b. of this section.*

- A dumpster is proposed along with the City code required enclosure area towards the rear of the site away from public view. As future tenants are determined, the Applicant must provide confirmation that the available dumpster and refuse facilities provided are adequate. If inadequate, a site plan amendment may be required to expand the designated dumpster area.

d. *Utilities, including such consideration as hook-in locations and availability and compatibility of utilities for the proposed use or structure.*

- Utilities are currently available to the site and will be properly connected as required by the appropriate utility providers.

e. *Screening, buffering and landscaping, including consideration of such relevant factors as type, dimensions and character to preserve and improve compatibility and harmony of use and structures between the proposed special exception and the uses and structures of adjacent and nearby properties and properties generally in the district.*

- New landscaping will be provided on site which must be maintained in perpetuity according to the City's Land Development Regulations. Additionally, as shown on the Landscape Plan, adequate screening, buffering and landscaping is provided.

f. Signs, or outside displays, if any, and proposed exterior lighting, if any, with reference to glare, traffic safety and economic effects of same on properties in the district.

- Signage shall comply with Chapter 28 of the City Code of Ordinances at time of building permit application, in addition to the Principal Arterial Design Standards Overlay (Sec. 31-551).

g. Required yards and open spaces. The board shall make such recommendations as it deems necessary, guided by the factors that may be described in this zoning district, based on the nature of the request and its effect.

- Adequate open space has been proposed in accordance with the City's Land Development Regulations. Also, as shown on the site plan a total of 10,934 square feet of dry detention area is provided along the north and east property boundary.

I. Recommendation: City staff recommends approval of the subject application for site plan and special exception approval for the construction of a 120,282 square foot warehouse, on a 7.23 acre parcel of land, located at 1301 president Barack Obama highway, identified by parcel control number 56-43-42-33-00-000-3010, with the following conditions of approval:

1. A two-year landscaping performance bond for 110% of the value of landscaping and irrigation shall be required before a Certificate of Occupancy or Certificate of Completion is issued for the Addition.
2. Construction and landscaping improvements must be initiated within 18 months of the effective date of this Resolution in accordance with Section 31-60(b), of the City Code of Ordinances. Demolition, site preparation and/or land clearing shall not be considered construction. Building permit application and associated plans and documents shall be submitted in its entirety and shall not be accepted by City staff in a partial or incomplete manner.
3. City council authorizes City staff to approve future amendments to this site plan administratively so long as the site plan does not deviate greater than 5% from the originally approved site plan.
4. This development must receive final Certificate of Occupancy from the City for all buildings and units approved within five years of the approval of the adopting resolution or the adopting resolution shall be considered null and void, requiring the applicant to resubmit application for site plan and special exception approval and re-initiate the site plan approval process.
5. All future advertising must state that the development is located in the City of Riviera Beach. Fees and penalties in accordance with City Code Sec. 31-554 will be levied against the property owner and/or business for violation of this condition.
6. Once approved, this resolution shall supersede any previous site plan approval resolutions associated with this property, causing previous site plan approval resolutions to be null and void.

Exhibit A. Location Map.

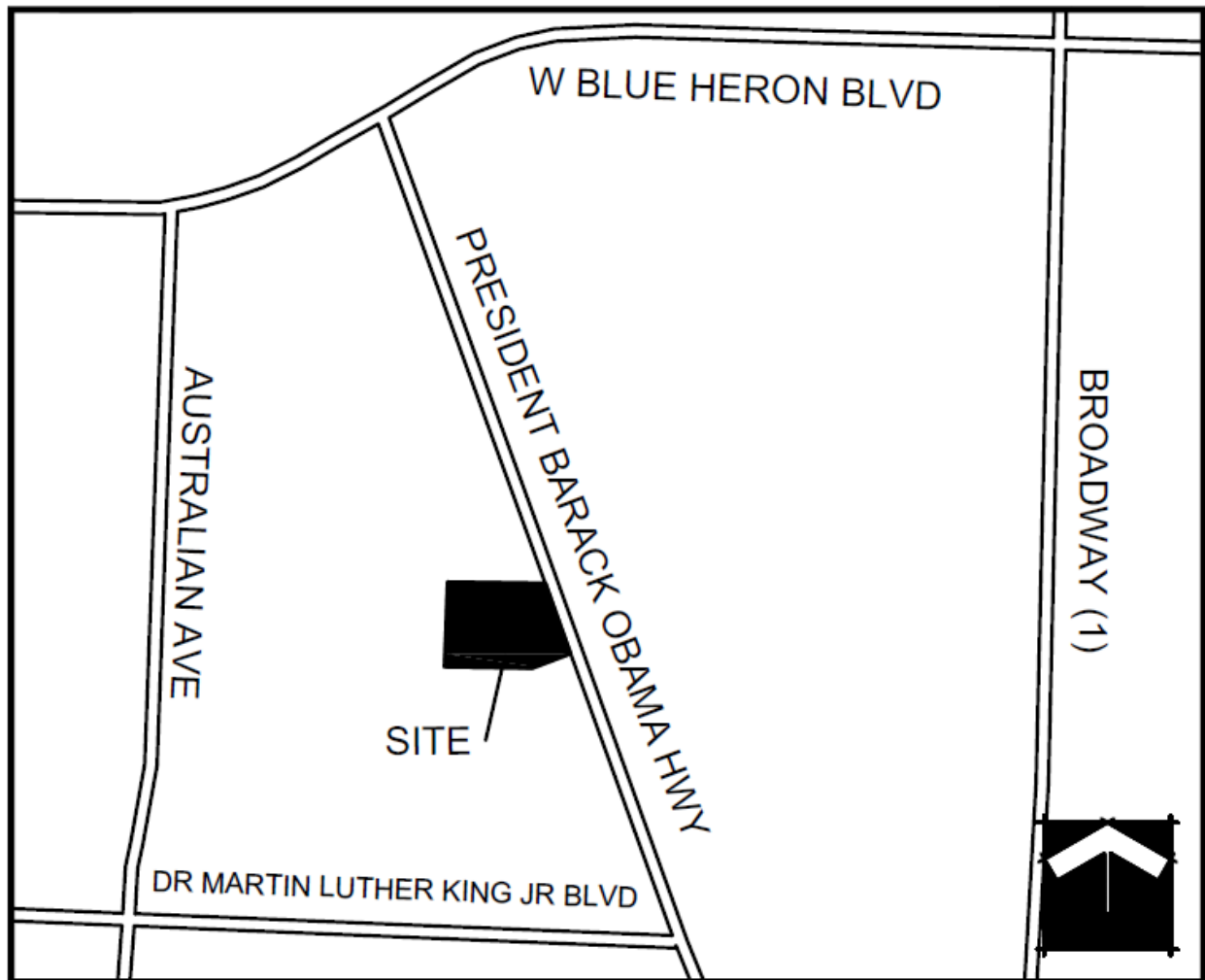


Exhibit B. Legal Description

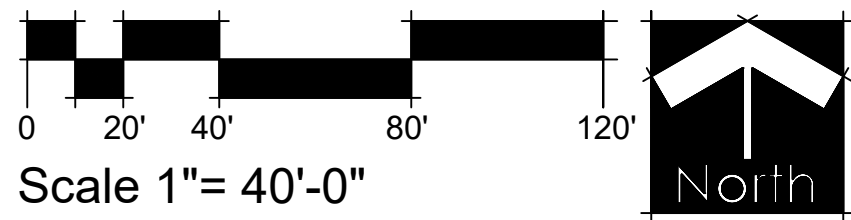
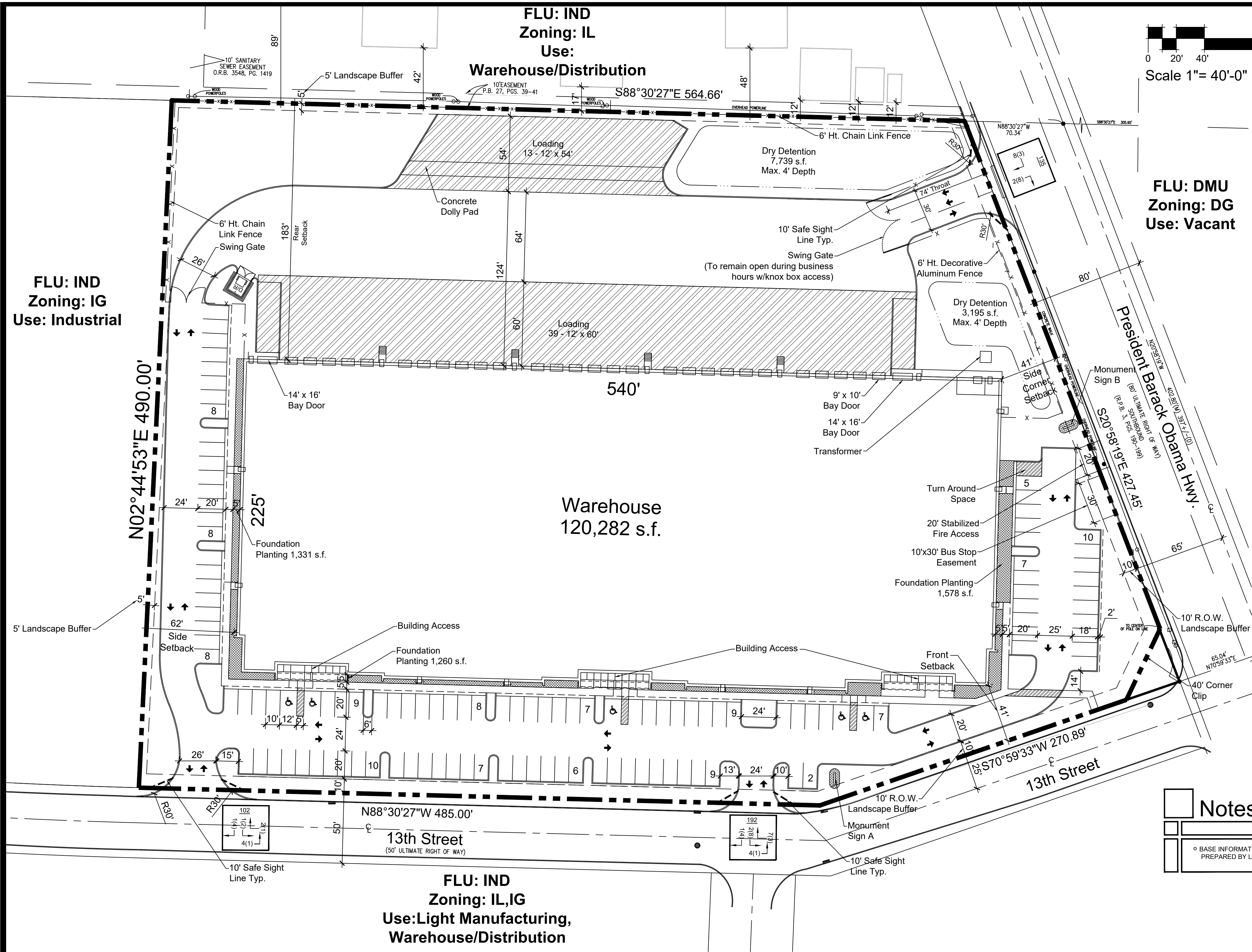
PROPERTY DESCRIPTION METES AND BOUND

A TRACT OF LAND LYING IN THE SOUTHWEST QUARTER OF THE NORTHWEST QUARTER OF SECTION 33, TOWNSHIP 42 SOUTH, RANGE 43 EAST, PALM BEACH COUNTY, FLORIDA, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

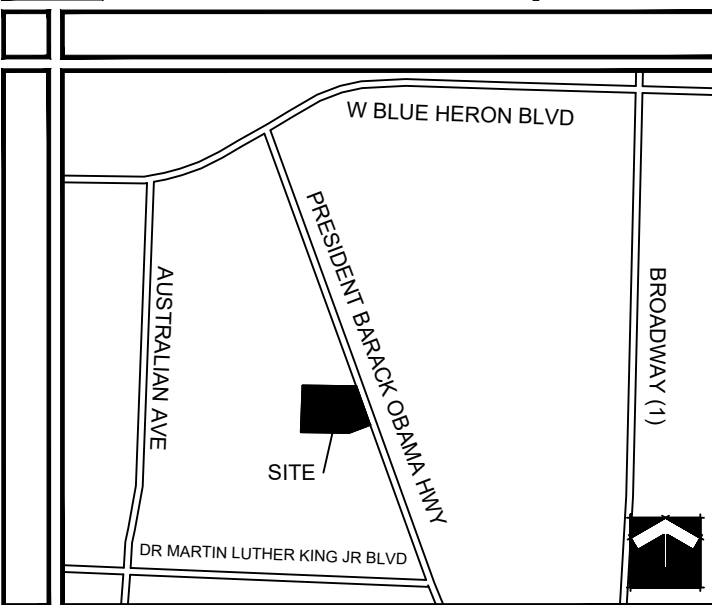
COMMENCING AT THE NORTHEAST CORNER OF SAID SOUTHWEST QUARTER OF THE NORTHWEST QUARTER OF SECTION 33; THENCE ALONG THE NORTH LINE OF SAID SOUTHWEST QUARTER OF THE NORTHWEST QUARTER OF SECTION 33, NORTH 88°30'27" WEST, A DISTANCE OF 305.95 FEET TO THE INTERSECTION WITH THE ORIGINAL CENTERLINE OF A 30 FOOT RIGHT OF WAY FORMERLY KNOWN AS OLD DIXIE HIGHWAY; THENCE CONTINUE ALONG SAID NORTH LINE OF SAID SOUTHWEST QUARTER OF THE NORTHWEST QUARTER OF SECTION 33, NORTH 88°30'27" WEST, A DISTANCE OF 70.34 TO A POINT ON THE EXISTING WESTERLY RIGHT OF WAY LINE OF PRESIDENT BARACK OBAMA HIGHWAY (FORMERLY KNOWN AS OLD DIXIE HIGHWAY) AS SHOWN ON ROAD PLAT BOOK 3, PAGES 190 THROUGH 199, PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA; THENCE ALONG SAID WESTERLY RIGHT OF WAY LINE, SOUTH 20°58'19" EAST, A DISTANCE OF 427.45 FEET TO THE NORTHERLY RIGHT OF WAY LINE OF WEST 13TH STREET, AS DEPICTED ON THE PLAT OF FUTURA INDUSTRIAL SUBDIVISION, AS SHOWN ON PLAT BOOK 31, PAGE 175, PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA; THENCE ALONG SAID NORTHERLY RIGHT OF WAY LINE, SOUTH 70°59'33" WEST, A DISTANCE OF 270.89 FEET; THENCE CONTINUE ALONG SAID NORTHERLY RIGHT OF WAY LINE OF WEST 13TH STREET, NORTH 88°30'27" WEST, A DISTANCE OF 485.00 FEET; THENCE DEPARTING SAID NORTHERLY RIGHT OF WAY LINE, NORTH 02°44'53" EAST, A DISTANCE OF 490.00 FEET TO A POINT ON THE AFOREMENTIONED NORTH LINE OF THE SOUTHWEST QUARTER OF THE NORTHWEST QUARTER OF SECTION 33 AND TO A POINT ON THE SOUTH LINE OF THE REPLAT OF PLAT NO. 1 LEWIS TERMINALS, AS SHOWN ON PLAT BOOK 27, PAGES 39 THROUGH 41, PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA; THENCE ALONG SAID NORTH LINE SOUTH 88°30'27" EAST, A DISTANCE OF 564.66 FEET TO THE POINT OF BEGINNING.

TOGETHER WITH EASEMENT BETWEEN RAO ELECTRIC CO. INC. AND ANTHONY F. D'ANNA, RECORDED IN OFFICIAL RECORD BOOK 3548, PAGE 1419 GRANTING SUBJECT PROPERTY A 10.00' NON-EXCLUSIVE EASEMENT FOR THE MAINTENANCE OF SEWER LINES ONTO THE WEST 10 FEET OF LOT 5, BLOCK U OF THE RE-PLAT OF PLAT 1 LEWIS TERMINALS, AS RECORDED IN PLAT BOOK 27, PAGES 39-41, PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA.

CONTAINING A TOTAL OF 314,967 SQUARE FEET OR 7.231 ACRES, MORE OR LESS.



Location Map



Site Data

Application Number	SP-19-02/SE-19-01
Name of Project	JDA Industrial
Proposed Use	Warehouse and Storage
Future Land Use	Industrial
Zoning District	General Industrial (IG)
Property Control Numbers	56-43-42-33-00-000-3010
Traffic Analysis Zone	136
Total Site Area	7.23 AC. (314,967 s.f.)
Total Gross Floor Area	120,282 s.f.
Warehouse/Storage	84,197 s.f.
Warehouse/Storage	120,282 s.f.
Concurrency Approval*	120,282 s.f.
*Concurrency is approved for the above uses and amounts shown on this plan.	
Total Floor Area Ratio	.38
Total Building Coverage	38%
Impervious Area	120,282 s.f.
Buildings	131,417 s.f.
Pavement/Walks	20%
Pervious Area	63,268 s.f.
Open Space	max. 50'
Building Height	1
Number of Stories	30
Number of Bay Doors	120 SPACES
Parking Required	Warehouse - 1 space/1,000 s.f. @ 120,282 s.f. = 120
Proposed Parking	120 SPACES
Handicap Spaces Required	5
Handicap Spaces Proposed	5
Loading Required (12' x 30')	7
Loading Provided (12' x 54', 12' x 60')	52

Development Regulations

PROPERTY DEVELOPMENT REQUIREMENTS											
ZONING DISTRICT	SIZE	MINIMUM LOT DIMENSIONS			MAX. FAR	MAX. BLDG. COVER	MIN. PERVIOUS	SETBACKS/SEPARATIONS			
		WIDTH	FRONTAGE	DEPTH				FRONT	SIDE INTERIOR	SIDE STREET	REAR
IG	1 AC.	--	--	--	1.15	45%	20%	40'	15'	15'	20'
IG	7.23 AC.	755'	755'	490'	0.38	38%	20%	41'	62'	41'	183'

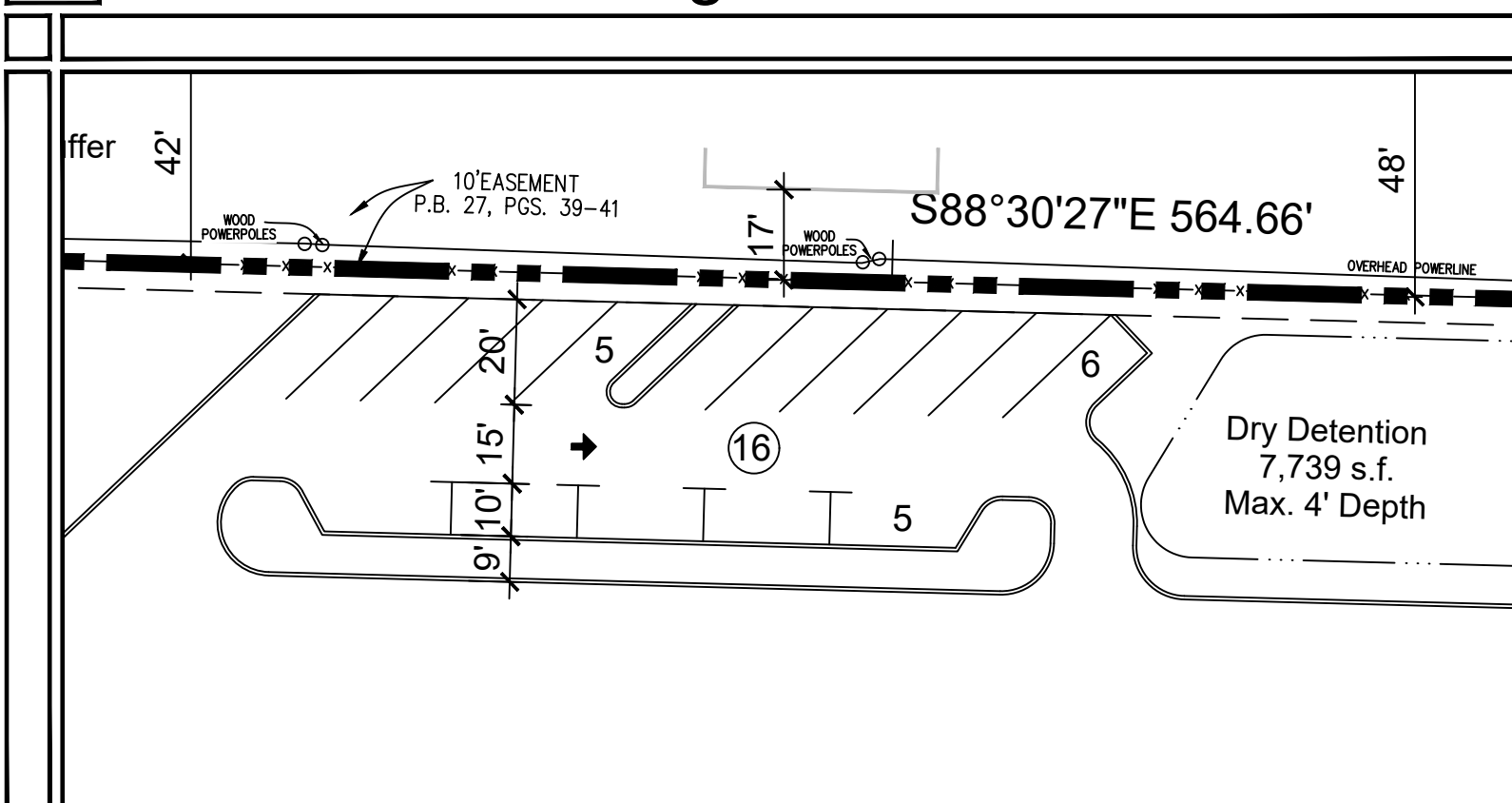
Notes

BASE INFORMATION FOR THIS PROJECT WAS OBTAINED FROM A SURVEY PREPARED BY LIDBERG LAND SURVEYING, INC. DATED 12/18/18

Development Team

DEVELOPER:	JOHNSON DEVELOPMENT ASSOCIATES 100 DUNBAR STREET, SUITE 400 SPARTANBURG, SC 29306 (561) 684-6141
ARCHITECT:	MACGREGOR ASSOCIATES ARCHITECTS 2727 PAGES FERRY ROAD, SE BLDG 2, STE 1400 ATLANTA, GA 30339 (770) 432-9400
CIVIL/TRAFFIC ENGINEER:	McLEOD, MCCARTHY & ASSOCIATES, P.A. 1655 PALM BEACH LAKES BLVD WEST PALM BEACH, FL 33407 (561) 689-9500
PLANNER:	SCHMIDT NICHOLS 1551 N. FLAGLER DRIVE SUITE 102 WEST PALM BEACH, FLORIDA 33401 (561) 684-6141
SURVEYOR:	LIDBERG LAND SURVEYING, INC. 675 WEST INDIANTOWN ROAD, SUITE 200 JUPITER, FL 33458 (561) 746-8454

Alternative Parking



Amendment Stamp

Zoning Stamp



SCHMIDT
NICHOLS

LANDSCAPE ARCHITECTURE
AND URBAN PLANNING

1551 N. Flagler Dr, Ste 102
West Palm Beach, FL 33401
Phone: 561.684.6141
Email: info@snlandplan.com
Website: www.snlandplan.com
License No: LC26000232

JDA Industrial
1301 President Barack Obama Hwy.
Riviera Beach, Florida

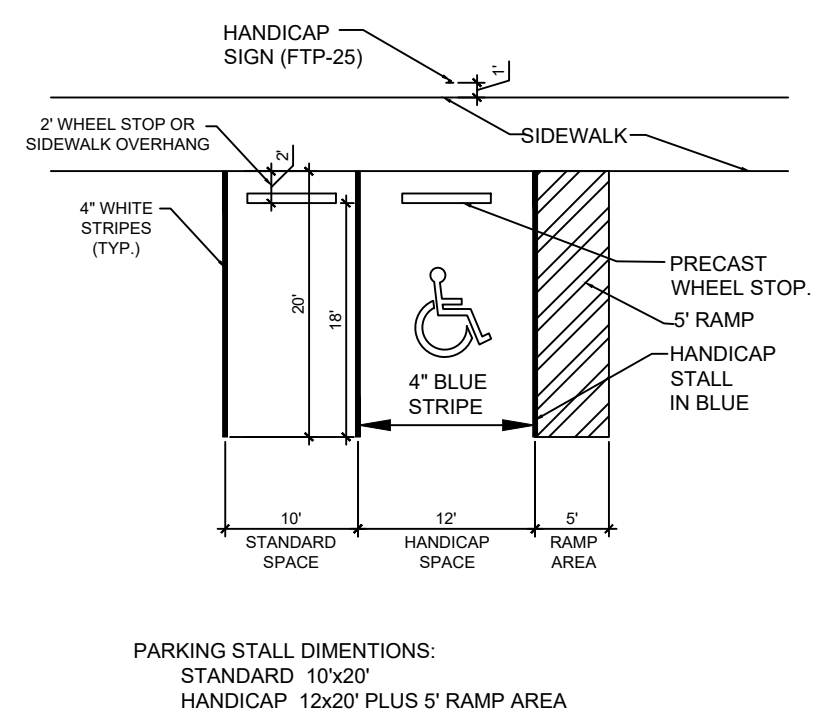
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Drawn By: MA
Checked By: JN
File No. 935.01
Job No. 18-110

REVISIONS / SUBMISSIONS
03/15/19 Resubmittal

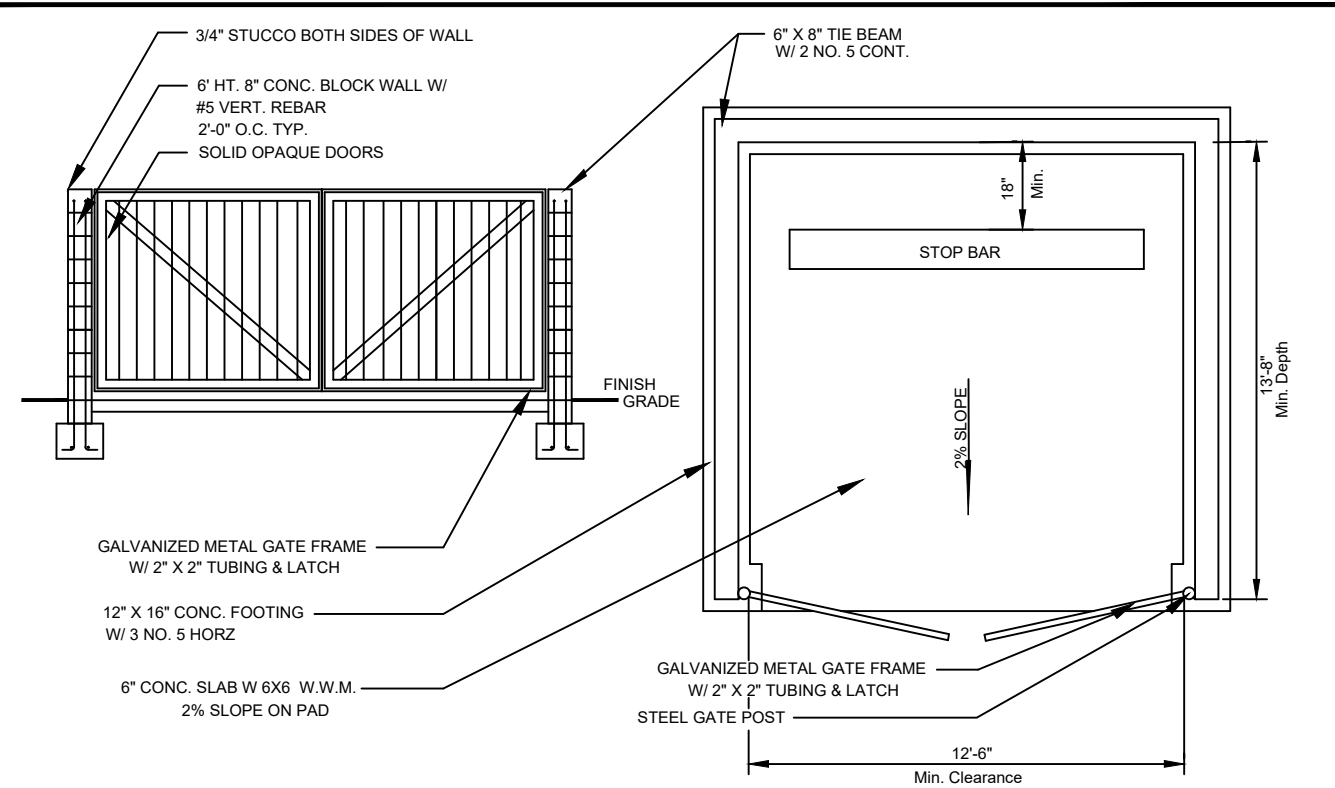
Preliminary
Site
Plan

PSP-1 of 2

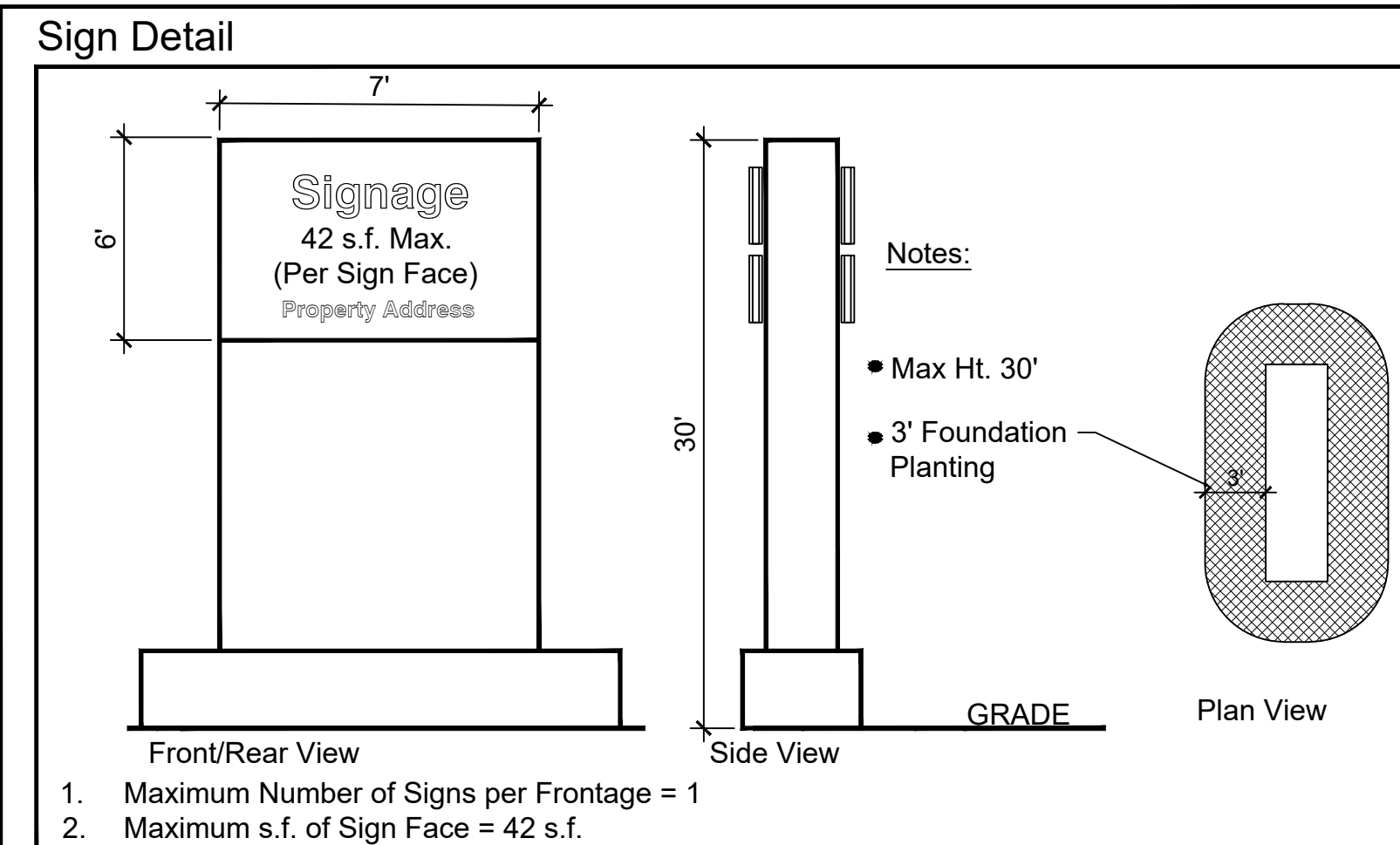
Parking and Striping



Dumpster Detail



Master Sign Program



JDA Industrial
1301 President Barack Obama Hwy.
Riviera Beach, Florida

Date: 01/11/19
Scale: N.T.S.
Design By: JN
Drawn By: MA
Checked By: JN
File No. 935.01
Job No. 18-110

REVISIONS / SUBMISSIONS

03/15/19 Resubmittal

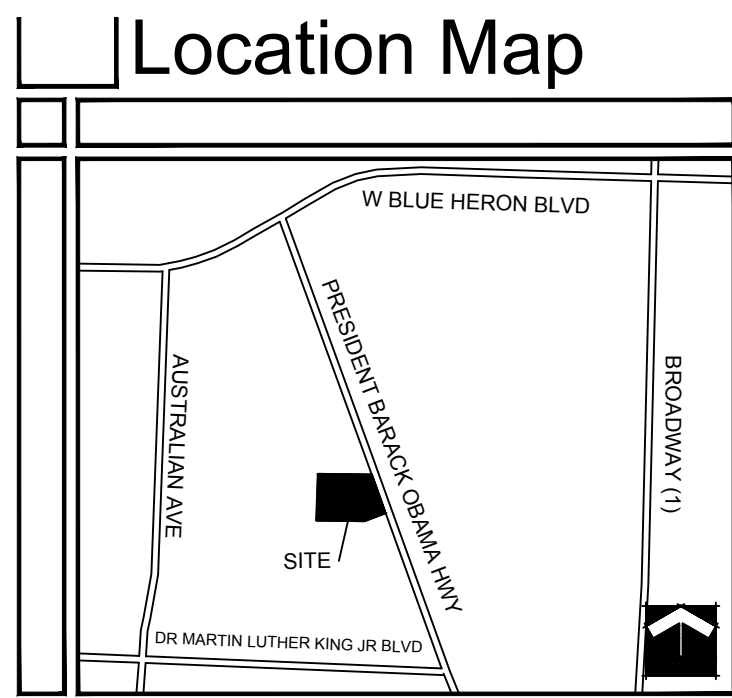
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Preliminary Site Plan

PSP-2 of 2

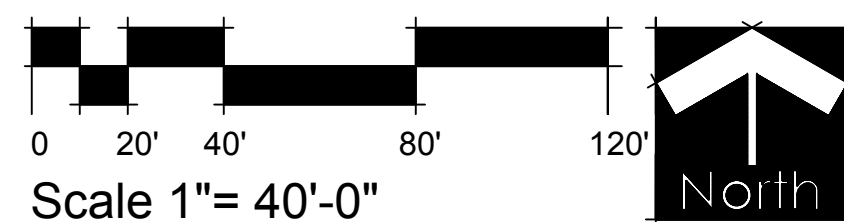
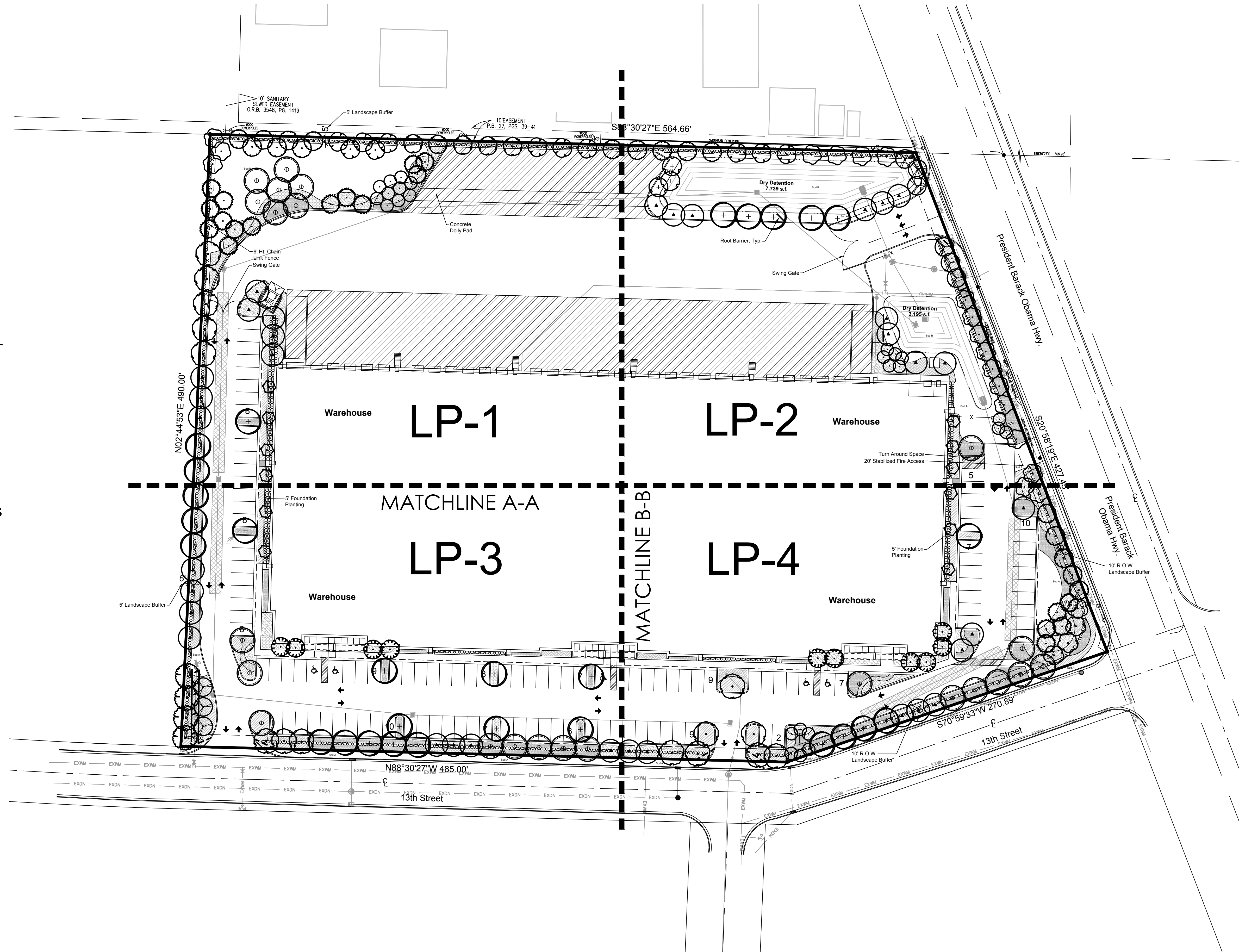
Amendment Stamp

Zoning Stamp



JDA Industrial

- LI-1 Landscape Index
- LP-1 Landscape Plan
- LP-2 Landscape Plan
- LP-3 Landscape Plan
- LP-4 Landscape Plan
- LP-5 Landscape Exhibit
- LP-6 Landscape Notes
- LP-7 Landscape Specifications



**SCHMIDT
NICHOLS**

LANDSCAPE ARCHITECTURE
AND URBAN PLANNING

1551 N. Flagler Dr, Ste 102
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REVISIONS / SUBMISSIONS

03/15/19 Resubmittal

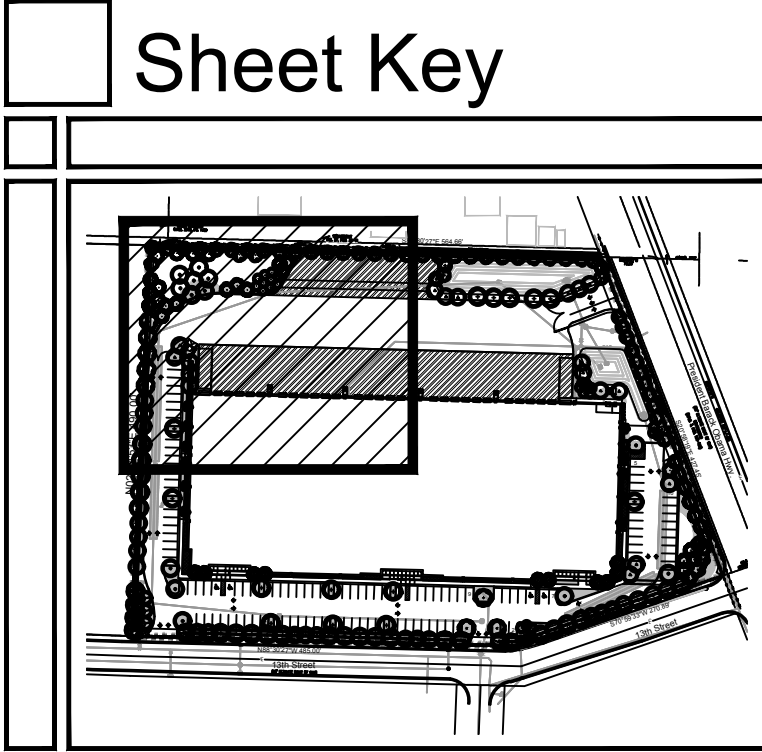
NOT VALID WITHOUT THE SIGNATURE AND ORIGINAL RAISED
SEAL OF A FLORIDA LICENSED LANDSCAPE ARCHITECT.

Printed name:
FLORIDA REGISTRATION NO. LA 0001638

Landscape Index

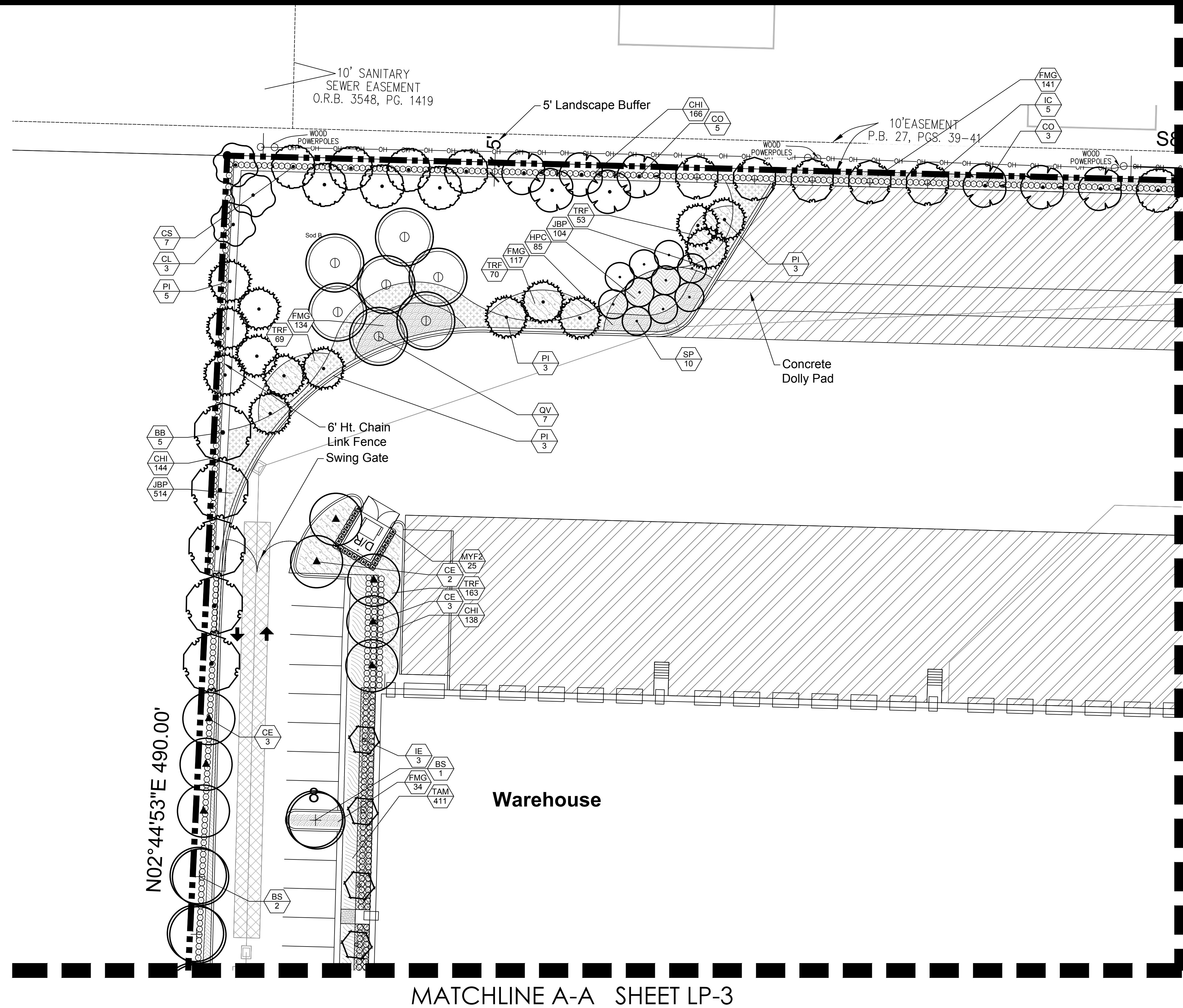
LI-1

of 1



Plant List

ACCENT/FLOWERING TREE	CODE	QTY	BOTANICAL NAME / COMMON NAME
	CL	18	Clusia rosea / Autograph Tree** Standard Form, Matched
	CS	17	Conocarpus erectus sericeus / Silver Button Wood** Single Straight Trunk
	CO	11	Cordia sebestena / Orange Geiger Tree Single Straight Trunk, Matched
	IC	5	Ilex cassine / Dahoon Holly** Single Straight Trunk, Full to Base is Not Acceptable
	IE	12	Ilex x attenuata 'East Palatka' / East Palatka Holly** Full to Base, Matched
	LI2	9	Lagerstroemia indica 'Natchez' / Natchez Crape Myrtle** Single Straight Trunk, Min 6' CT
	LI	4	Lagerstroemia indica 'Tuscarora' / Crape Myrtle Multi-Trunk** Multi-Trunk
PALM TREES	CODE	QTY	BOTANICAL NAME / COMMON NAME
	SP	25	Sabal palmetto / Sabal Palm** Slick Trunks, Hurricane Cut, Stagger Heights
	VM	10	Veitchia montgomeryana / Montgomery Palm** Single Trunk, No Scarred Trunks, Matched
SHADE TREE	CODE	QTY	BOTANICAL NAME / COMMON NAME
	AR	3	Acer rubrum / Red Maple** Single Straight Trunk, Min 6' CT
	BB	15	Bucida buceras 'Shady Lady' / Shady Lady Black Olive** Single Straight Trunk, Min 6' CT, No Low Croch.
	BS	28	Bursera simaruba / Gumbo Limbo** Single Straight Trunk, Min 6' CT
	CE	34	Conocarpus erectus / Green Buttonwood** Single Straight Trunk, No Low Croch
	PI	19	Pinus elliotii var. Densa / South Florida Slash Pine** Single Straight Trunk
	QV	23	Quercus virginiana / Southern Live Oak** Single Straight Trunk, Min. 6' CT.
	SM	4	Swietenia mahagoni / Mahogany** Single Straight Trunk, Min. 6' CT.
SHRUBS	CODE	QTY	BOTANICAL NAME / COMMON NAME
	CHI	1,441	Chrysobalanus icaco / Coco Plum** Full To Base, Small Shrubs
	MYF2	25	Myrcianthes fragrans / Simpson's Stopper** Full to Base, Screening
GROUND COVERS	CODE	QTY	BOTANICAL NAME / COMMON NAME
	FMG	3,374	Ficus microcarpa 'Green Island' / Green Island Ficus** Full to Base
	HPC	660	Hamelia patens 'Compacta' / Dwarf Firebush** Full
	JBP	1,142	Juniperus conferta 'Blue Pacific' / Blue Pacific Juniper Full
	MUC	550	Muhlenbergia capillaris / Pink Muhly Full
	SOD B	18,386 sf	Paspalum notatum / Bahia Grass Solid Sod, Stagger Seams, Field Verify Sod Areas Prior To Bid, Sod All Disturbed Areas
	SOD A	13,238 sf	Stenotaphrum secundatum / St. Augustine Grass Solid Sod, Stagger Seams, Field Verify Sod Areas Prior To Bid, Sod All Disturbed Areas
	TAM	3,442	Trachelospermum asiaticum 'Minima' / Minima Jasmine** Trailing
	TRF	1,269	Tripsacum flordanum / Dwarf Fakahatchee Grass** Full To Base



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LANDSCAPE ARCHITECTURE
AND URBAN PLANNING
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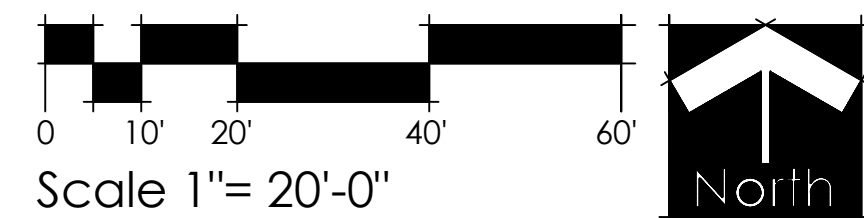
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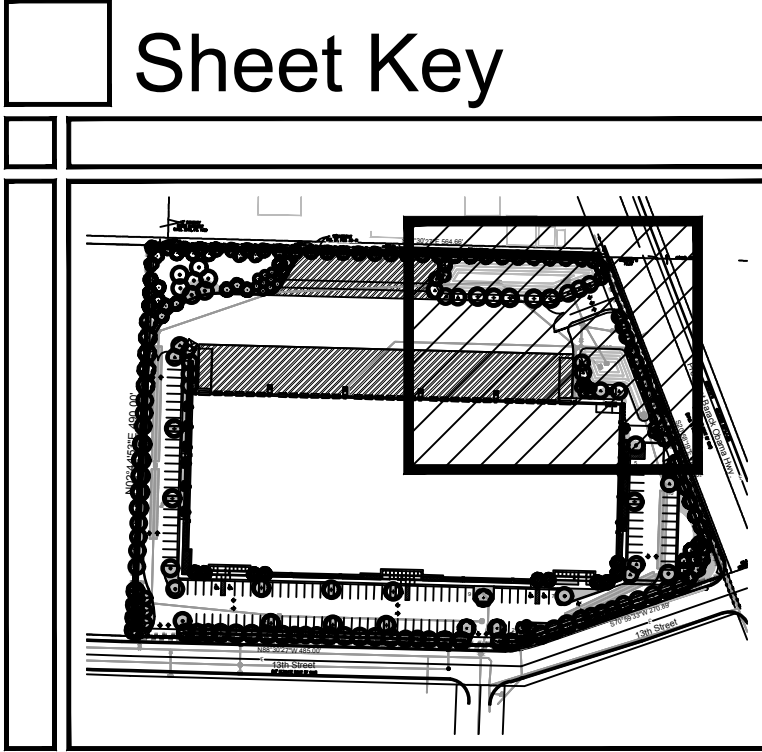
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Landscape Plan

LP-1 of 7

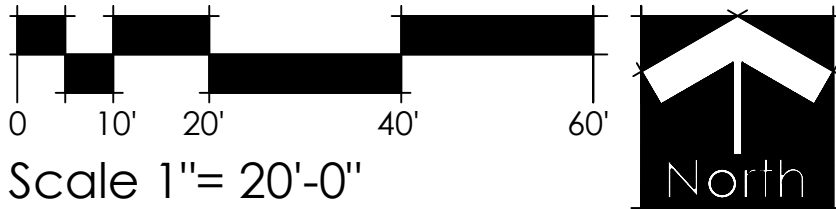
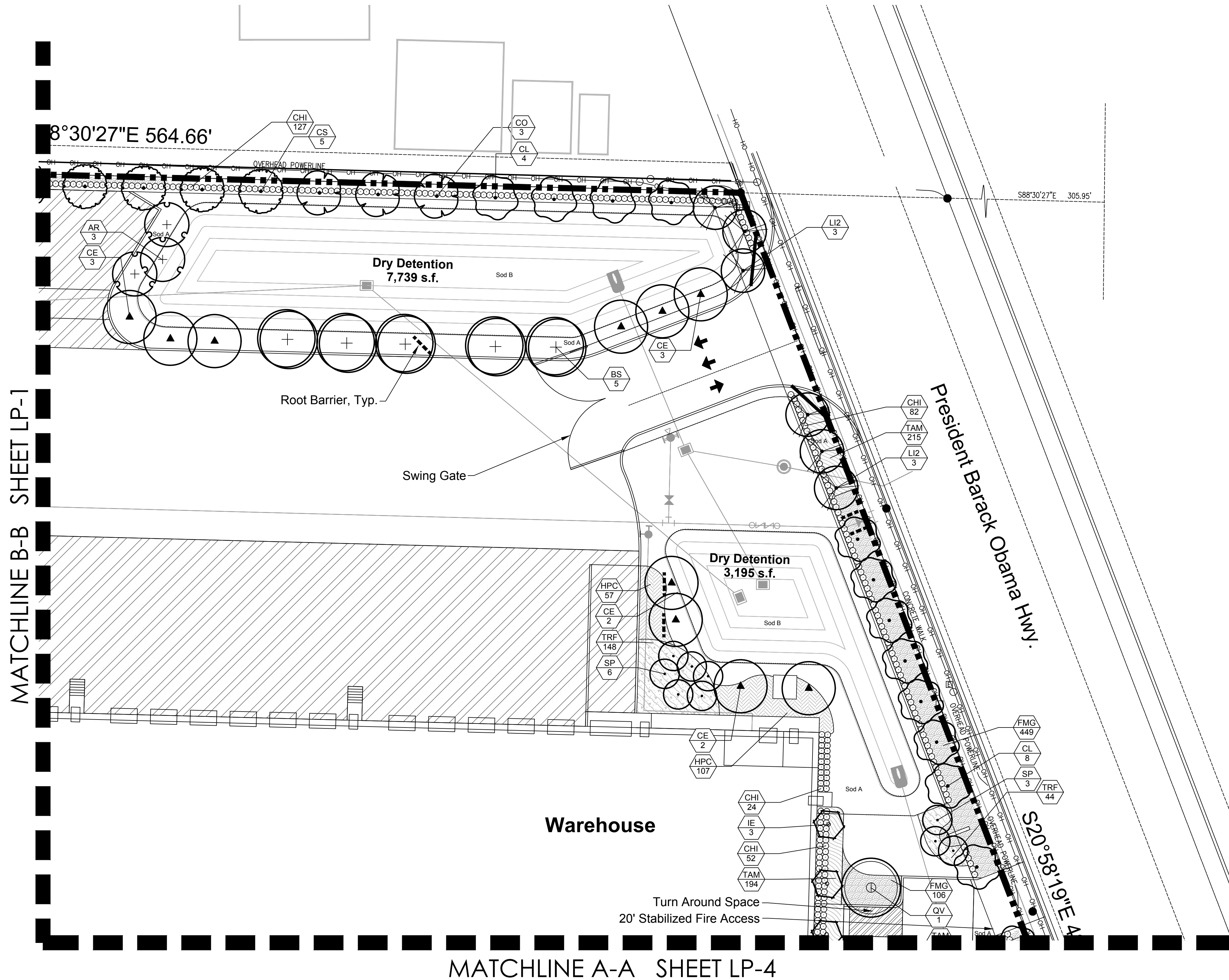




Sheet Key

Plant List

ACCENT/FLOWERING TREE	CODE	QTY	BOTANICAL NAME / COMMON NAME
	CL	18	Clusia rosea / Autograph Tree** Standard Form, Matched
	CS	17	Conocarpus erectus sericeus / Silver Button Wood** Single Straight Trunk
	CO	11	Cordia sebestena / Orange Geiger Tree Single Straight Trunk, Matched
	IC	5	Ilex cassine / Dahoon Holly** Single Straight Trunk, Full to Base is Not Acceptable
	IE	12	Ilex x attenuata 'East Palatka' / East Palatka Holly** Full to Base, Matched
	LI2	9	Lagerstroemia indica 'Natchez' / Natchez Crape Myrtle** Single Straight Trunk, Min 6' CT
	LI	4	Lagerstroemia indica 'Tuscarora' / Crape Myrtle Multi-Trunk** Multi-Trunk
PALM TREES	CODE	QTY	BOTANICAL NAME / COMMON NAME
	SP	25	Sabal palmetto / Sabal Palm** Slick Trunks, Hurricane Cut, Stagger Heights
	VM	10	Vacthia montgomeryana / Montgomery Palm** Single Trunk, No Scarred Trunks, Matched
SHADE TREE	CODE	QTY	BOTANICAL NAME / COMMON NAME
	AR	3	Acer rubrum / Red Maple** Single Straight Trunk, Min 6' CT
	BB	15	Bucida buceras 'Shady Lady' / Shady Lady Black Olive** Single Straight Trunk, Min 6' CT, No Low Crotch
	BS	28	Bursera simaruba / Gumbo Limbo** Single Straight Trunk, Min 6' CT
	CE	34	Conocarpus erectus / Green Buttonwood** Single Straight Trunk, No Low Crotch
	PI	19	Pinus elliotti var. Densa / South Florida Slash Pine** Single Straight Trunk
	QV	23	Quercus virginiana / Southern Live Oak** Single Straight Trunk, Min. 6' CT.
	SM	4	Swietenia mahagoni / Mahogany** Single Straight Trunk, Min. 6' CT.
SHRUBS	CODE	QTY	BOTANICAL NAME / COMMON NAME
	CHI	1,441	Chrysobalanus icaco / Coco Plum** Full To Base, Small Shrubs
	MYF2	25	Myrcianthes fragrans / Simpson's Stopper** Full to Base, Screening
GROUND COVERS	CODE	QTY	BOTANICAL NAME / COMMON NAME
	FMG	3,374	Ficus microcarpa 'Green Island' / Green Island Ficus** Full to Base
	HPC	660	Hamelia patens 'Compacta' / Dwarf Firebush** Full
	JBP	1,142	Juniperus conferta 'Blue Pacific' / Blue Pacific Juniper Full
	MUC	550	Muhlenbergia capillaris / Pink Muhly Full
	SOD B	18,386 sf	Paspalum notatum / Bahia Grass Solid Sod, Stagger Seams, Field Verify Sod Areas Prior To Bid, Sod All Disturbed Areas
	SOD A	13,238 sf	Stenotaphrum secundatum / St. Augustine Grass Solid Sod, Stagger Seams, Field Verify Sod Areas Prior To Bid, Sod All Disturbed Areas
	TAM	3,442	Trachelospermum asiaticum 'Minima' / Minima Jasmine** Trailing
	TRF	1,269	Tripsacum floridanum / Dwarf Fakahatchee Grass** Full To Base



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West Palm Beach, FL 33401
Phone: 561.684.6141
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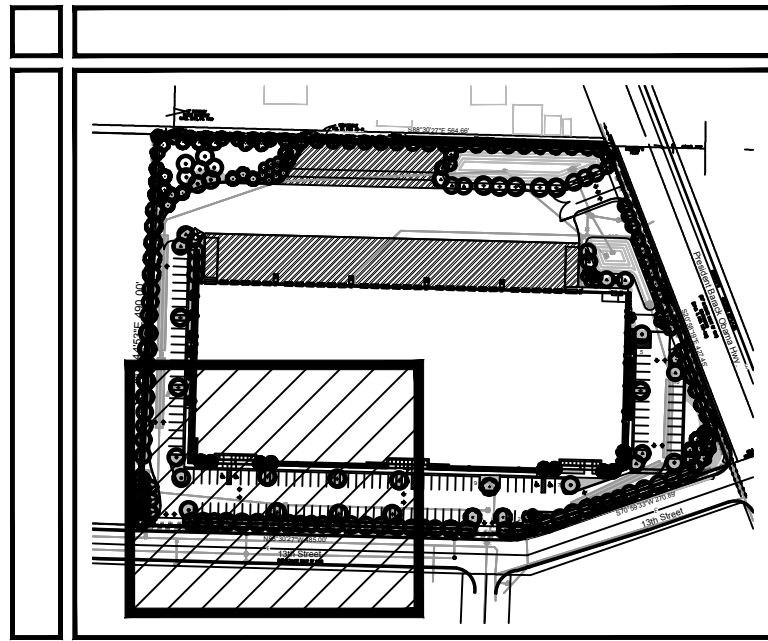
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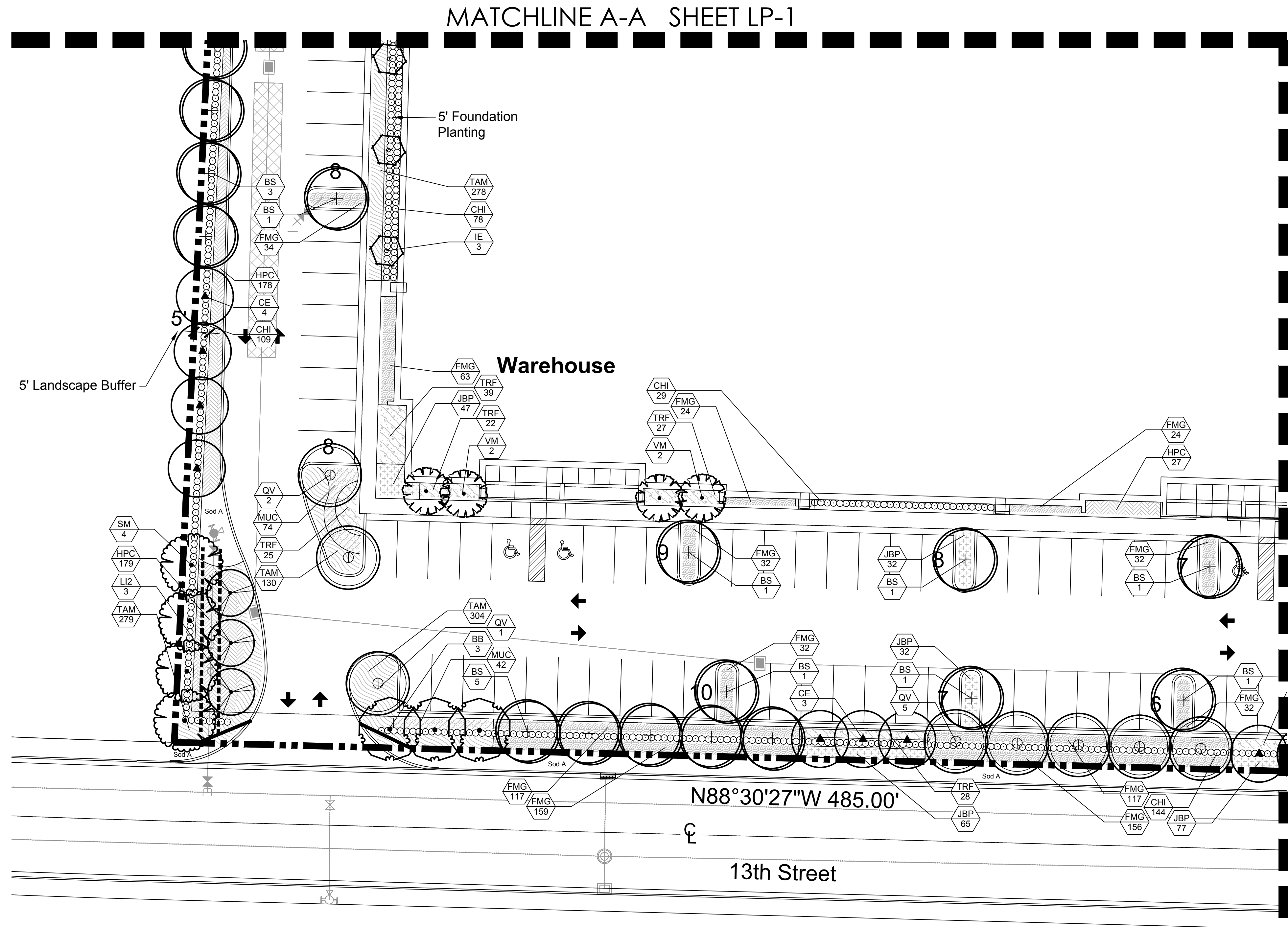
Landscape
Plan

Sheet Key



Plant List

ACCENT/FLOWERING TREE	CODE	QTY	BOTANICAL NAME / COMMON NAME
	CL	18	Clusia rosea / Autograph Tree** Standard Form, Matched
	CS	17	Conocarpus erectus sericeus / Silver Button Wood** Single Straight Trunk
	CO	11	Cordia sebestena / Orange Geiger Tree Single Straight Trunk, Matched
	IC	5	Ilex cassine / Dahoon Holly** Single Straight Trunk, Full to Base is Not Acceptable
	IE	12	Ilex x attenuata 'East Palatka' / East Palatka Holly** Full to Base, Matched
	LI2	9	Lagerstroemia indica 'Natchez' / Natchez Crape Myrtle** Single Straight Trunk, Min 5' CT
	LI	4	Lagerstroemia indica 'Tuscarora' / Crape Myrtle Multi-Trunk** Multi-Trunk
PALM TREES	CODE	QTY	BOTANICAL NAME / COMMON NAME
	SP	25	Sabal palmetto / Sabal Palm** Slick Trunks, Hurricane Cut, Stagger Heights
	VM	10	Veitchia montgomeryana / Montgomery Palm** Single Trunk, No Scarred Trunks, Matched
SHADE TREE	CODE	QTY	BOTANICAL NAME / COMMON NAME
	AR	3	Acer rubrum / Red Maple** Single Straight Trunk, Min 6' CT
	BB	15	Bucida buceras 'Shady Lady' / Shady Lady Black Olive** Single Straight Trunk, Min 6' CT, No Low Crotch
	BS	28	Bursera simaruba / Gumbo Limbo** Single Straight Trunk, Min 6' CT
	CE	34	Conocarpus erectus / Green Buttonwood** Single Straight Trunk, No Low Crotch
	PI	19	Pinus Elliotti var. Densa / South Florida Slash Pine** Single Straight Trunk
	QV	23	Quercus virginiana / Southern Live Oak** Single Straight Trunk, Min. 6' CT
	SM	4	Swietenia mahagoni / Mahogany** Single Straight Trunk, Min. 6' CT
SHRUBS	CODE	QTY	BOTANICAL NAME / COMMON NAME
	CHI	1,441	Chrysobalanus icaco / Coco Plum** Full To Base, Small Shrubs
	MYF2	25	Myrcianthes fragrans / Simpson's Stopper** Full to Base, Screening
GROUND COVERS	CODE	QTY	BOTANICAL NAME / COMMON NAME
	FMG	3,374	Ficus microcarpa 'Green Island' / Green Island Ficus** Full to Base
	HPC	660	Hamelia patens 'Compacta' / Dwarf Firebush** Full
	JBP	1,142	Juniperus conferta 'Blue Pacific' / Blue Pacific Juniper Full
	MUC	550	Muhlenbergia capillaris / Pink Muhly Full
	SOD B	18,386 sf	Paspalum notatum / Bahia Grass Solid Sod, Stagger Seams, Field Verify Sod Areas Prior To Bid, Sod All Disturbed Areas
	SOD A	13,238 sf	Stenotaphrum secundatum / St. Augustine Grass Solid Sod, Stagger Seams, Field Verify Sod Areas Prior To Bid, Sod All Disturbed Areas
	TAM	3,442	Trachelospermum asiaticum 'Minima' / Minima Jasmine** Trailing
	TRF	1,269	Tripsacum flordanum / Dwarf Fakahatchee Grass** Full To Base



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LANDSCAPE ARCHITECTURE
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1551 N. Flagler Dr, Ste 102
West Palm Beach, FL 33401
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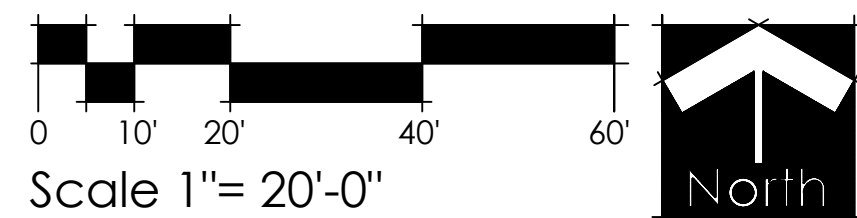
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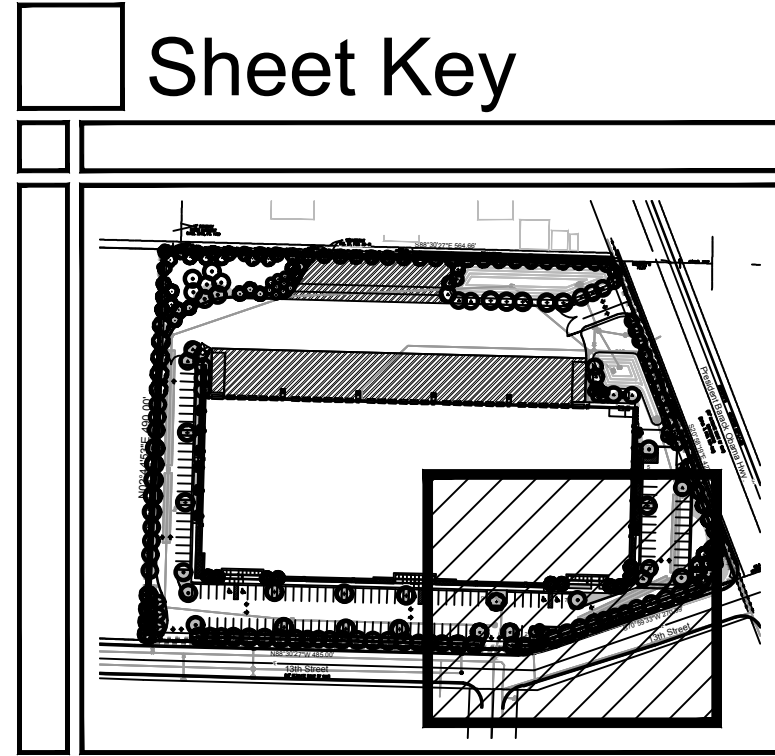
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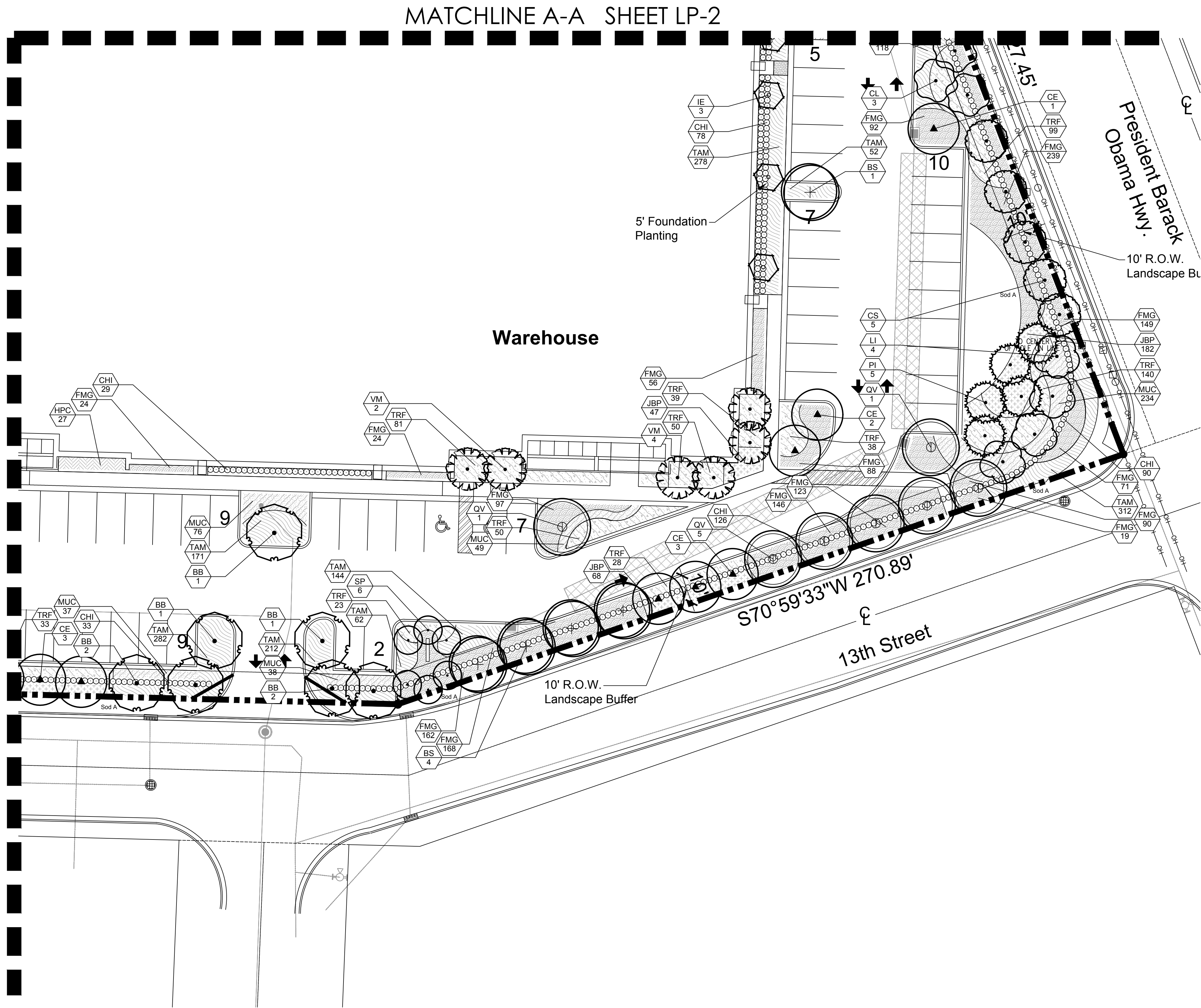
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Plant List

ACCENT/FLOWERING TREE	CODE	QTY	BOTANICAL NAME / COMMON NAME
	CL	18	Clusia rosea / Autograph Tree+ Standard Form, Matched
	CS	17	Conocarpus erectus sericeus / Silver Button Wood+ Single Straight Trunk
	CO	11	Cordia sebestena / Orange Geiger Tree Single Straight Trunk, Matched
	IC	5	Ilex cassine / Dahoon Holly+ Single Straight Trunk, Full to Base is Not Acceptable
	IE	12	Ilex x attenuata 'East Palatka' / East Palatka Holly+ Full to Base, Matched
	LI2	9	Lagerstroemia indica 'Natchez' / Natchez Crape Myrtle+ Single Straight Trunk, Min 5' CT
	LI	4	Lagerstroemia indica 'Tuscarora' / Crape Myrtle Multi-Trunk+ Multi-Trunk
PALM TREES	CODE	QTY	BOTANICAL NAME / COMMON NAME
	SP	25	Sabal palmetto / Sabal Palm+ Slick Trunks, Hurricane Cut, Stagger Heights
	VM	10	Veitchia montgomeryana / Montgomery Palm+ Single Trunk, No Scarred Trunks, Matched
SHADE TREE	CODE	QTY	BOTANICAL NAME / COMMON NAME
	AR	3	Acer rubrum / Red Maple+ Single Straight Trunk, Min 6' CT
	BB	15	Bucida buceras 'Shady Lady' / Shady Lady Black Olive+ Single Straight Trunk, Min 6' CT, No Low Crotch.
	BS	28	Bursera simaruba / Gumbo Limbo+ Single Straight Trunk, Min 6' CT
	CE	34	Conocarpus erectus / Green Buttonwood+ Single Straight Trunk, No Low Crotch
	PI	19	Pinus ellioti var. Densa / South Florida Slash Pine+ Single Straight Trunk
	QV	23	Quercus virginiana / Southern Live Oak+ Single Straight Trunk, Min. 6' CT.
	SM	4	Swietenia mahagoni / Mahogany+ Single Straight Trunk, Min. 6' CT.
SHRUBS	CODE	QTY	BOTANICAL NAME / COMMON NAME
	CHI	1,441	Chrysobalanus icaco / Coco Plum+ Full To Base, Small Shrubs
	MYF2	25	Myrciantha fragrans / Simpson's Stopper+ Full to Base, Screening
GROUND COVERS	CODE	QTY	BOTANICAL NAME / COMMON NAME
	FMG	3,374	Ficus microcarpa 'Green Island' / Green Island Ficus+ Full to Base
	HPC	660	Hamelia patens 'Compacta' / Dwarf Firebush+ Full
	JBP	1,142	Juniperus conferta 'Blue Pacific' / Blue Pacific Juniper Full
	MUC	550	Muhlenbergia capillaris / Pink Muhly Full
	SOD B	18,386 sf	Paspalum notatum / Bahia Grass Solid Sod, Stagger Seams, Field Verify Sod Areas Prior To Bid, Sod All Disturbed Areas
	SOD A	13,238 sf	Stenotaphrum secundatum / St. Augustine Grass Solid Sod, Stagger Seams, Field Verify Sod Areas Prior To Bid, Sod All Disturbed Areas
	TAM	3,442	Trachelospermum asiaticum 'Minima' / Minima Jasmine+ Trailing
	TRF	1,269	Tripsacum floridanum / Dwarf Fakahatchee Grass+ Full To Base



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1551 N. Flagler Dr, Ste 102
West Palm Beach, FL 33401
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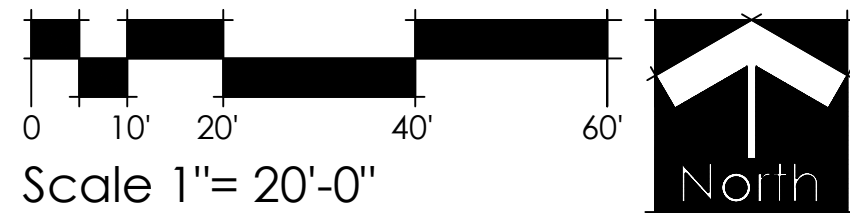
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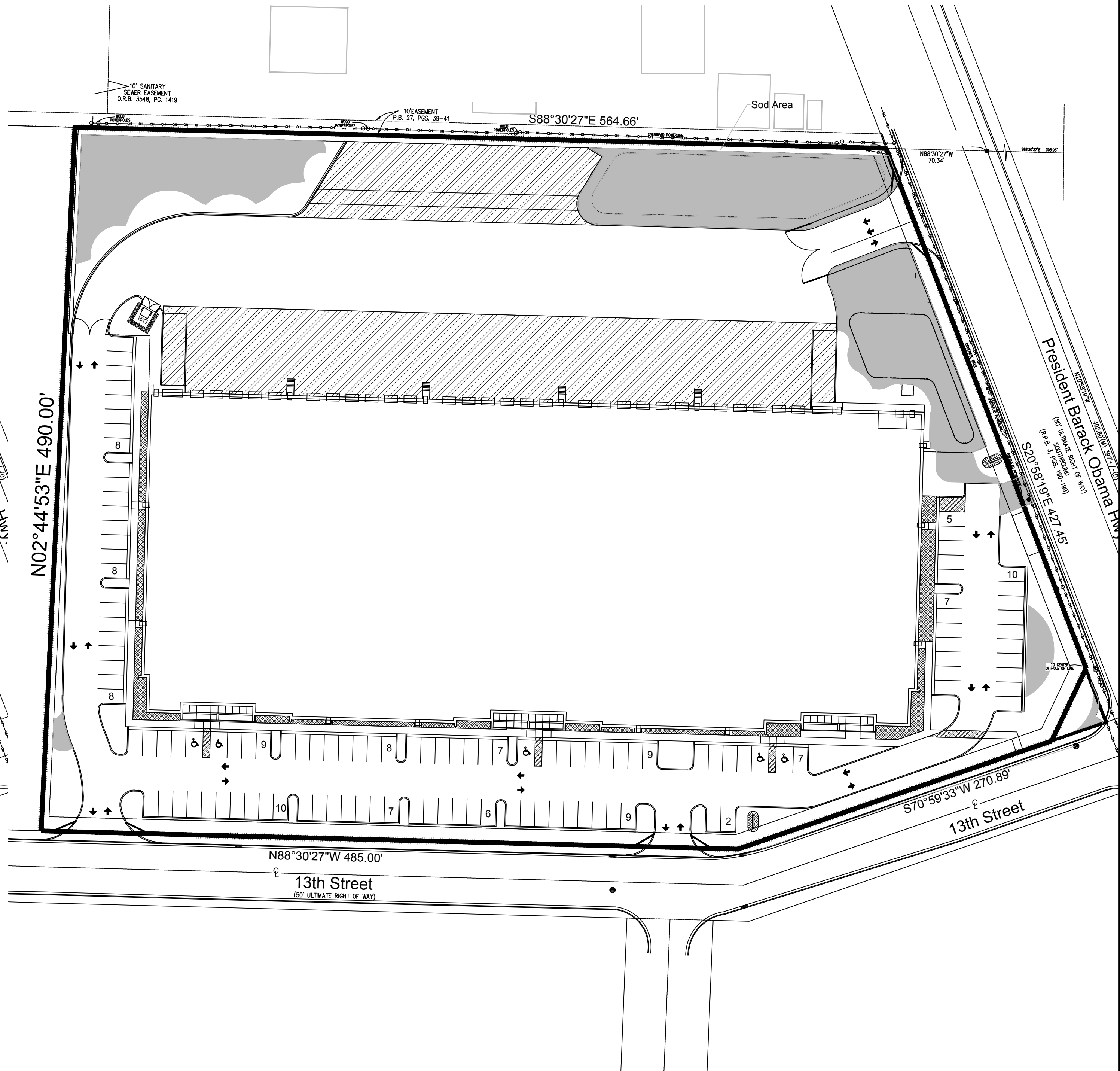
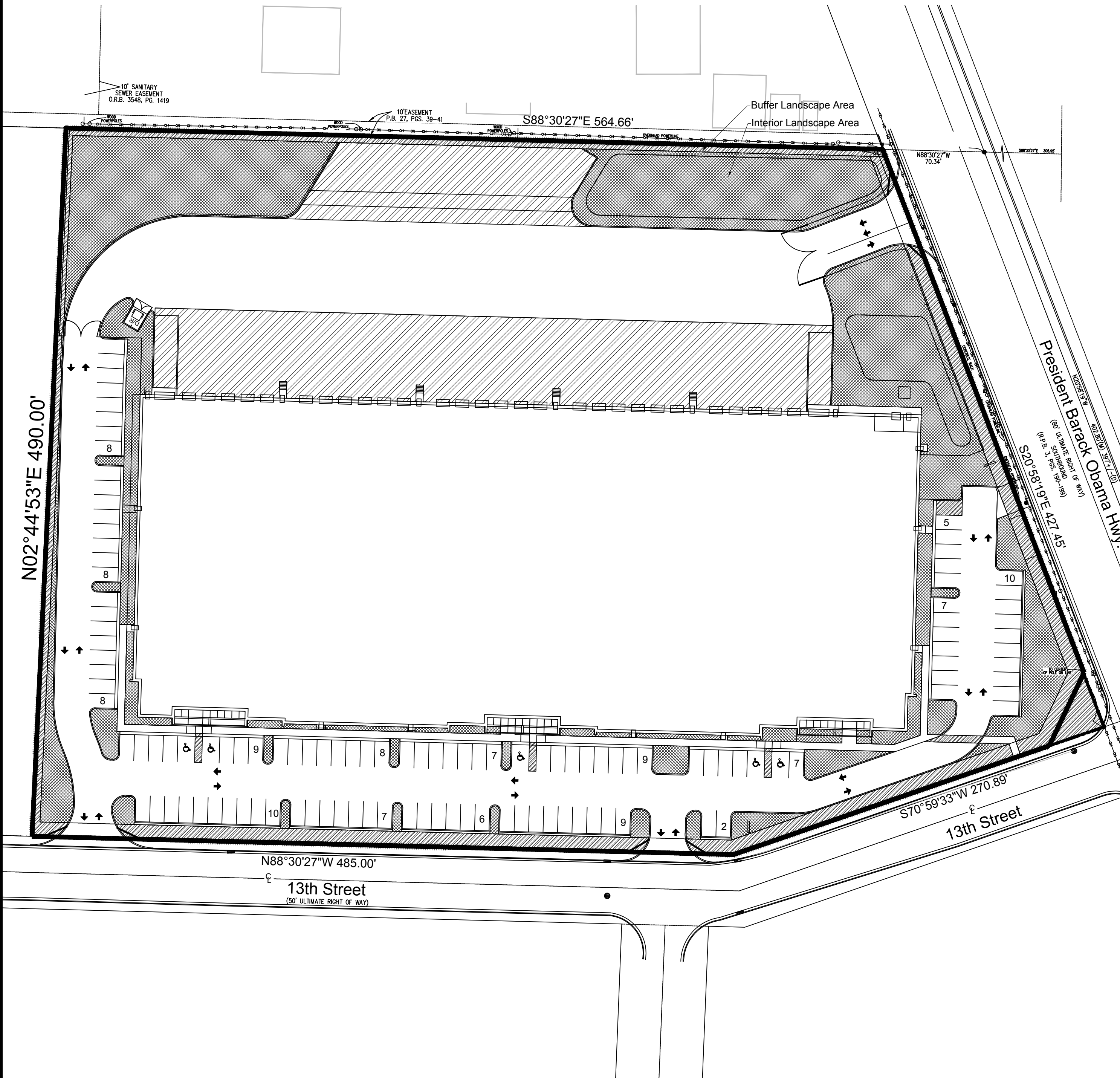
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LANDSCAPE AREA

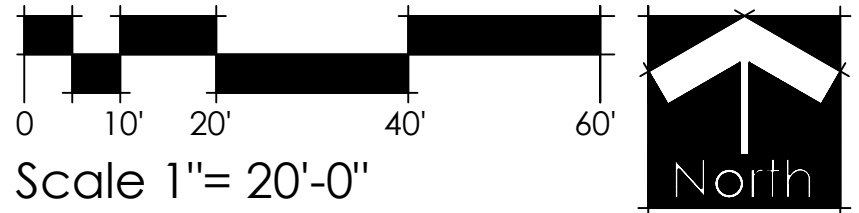
Buffer Area = 16,237 sf
Interior Area = 47,031 sf
Landscape Area = 63,268 sf

SOD AREA

Sod Area = 27,942 sf



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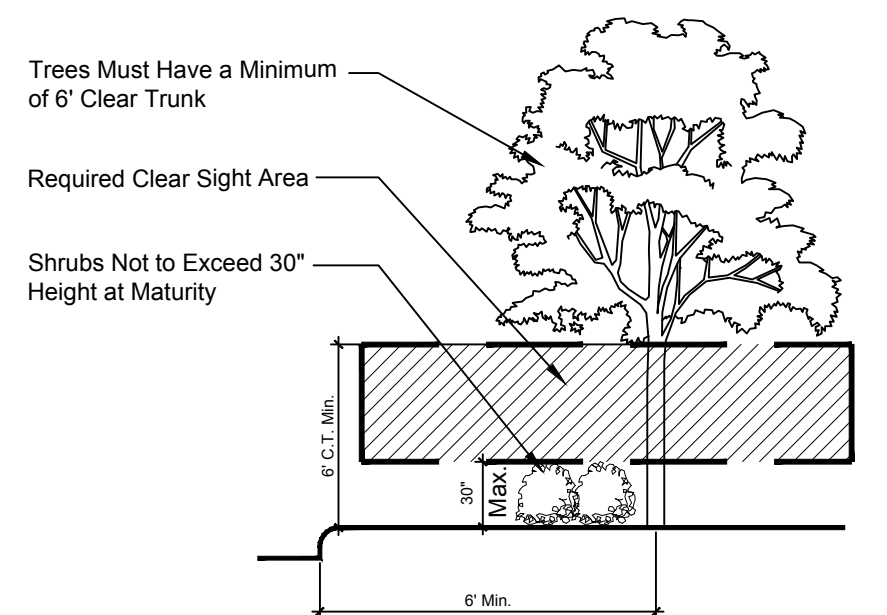




Landscape Notes

- Easements shall not encroach landscape buffers more than 5 feet.
- Landscape in right-of-way buffers shall be installed on the exterior side of walls or fences.
- FDOT Type D or F curb shall be provided along the perimeter of all landscape, open space, drainage and grassed areas adjacent to paved vehicular use areas, except where wheel stops are provided.
- Safe sight triangles shall be maintained clear of vegetation to provide unobstructed visibility between 30" and 8' above crown of road.
- Light poles, fire hydrants, electrical/mechanical equipment, signs, drainage structures, etc. shall not interfere with landscaping in terminal islands, parking islands, medians, buffers or other landscaped areas.
- All plant material is to be installed at the height, spread and DBH/Caliper shown in the Plant List, container sizes are given as a suggestion only.
- No muck-grown sod shall be utilized in detention areas.
- All landscape areas (including sod) shall be irrigated with an underground automatic sprinkler system providing min. 150% coverage.
- Trees shown on this plan are for graphic representation only. Tree spacing is based on design requirements and the trees shown on these plans attempt to accomplish that spacing while maintaining the required setbacks from utilities. Trees may be field adjusted to avoid conflicts with driveways and underground utilities. In any case the trees shall be located in the field in accordance with the planting details shown hereon.
- Trees are to be installed with a ten foot (10') separation from any water or sewer main and/ or service, hydrants, and lift stations. If a ten foot (10') separation cannot be achieved, the tree can be installed with a root barrier system. Refer to the "Root Barrier" detail for installation requirements.
- All planters shall be excavated to a minimum depth of the native soil on site and back-filled with a suitable soil consisting of fifty percent (50%) composted organic matter, well-mixed with native soil. Backfill material shall be free from rock, construction debris, or other extraneous material.
- All substitutions or modifications from the approved Landscape Plan must be submitted and approved by the Landscape Architect in writing.
- All ground-mounted equipment shall be screened from view.

Safe Sight Detail



Plant List

ACCENT/FLOWERING TREE	CODE	QTY	BOTANICAL NAME / COMMON NAME	CALIPER	HEIGHT	SPREAD	CLEAR TRUNK	WATER USAGE
	CL	18	Clusia rosea / Autograph Tree** Standard Form, Matched	1.5" DBH	10'	5'	5' Min.	Low
	CS	17	Conocarpus erectus sericeus / Silver Button Wood** Single Straight Trunk	1.5" DBH	10'	5'	5' Min.	Low
	CO	11	Cordia sebestena / Orange Geiger Tree Single Straight Trunk, Matched	1.5" DBH	10'	5'	5' Min.	Low
	IC	5	Ilex cassine / Dahoon Holly** Single Straight Trunk, Full to Base is Not Acceptable	1.5" DBH	10'	5'	5' Min.	Low
	IE	12	Ilex x attenuata 'East Palatka' / East Palatka Holly** Full to Base, Matched	1.5" Cal.	10'	5'	Full to Base	Low
	LI2	9	Lagerstroemia indica 'Natchez' / Natchez Crape Myrtle** Single Straight Trunk, Min 6" CT	1.5" DBH	10'	5'	5' Min.	Low
	LI	4	Lagerstroemia indica 'Tuscarora' / Crape Myrtle Multi-Trunk** Multi-Trunk	1.5" DBH	10'	5'	5' Min.	Low
PALM TREES	CODE	QTY	BOTANICAL NAME / COMMON NAME	CALIPER	HEIGHT	SPREAD	CLEAR TRUNK	WATER USAGE
	SP	25	Sabal palmetto / Sabal Palm** Slick Trunks, Hurricane Cut, Slagger Heights	N/A	12'-20' CT	N/A	12'-20' CT	Low
	VM	10	Veitchia montgomeryana / Montgomery Palm** Single Trunk, No Scarred Trunks, Matched	N/A	10' CT	5'	10' CT	Low
SHADE TREE	CODE	QTY	BOTANICAL NAME / COMMON NAME	CALIPER	HEIGHT	SPREAD	CLEAR TRUNK	WATER USAGE
	AR	3	Acer rubrum / Red Maple** Single Straight Trunk, Min 6" CT	2" DBH	12'	5'	6' CT	Medium
	BB	15	Bucida buceras 'Shady Lady' / Shady Lady Black Olive** Single Straight Trunk, Min 6" CT, No Low Crotch.	2" DBH	12'	5'	6' Min.	Low
	BS	28	Bursera simaruba / Gumbo Limbo** Single Straight Trunk, Min 6" CT	2" DBH	12'	5'	6' Min.	Low
	CE	34	Conocarpus erectus / Green Buttonwood** Single Straight Trunk, No Low Crotch	2" DBH	12'	5'	6' Min.	Low
	PI	19	Pinus elliotti var. Densa / South Florida Slash Pine** Single Straight Trunk	2" DBH	14' OA	6'	6' Min.	Low
	QV	23	Quercus virginiana / Southern Live Oak** Single Straight Trunk, Min. 6" CT.	2" DBH	12'	5'	6' Min.	Low
	SM	4	Swietenia mahagoni / Mahogany** Single Straight Trunk, Min. 6" CT.	2" DBH	12'	5'	6'	Low
SHRUBS	CODE	QTY	BOTANICAL NAME / COMMON NAME	HEIGHT	SPREAD	SPACING	WATER USAGE	STATUS
	CHI	1,441	Chrysobalanus icaco / Coco Plum** Full To Base, Small Shrubs	18"	18"	24" O.C.	Low	Native
	MYF2	25	Myrcianthes fragrans / Simpson's Stopper** Full to Base, Screening	36"	24"	24" O.C.	Low	Native
GROUND COVERS	CODE	QTY	BOTANICAL NAME / COMMON NAME	HEIGHT	SPREAD	SPACING	WATER USAGE	STATUS
	FMG	3,374	Ficus microcarpa 'Green Island' / Green Island Ficus** Full to Base	12"	12"	18" O.C.	Medium	Non-Native
	HPC	660	Hamelia patens 'Compacta' / Dwarf Firebush** Full	12"	12"	24" O.C.	Low	Native
	JBP	1,142	Juniperus conferta 'Blue Pacific' / Blue Pacific Juniper Full	10"	10"	18" O.C.	Low	Non-Native
	MUC	550	Muhlenbergia capillaris / Pink Muhly Full	14"	12"	18" O.C.	Low	Native
	SOD B	18,386 sf	Paspalum notatum / Bahia Grass Solid Sod, Slagger Seams, Field Verify Sod Areas Prior To Bid, Sod All Disturbed Areas	N/A	N/A	N/A	Low	Non-Native
	SOD A	13,238 sf	Stenotaphrum secundatum / St. Augustine Grass Solid Sod, Slagger Seams, Field Verify Sod Areas Prior To Bid, Sod All Disturbed Areas	N/A	N/A	N/A	High	Non-Native
	TAM	3,442	Trachelospermum asiaticum 'Minima' / Minima Jasmine** Trailing	4"	6"	14" O.C.	Low	Non-Native
	TRF	1,269	Tripsacum floridanum / Dwarf Fakahatchee Grass** Full To Base	24"	24"	24" O.C.	Low	Native

Landscape Requirements

Category	Requirement	No. Required	No. Provided
Trees:			
North Property Line	565'	20 I.F.	28
South Property Line	756'	20 I.F.	38
East Property Line	427'	20 I.F.	21
West Property Line	490'	20 I.F.	25
TOTAL BUFFER TREES		112	112
Hedge:			
North Property Line	565'	Hedge	Hedge
South Property Line	756'	Hedge	Hedge
East Property Line	427'	Hedge	Hedge
West Property Line	490'	Hedge	Hedge
TOTAL HEDGE			
Groundcover:			
North Property Line	565'	25%	141'
South Property Line	756'	25%	189'
East Property Line	427'	25%	107'
West Property Line	490'	25%	123'
TOTAL GROUND COVER		560'	2,239'

Category	Requirement	No. Required	No. Provided
Landscape Area (Site: 314,967 sf)	20% Site	62,993 sf	63,268 sf
Sod Area (62,993 sf Landscape Area)	45% Max.	28,347 sf Max	27,942 sf
Interior Landscape Area (Total Provided: 63,695 sf)	50% of Required	31,848 sf	47,031 sf
Terminal Island Trees (12 Islands)	1/Island	12	12
Interior Island Trees (10 Islands)	1/Island	10	10
Overall Site Trees (Net Site: 314,967 sf) (INCLUDES TREES COUNTED FOR BUFFER AND INTERIOR)	1/1500 sf	210	210
Native Shade Trees (210 Total Required)	60%	126	126
Native Accent Trees (210 Total Required)	10%	21	76
Palm Trees (210 Total Required)	20% Max.	42 Max	8
Shade Tree Species Mix (210 Total Required)	6 species	6	7

PART 1 GENERAL

1.01 WORK INCLUDED

- A. The scope of the work for the landscape contractor for the project shall include the provision of all labor, materials and equipment required to complete all tasks associated with the landscape and irrigation installation as shown on the drawings or noted herein. The landscape contractor is responsible for coordinating with the general contractor reasonable access to power and potable water sources as required to ensure plant survivability and delivery of a completed project that meets all the required specifications for the project.
- B. Subgrade Elevations: Excavation, filling and grading required to establish elevations 4" lower than elevations and contours shown on drawings are not specified in this Section.
- C. Finish Grade Elevations: 1 inch below top of pathway edging.

1.02 QUALITY ASSURANCE

- A. Subcontract landscape work to a single firm specializing in landscape work.
- B. The landscape contractor shall be responsible for ensuring all work (including delivery, storage and disposal of their materials) is performed in compliance with applicable jurisdictional codes.
- C. The landscape contractor shall be responsible for familiarizing themselves with project plans and scopes of work related to associated trades to be performed by others in order to identify key coordination items including, but not limited to, site access, material storage, and scheduling and sequencing of work. The landscape contractor is responsible for coordinating all site issues with the general contractor.
- D. The plant quantities shown on the landscape contract documents are for the convenience of the landscape contractor. The landscape contractor is responsible for verifying all quantities and reporting any discrepancies to the Landscape Architect for clarification prior to contract award and at commencement of work. Contractor is responsible for confirming soil quantities and certifying such to the Owner or his representative.
- E. The landscape contractor shall be responsible for the protection of all adjacent work, materials and equipment from damage due to their activities. The landscape contractor shall be solely responsible for any damage or injury to person or property that may occur as a result of the execution of their work.
- F. Landscape Contractor to notify the Owner or his representative, or Landscape Architect at least three (3) working days prior to beginning any stage of work.
- G. Owner or Landscape Architect to be immediately notified of any discrepancies found in field.
- H. The Owner or his representative, or Landscape Architect reserve the right to field adjust plant material on-site to avoid conflicts or discrepancies not anticipated in the planning process.

1. Ship landscape materials with certificates of inspection required by governing authorities. Comply with regulations applicable to landscape materials.
2. Do not make substitutions. If specified landscape material is not obtainable, submit to Landscape Architect proof of non-availability and proposal for use of equivalent material. When authorized, adjustment of contract amount will be made. The contractor is responsible for exhausting all means possible to obtain the materials as specified prior to requesting substitution.
3. Analysis and Standards: Package standard products with manufacturer's certified analysis. For other materials, provide analysis by recognized laboratory made in accordance with methods established by the Association of Official Agricultural Chemists, wherever applicable.
4. Trees, Palms and Shrubs: Provide trees, palms and shrubs grown in a recognized nursery in accordance with good horticultural practice. Provide healthy, vigorous stock free of disease, insects, eggs, larvae, and defects such as decay, knots, sun-scall, injuries, abrasions, and disfigurement. Root systems shall be vigorous and fibrous, filling the container but shall not be root bound or exhibit spiraling roots. Verification of the health and vigor of all plant material is the sole responsibility of the landscape contractor.
- A. Provide trees, palms and shrubs for grade Florida No. 1 as outlined under the current edition of the Grades and Standards for Nursery Plants, Florida Department of Agriculture, unless otherwise noted.
- Sizes: Provide trees and shrubs of sizes shown or specified. Trees, palms and shrubs of larger size may be used if acceptable to Landscape Architect, and if sizes of roots or balls are increased proportionately.
- B. Inspection: Landscape Architect reserves right to inspect trees, palms and shrubs either at place of growth or at site before planting, for compliance with requirements for name, variety, size and quality.

1.03 SUBMITTALS

- A. Certification: Submit certificates of inspection as required by governmental authorities, and manufacturer's or vendor's certified analysis for soil amendments and fertilizer materials. Submit other data substantiating that materials comply with specified requirements.
- B. Submit seed vendor's certified statement for each grass seed mixture required, stating botanical and common name, percentage by weight, and percentage of purity, germination, and weed seed for each grass seed species.
- C. Planting Schedule: Submit planting schedule showing schedule dates for each type of planting in each area of site.
- D. Maintenance Instructions: Submit procedures for maintenance of landscape work.

1.04 DELIVERY, STORAGE AND HANDLING

- A. Packaged Materials: Deliver packaged materials in original containers showing weight analysis and name of manufacturer. Protect materials from deterioration during delivery, and while stored at site.
- B. Sod: Time delivery so that sod will be placed within 24 hours after stripping. Protect sod against drying and breaking of rolled strips.
- C. Trees, palms and shrubs: Provide freshly dug trees, palms and shrubs. Do not prune prior to delivery. Do not bend or bind tree trunks or shrubs in such a manner to damage bark, break branches or destroy natural shape. Provide protective covering during delivery.
- D. Deliver trees, palms and shrubs after preparations for planting have been completed and plant immediately. If planting is delayed more than 6 hours after delivery, set trees and shrubs in shade, protect from weather and mechanical damage, and keep roots moist.
- E. Do not remove container grown stock from containers until planting time.

1.05 JOB CONDITIONS

- A. Proceed with and complete landscape work as rapidly as portions of site become available.
- B. Utilities: Determine location of underground utilities and perform work in a manner which will avoid possible damage. Hand excavate as required. Maintain grade stakes set by others until removal is mutually agreed upon by parties concerned.
- C. Excavation: When conditions detrimental to plant growth are encountered, such as rubble fill, adverse drainage conditions, or obstructions, notify Landscape Architect before planting.
- D. Planting Schedule: Where applicable, prepare a proposed planting schedule. Schedule dates to establish a logical sequence for completing each type of landscape work to avoid damage to other landscape work and work performed by other discipline. Correlate with specified maintenance periods to provide maintenance from date of substantial completion. Once accepted, revise dates only as approved in writing, after documentation of reasons for delay.
- E. Coordination with Lawns: Plant trees, palms and shrubs after final grades are established and prior to planting of lawns, unless otherwise acceptable to Landscape Architect. If planting of trees, palms and shrubs occurs after lawn work, protect lawn areas and promptly repair damage to lawns resulting from planting operations.

1.06 SPECIAL PROJECT WARRANTY

- A. Warrant lawns through specified maintenance period, and until final acceptance. The required period is for one full year following installation of lawn areas.
- B. Warrant trees for a period of one year after date of substantial completion against defects death and unsatisfactory growth, except for defects resulting from neglect by Owner, abuse or damage by others, or unusual phenomena or incidents which are beyond Landscape Contractor's control.
- C. Warrant shrubs for 1 full year after date of substantial completion.
- D. It is understood that the warranty is to be inclusive of all labor, materials and equipment necessary for the replacement of any plant materials required.
- E. Should the landscape contractor be required to replace any damaged, diseased, dying or dead plant material it is understood that the replacement material is to be of the same species, size and quality as that originally specified on the Landscape Plan. The contractor will be responsible for the removal of all materials and leaving the impacted area clean following any remedial action.
- F. Remove and replace trees, shrubs or other plants found to be dead or in unhealthy condition during warranty period. Make replacements during growing season following end of warranty period. Replace trees and shrubs which are in doubtful condition at end of warranty period; unless, in opinion of the Landscape Architect, it is advisable to extend warranty period for a full growing season or for one full year.
1. Another inspection will be conducted at end of extended warranty period to determine acceptance or rejection. Only one replacement will be required at end of warranty period, except for losses or replacements due to failure to comply with specified requirements.

PART 2 PRODUCTS

2.01 TOPSOIL

- A. If topsoil is not available on site it must be furnished as specified. Throughout all parts of site where finish grades and contour lines differ from existing contour lines, bring to finish grade contours shown on "Grading Plan".
- B. Topsoil shall be friable fertile soil with representative characteristics of area soils. It should be free of heavy clay, silt, stone, extraneous lime, plant roots and other foreign matter greater than 1 1/2" diameter. It shall not contain noxious plant growth (such as bermuda or nut grass). It shall test in neutral PH range of 5.0 to 6.75 and contain no toxic substances that can be deemed to impede plant growth. The contractor shall be prepared to have soil lab-tested at his expense by the Landscape Architect or Owner. Topsoil shall comply with the following quantitative analysis.

COMPONENTS	VOLUME MEASURE	PARTICLE SIZE
Organic Matter	3 - 5%	0.05 to 0.002 MM
Silt	10 - 30%	0.2 to 0.05 MM
Sand	25 - 75%	0.002 MM and below
Clay	5 - 25%	

2.02 SOIL AMENDMENTS

- A. If necessary to bring soil into above specified limits:
- B. Lime: Natural limestone (Dolomite) containing not less than 85% of total carbonates, ground so that not less than 90% passes a 10-mesh sieve and not less than 50% passes a 100-mesh sieve.
- C. Peat Humus or Peat Moss: Texture, moisture and pH range suitable for intended use.
- D. Humus Soil Conditioner: Consisting of yard trimmings and other organic materials, processed to a fine, friable, soil-like consistency.
- E. Commercial Fertilizer: Complete fertilizer of neutral character, with 40% - 50% of the total nitrogen in a water insoluble form. It shall be uniform in composition, dry and free flowing.
1. For trees, palms and shrubs, provide fertilizer with not less than 6% available phosphoric acid, 6% nitrogen and 6% soluble potash.
2. For lawns, provide fertilizer with not less than 6% phosphoric acid, and 6% potassium, and percentage of nitrogen required to provide not less than 1 lb. of actual nitrogen per 1000 square feet of lawn area. Provide nitrogen in a form that will be available to lawn during initial period of growth.

2.03 PLANT MATERIAL

- A. Plant list/schedule is part of this specification section.
- B. Quality: Trees, palms, shrubs and other plants shall conform to the standards for Florida No. 1 or better as given in the latest edition of Grades and Standards for Nursery Plants, Florida Department of Agriculture.
- C. Conspicuous Trees: Provide trees of height, spread, and caliper listed or shown and with branching configuration for Florida No. 1 graded trees in Grades and Standard for Nursery Plants for type and species required. Provide single stem trees except where special forms are shown or listed. Ball condition variable.
- D. Balled and burlap trees should be dug and prepared for shipment in a manner that will not damage roots, branches, shape and future development after planting. The product received on-site should have a firm ball with natural soils. Dried, cracked or broken rootballs will not be accepted.

- E. Coniferous and Broad-leaved Evergreens: Provide evergreens of size shown or listed Dimensions indicate minimum height, spread, and caliper. Provide specified quality evergreens with well-balanced form complying with requirements for other size relationships to the primary dimension shown and branching configuration for Florida No. 1 graded trees in Grades and Standard for Nursery Plants for type and species required.
- F. The landscape contractor is responsible for confirming the availability of all the specified plant materials within four (4) weeks of project award. All requests for substitution due to lack of availability must be made to the Landscape Architect in writing within this period. No substitution shall be permitted without prior written approval from the Landscape Architect. The contractor is responsible for exhausting all means possible to obtain the materials as specified prior to requesting substitution.
- G. Root suckers on Live Oaks are not acceptable.
- H. No double or multi-trunk trees unless otherwise specified.

2.04 GRASS MATERIALS

- A. Grass Seed: Provide fresh, clean, new-crop seed complying with established tolerance for purity and germination. Provide seed of grass species, proportions and minimum percentages of purity, germination, and maximum percentage of weed seed, as specified. Attach a schedule of requirements.
- B. Sod: Provide strongly rooted sod free of weeds and undesirable native grasses, capable of growth and development when planted.
- C. No muck-grown sod shall be utilized in detention areas.

2.05 MISCELLANEOUS LANDSCAPE MATERIALS

- A. Ground Cover: Provide plants established and well-rooted in removable containers or internal peat pots and with not less than minimum number and length of runners specified.
- B. Anti-Erosion Mulch: Provide clean, dry, mulching hay or straw of coastal bermuda, pangola or bahia grass. Only undeteriorated mulch which can be readily cut into the soil shall be used.
- C. Mulch: Melaleuca or equal. The use of cypress mulch is prohibited.
- D. Stakes and Guys: When required provide stakes and deadmen of sound new hardwood or treated softwood free of knot holes and other defects. Provide wire ties and guys of 2-strand, twisted, pliable galvanized iron wire not lighter than 12 gage, with zinc-coated turnbuckles. Provide not less than 12" hose, cut to required lengths to protect tree trunks from damage by wires.

PART 3 EXECUTION

3.01 LAYOUT

- A. Layout individual trees and shrub locations and areas for multiple plantings. Stake locations and outline areas and secure Landscape Architect's acceptance before start of planting work. Make adjustments as maybe required.

3.02 PREPARATION OF PLANTING SOIL

- A. The landscape contractor is responsible for the preparation of soils within all planting areas inclusive of providing all imported soil materials, soil amendments, soil conditioners and fertilizers as required.
- B. Before mixing, clean topsoil of roots, plants, sods, stones, clay lumps, and other extraneous materials harmful or toxic to plant growth.
- C. Mix specified soil amendments and fertilizers with topsoil at rates specified. Delay mixing of fertilizer if planting will not follow planting of planting soil within a few days.
- D. For planting beds, mix planting soil either prior to planting or apply on surface of topsoil and mix thoroughly before planting.
1. Mix lime with dry soil prior to mixing of fertilizer.
2. Prevent lime from contacting roots of acid-loving plants.
- E. Remove all shellrock encountered and backfill with clean sand or sand/silt mix.

3.03 PREPARATION FOR ALL PLANTING AREAS

- A. Eradicate weeds within the limits of all planting areas prior to beginning landscape installation. Perennial weeds and grasses to be removed include, but are not limited to, nut grass, puncture vine, morning glory, dog fennel, topedo grass, Bermuda grass, Bahia grass, kikuyu grass, crab grass, carpet grass, sedge and other noxious and/or invasive weeds. The site is to be maintained weed free throughout planting operations.
- B. Existing plant material to be removed, except where noted on the Landscape or Tree Disposition Plans.
- C. Pre-fill to scanty soils in all planting areas to a minimum depth of 4". Densely compacted areas between 85% and 90% are to be cross ripped to a minimum of 8" depth. In the process of tilling remove unacceptable materials including, but not limited to, foreign debris, construction waste, rocks, concrete, asphalt and rocks greater than 1/2" diameter on average. In areas to receive sod fill in fertilizer to a depth of 2" at a rate of 12 pounds per cubic ft.
- D. All planters shall be excavated to a minimum depth to reach native soil and back-filled with a suitable soil consisting of fifty percent (50%) composted organic matter, well-mixed with native soil. Backfill material shall be free from rock, construction debris, or other extraneous material.
- E. Subsoil rock, concrete, asphalt and other non-natural material to be removed from all planting areas prior to landscape installation.
- F. Spread a layer of 2 to 3 inches of humus soil conditioner over the entire planting areas. Planting areas shall include all new sod areas, shrub areas and tree areas. These areas shall be as large as 3 times the diameter of the beds of the plants, except where confined by hardscape features such as paved parking areas, paved walk ways, structures, etc. Overlapping areas shall be considered to be one large planting area for the entire mass. The humus soil conditioner shall then be uniformly disked, tilled or aerified into the existing soil to a depth of 6 to 8 inches with the following exception: no rototilling shall occur closer to the trunks of established plants than one half the distance to the drip line of the existing plant canopy. All plants, including hedges and ground cover shall be planted in individually dug holes and the material dug from the holes shall then be further mixed with the prepared site soil prior to backfilling of the planting holes around the rootballs.
- G. All landscape beds, including sod areas, shall be leveled and raked smooth prior to any planting.

3.04 PREPARATION FOR PLANTING LAWNS

- A. Preparation of Unchanged Grades: Where lawns are to be planted in areas that have not been altered or disturbed by excavating, grading, or stripping operations, prepare soil for lawn planting as follows: Till to a depth of not less than 6"; add soil amendments and initial fertilizers; remove high areas and fill in depressions; till soil to a homogeneous mixture of fine texture. Free of lumps, clods, stones, rocks, and other extraneous matter.
1. Prior to preparation of unchanged areas, remove existing grass, vegetation and turf. Dispose of such material outside of Owner's property; do not turn over into soil being prepared for lawns.
- B. Elsewhere: Loosen subgrade of lawn areas to a minimum depth of 4". Remove stones over 1 1/2" in any dimension and sticks, roots, rubbish and other extraneous matter. Limit preparation to areas which will be planted promptly after preparation.
- C. Spread planting soil mixture to minimum depth required to meet lines, grades and elevations shown, after light rolling and natural settlement.
- D. Place approximately 1/2 of total amount of planting soil required. Work into top of loosened subgrade to create a transition layer and then place remainder of planting soil.
- E. Allow for soil thickness to be as needed.
- F. Grade lawn areas to smooth, even surface with loose, uniformly fine texture. Roll and rake and remove ridges and fill depressions, as required to meet finish grades. Limit fine grading to areas which can be planted immediately after grading.
- G. Moistened prepared lawn areas before planting if soil is dry. Water thoroughly and allow surface moisture to dry before planting lawns. Do not create a muddy condition.
- H. Restore lawn areas to specified condition if eroded or otherwise disturbed after fine grading and prior to planting.

3.05 PREPARATION OF PLANTING BEDS

- A. Loosen subgrade of planting bed areas to a minimum depth of 12" using a cultimulcher or similar equipment. Remove stones over 1 1/2" in any dimension, and sticks, stones, rubbish and other extraneous matter. Spread planting soil mixture to minimum depth required to meet lines, grades and elevations shown, after light rolling and natural settlement. Place approximately 1/2 of total amount of planting soil required. Work into top of loosened subgrade to create a transition layer, then place remainder of the planting soil. Add soil amendment.
- B. Excavation for Trees and Shrubs: Excavate pits, beds and trenches with vertical sides and with bottom of excavation slightly raised at center to provide proper drainage. Loosen hard subsoil in bottom of excavation.
1. For balled and burlapped (B & B trees and shrubs), make excavations at least half again as wide as the ball diameter and equal to the ball depth.
2. For container grown stocks, excavate as specified for balled and burlapped stock, adjusted to size of container width and depth. Dispose of subsoil removed from landscape excavations. Do not mix with planting soil or use as backfill. Fill excavations for trees and shrubs with water and allow to percolate into before planting.

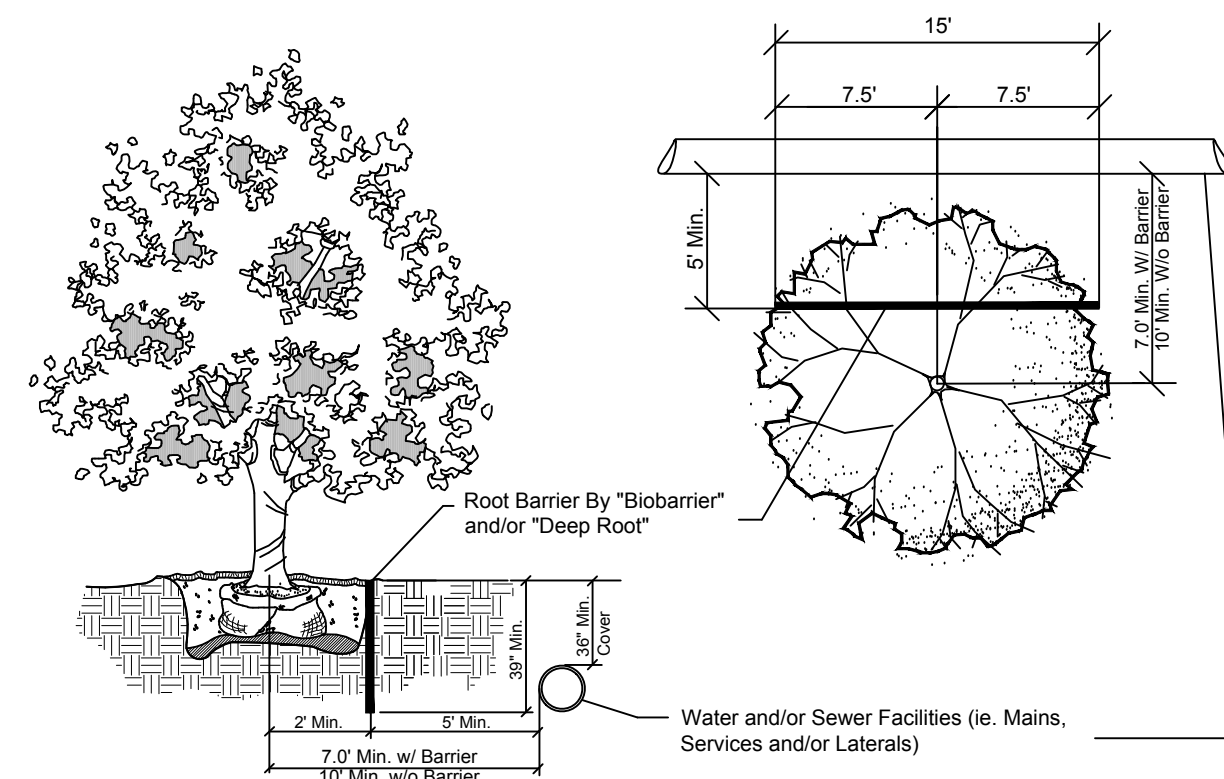
3.06 PLANTING TREES, PALMS AND SHRUBS

- A. Lay out individual trees, palm and shrub locations and areas for multiple plantings where required. Stake locations and outline areas and secure Landscape Architect's acceptance before start of planting work. Make adjustments as may be required upon approval.
- B. Set balled and burlapped (B&B) stock on layer of compacted planting soil mixture, plumb and center of pit or trench with top of ball at same elevation as adjacent finished landscape grade. Remove burlap from sides; retain end portions. When set, place additional burlap free from roots and debris around base and sides of ball and work each layer to settle backfill and eliminate voids and air pockets. When excavation is approximately 2/3 full, water thoroughly before placing remainder of backfill. Repeat watering until no more is absorbed. Water again after placing final layer of backfill.
- C. Balled and burlapped trees with natural burlap: pull back or remove at a minimum, the top 1/3 of the burlap from the root ball. Synthetic/plastic burlap and all other non-biodegradable materials must be removed completely from the root ball and disposed of.
- D. Trees in baskets: Remove wire baskets to a depth of 16" min. All synthetic strapping and other non-biodegradable materials must be completely removed and disposed of. Any burlap must be pulled back or removed from the top of the rootball.
- E. If trees are to be containerized, root ball will be shaved at the periphery to remove all circling roots.
- F. Set container grown stock as specified for balled and burlapped stock, except cut cans on 2 sides with an approved can cutter; remove bottoms of wooden boxes after partial backfilling so as not to damage root balls.
- G. Top-most root shall be visible within the top 2" of the root ball.
- H. All proposed trees shall be installed either entirely in or entirely out of planting beds. Planting bed outlines shall not be obstructed and shall be smooth and flowing. If trees are located outside planting beds in grass areas, maintain a minimum three feet 3" wide offset to allow for mowers to maneuver.
- I. Face of trees and palms to be located a minimum of 2'-0" off all sidewalks/bike paths or other paved surfaces, unless otherwise noted on plans.
- J. Groundcover and shrubs to be laid out in a uniform and consistent pattern.
- K. Dish top of backfill to allow for mulching.
- L. Mulch pits, trenches and planting areas. Provide not less than 3" thickness of mulch and work into top of backfill and finish level with adjacent finish grade. Not more than 2" mulch shall be placed over the rootball of the trees. At the base of the plant, 2" must be maintained free of mulch.
- M. Guy and stake trees immediately after planting, as indicated.
- N. The landscape contractor shall install plant materials using the best horticultural practices:
1. Protect plant material from damage during delivery, staging and installation. Do not begin installation of shrub and groundcover materials prior to completion of irrigation installation and finish grading.
2. Do not install plant materials in winds in excess of 30 miles per hour.
3. Do not install plant material if freezing rain will impede the ability of plant material to thrive without notifying the Landscape Architect of concerns prior to installation.
4. Perform all work in accordance with all applicable laws, codes and regulations inclusive of all permits and inspections required by federal, state and local jurisdictions.
5. The use of cables and chains for the lifting of trees is prohibited. Trees are to be lifted using nylon straps a minimum of 4" in width. Wrap trunks to protect from scraping and scarring.
6. The 'choke' strapping method for lifting trees is prohibited.
7. Do not drop plant material.
8. Limit the amount of plants to be installed per day to those that can adequately be watered in the same day.
9. Carefully remove containerized plants from their cans to avoid breaking the rootball. Containers should only be removed immediately prior to installation and plants should be immediately watered after placement.
10. Remove burlap and cut steel baskets from at least the top third of the rootball for all B&B material. Remove wire baskets to a minimum depth of 18".
11. Plant material must be installed at correct elevation in relation to finish grade as indicated on the planting details after setting. Plants set at incorrect elevations will need to be raised or lowered accordingly at no additional cost to the owner.
12. Planting pits for trees and shrubs must be excavated to the dimensions specified on the planting details. Following planting area immediately surrounding plant is to be tamped firm and use water jet technique to remove all air pockets repeating as required.
13. Apply re-wetting agent to the surface of all plant pits for trees and shrubs per manufacturer's recommendations.
14. Apply shredded hardwood mulch in even layer to a 3" depth. Mulch must be pulled off the base of all plant material.
15. Continuously monitor status of installed materials and make modifications, clean-ups and replacements as required.

LANDSCAPE AND ROOT BARRIER NOTE:

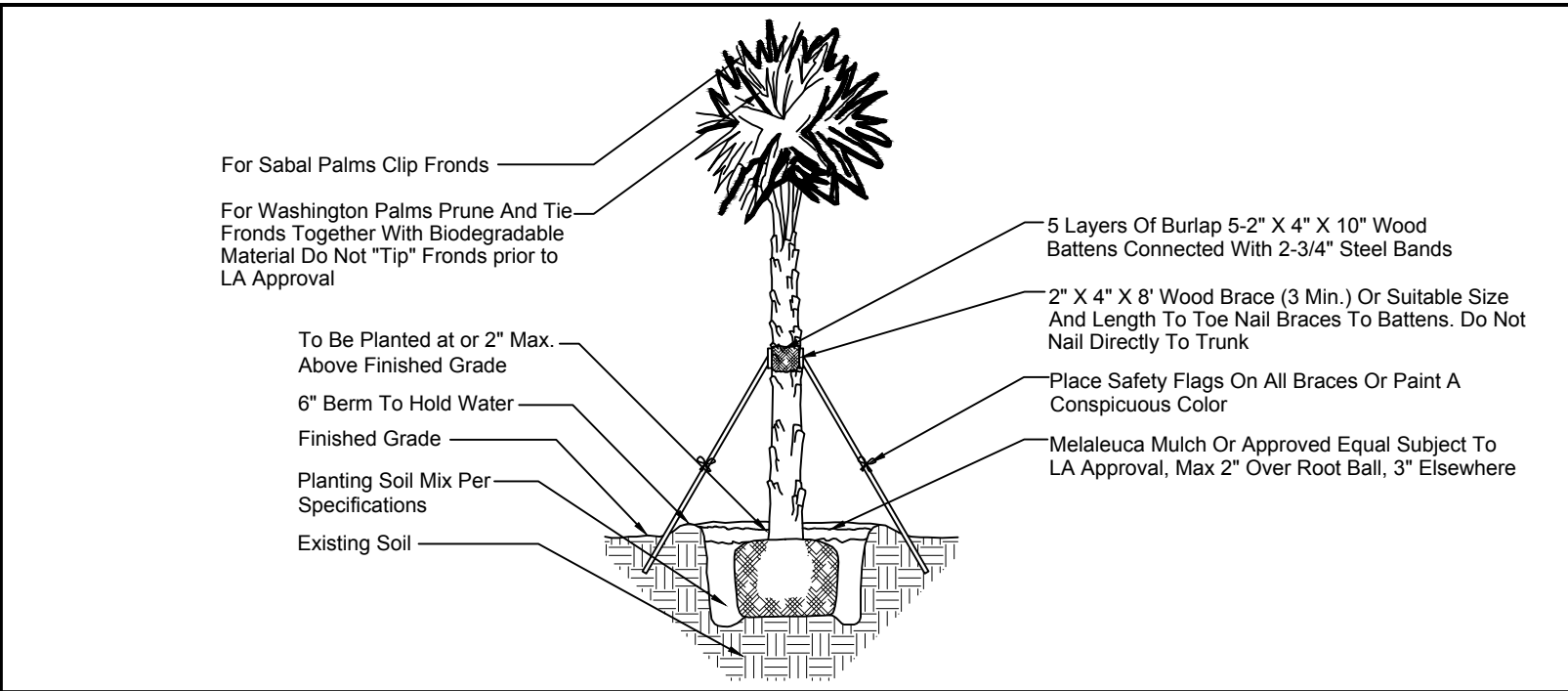
Trees shown on this plan are for graphic representation only. Tree spacing is based on design requirements and the trees shown on this plans attempt to accomplish that spacing while maintaining the required setbacks from utilities. Trees may be field adjusted to avoid conflicts with driveways and underground utilities. In any case the trees shall be located in the filed in accordance with the planting details shown herein.

Additionally, trees are to be installed with a ten foot (10') separation from any water or sewer main and/or service, hydrants, and lift stations. If a ten foot (10') separation cannot be achieved, the tree can be installed with a root barrier system. Refer to the "Root Barrier" detail for installation requirements.

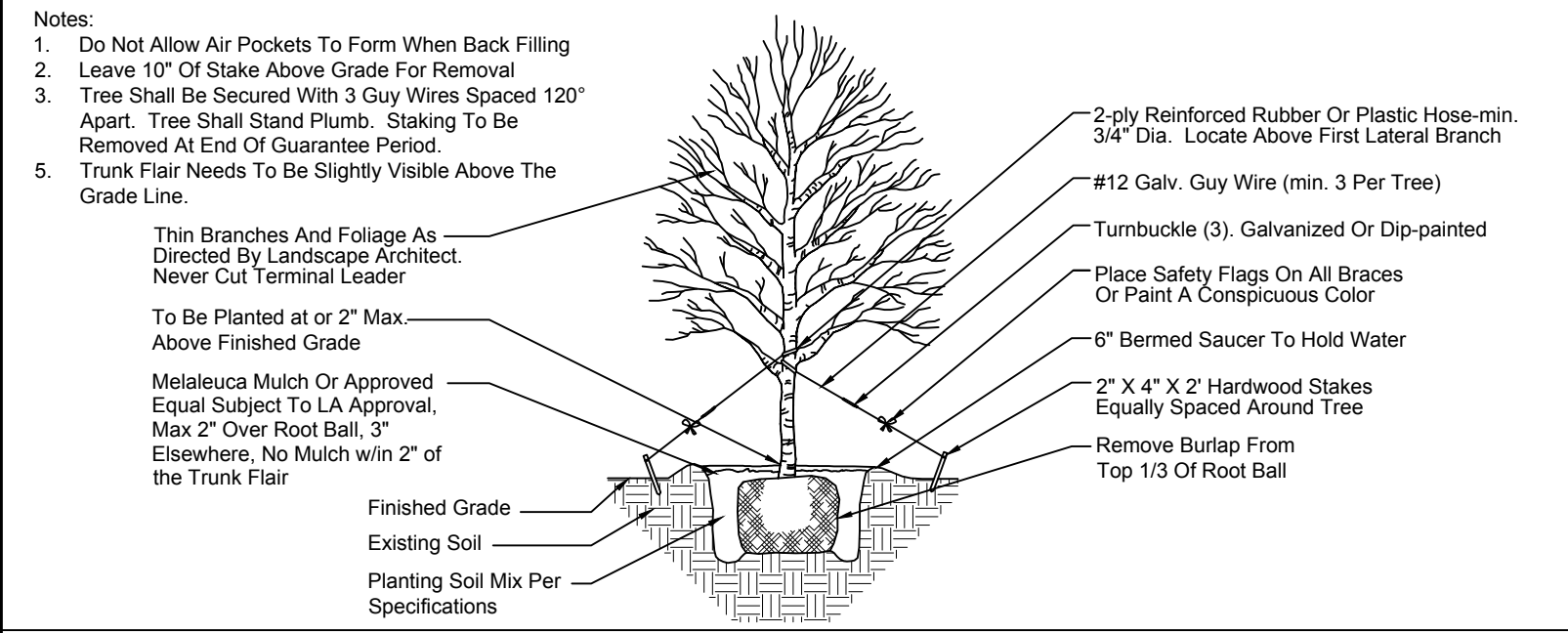


Root Barrier Detail

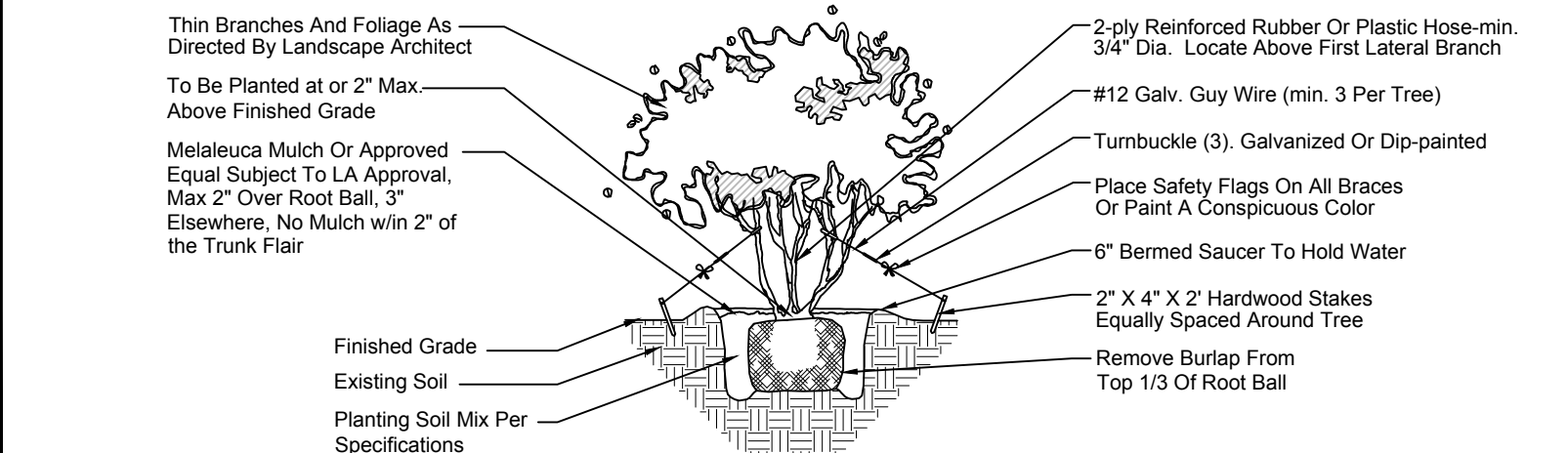
Planting Details



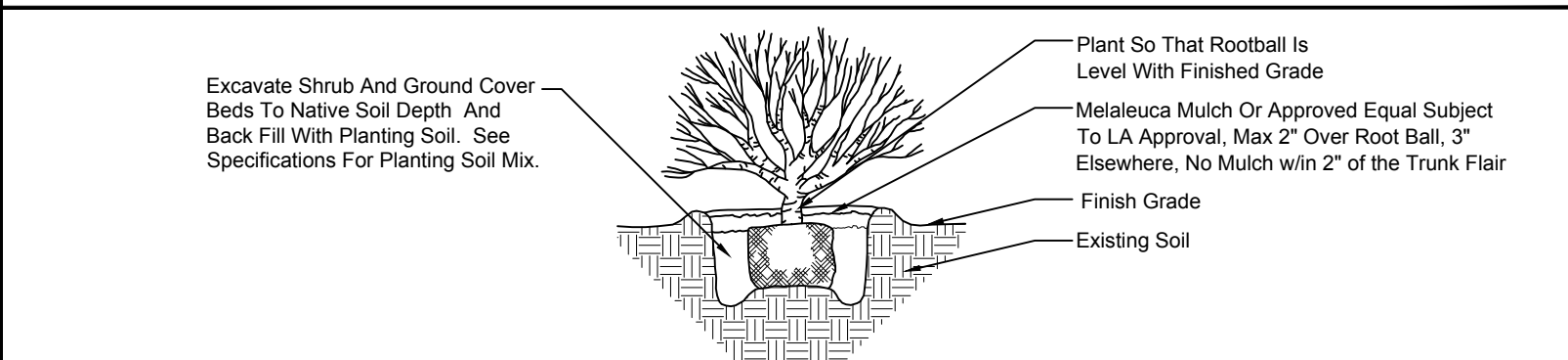
Palm Planting Detail



Large Tree (Over 8' Height) Planting Detail

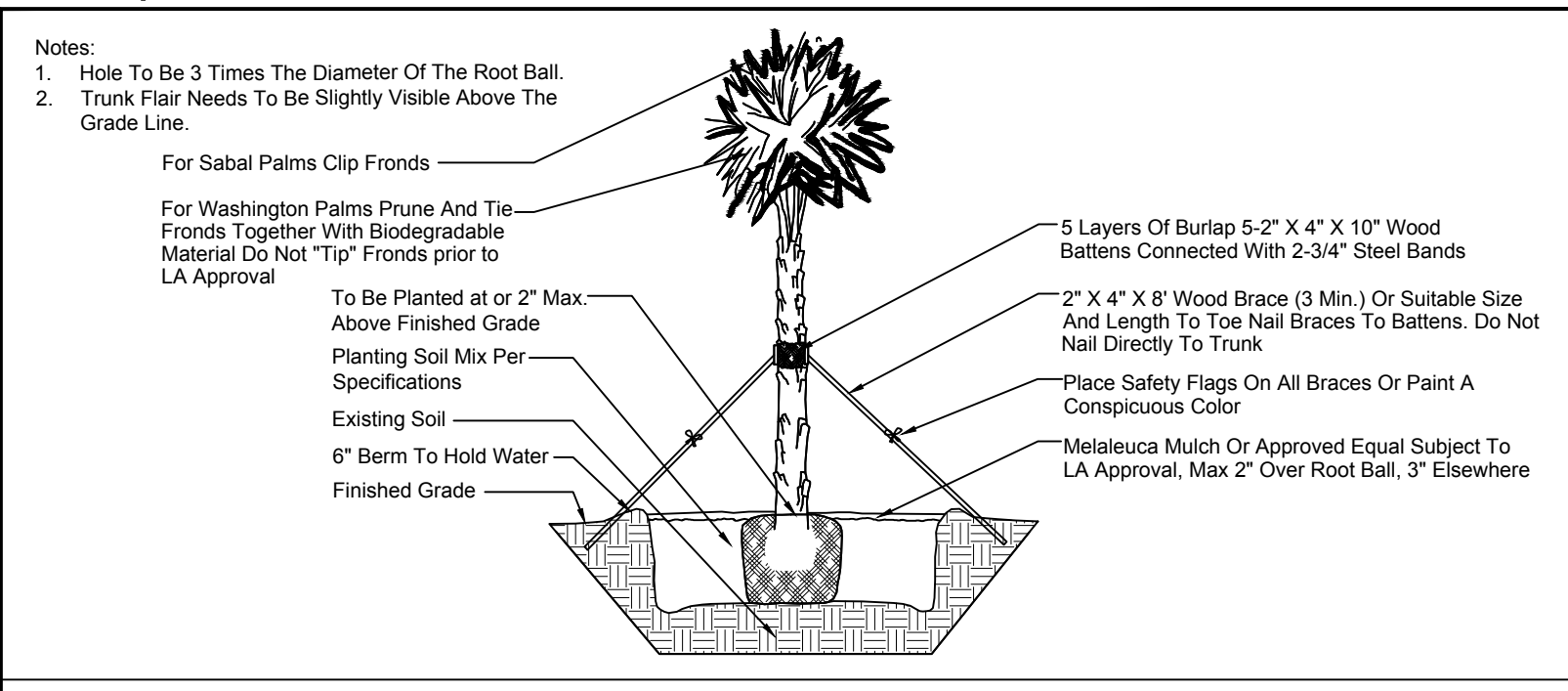


Multi-Trunk Tree Planting Detail

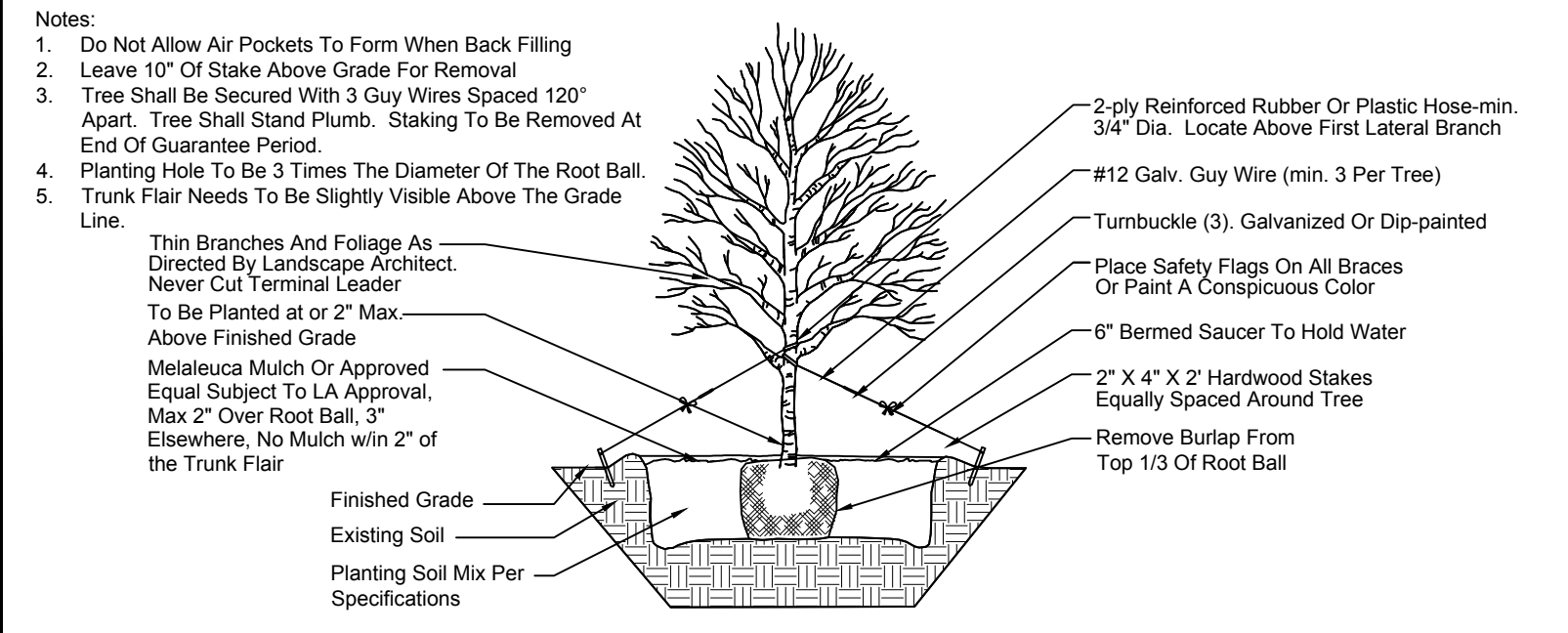


Shrub and Groundcover Planting Detail

Transplant Details



Palm Planting Detail



Tree Planting Detail

1551 N. Flagler Dr, Ste 102
West Palm Beach, FL 33401
Phone: 561.684.6141
Email: info@snlandplan.com
Website: www.snlandplan.com
License No: LC26000232

JDA Industrial
1301 President Barack Obama Hwy.
Riviera Beach, Florida

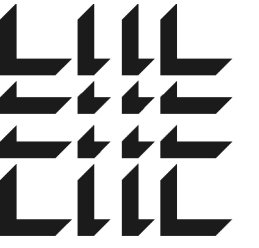
Date: 01/11/19
Scale: 1" = 40'-0"
Design By: JN
Drawn By: MA
Checked By: JN
File No: 935.01
Job No: 18-110

REVISIONS / SUBMISSIONS

03/15/19 Resubmittal

Landscape Specs

LP-7 of 7



**MACGREGOR
ASSOCIATES
ARCHITECTS**

2727 Paces Ferry Road SE
Building Two, Suite 1400
Atlanta, Georgia 30339
T 770.432.9400 F 770.432.9934

SEAL

CONSULTANT

PRINT RECORD

NUMBER	DATE	DESCRIPTION
3	12/28/18 04/04/19	PRICING SET CORB COMMENTS

PROJECT INFORMATION

**A SPECULATIVE
INVENTORY AND
DISTRIBUTION
FACILITY**

**RIVIERA BEACH
COMMERCE
CENTER**

1301 PRESIDENT BARACK OBAMA
HIGHWAY
RIVIERA BEACH, FLORIDA

JOHNSON DEVELOPMENT ASSOCIATES, INC.

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IS AND SHALL REMAIN THE PROPERTY OF THE
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REPRODUCED, PUBLISHED OR USED IN ANY WAY
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THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS
AND EXISTING CONDITIONS AT THE SITE BEFORE
PROCEEDING WITH EACH PHASE OF HIS WORK.
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DATE	PROJECT NO
12/28/2018	2018-189

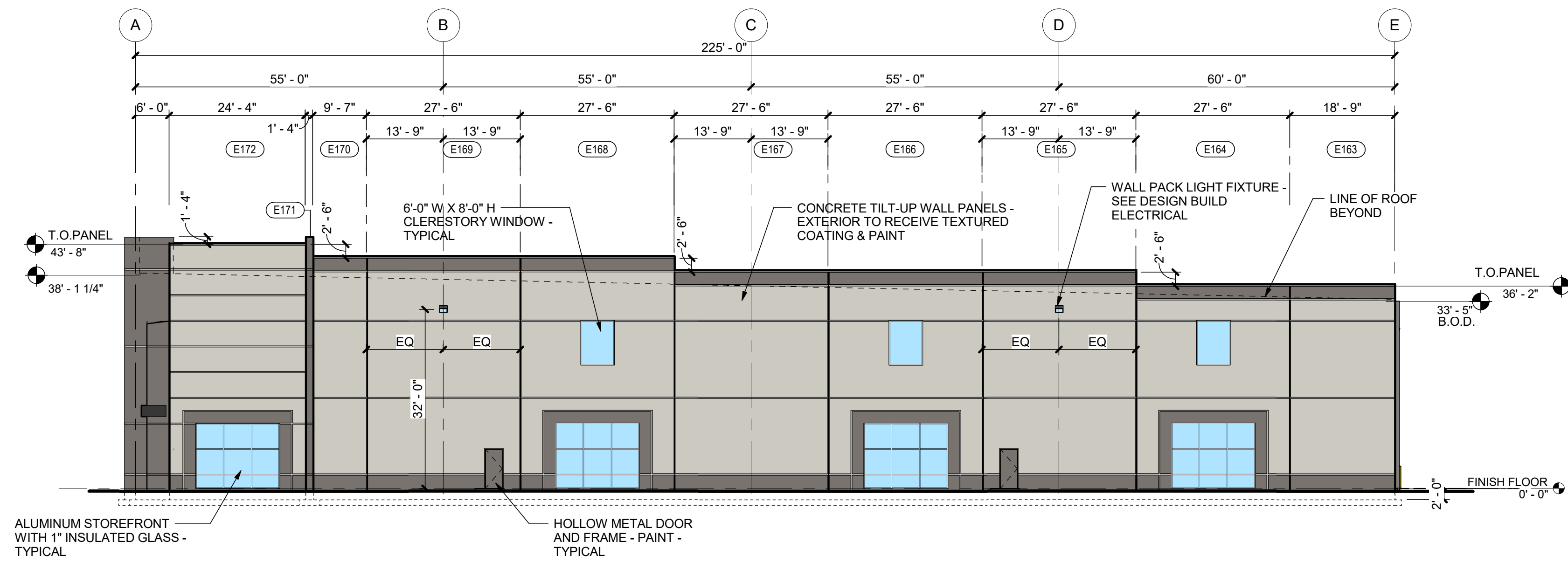
SHEET TITLE

**BUILDING
ELEVATIONS**

SHEET NUMBER

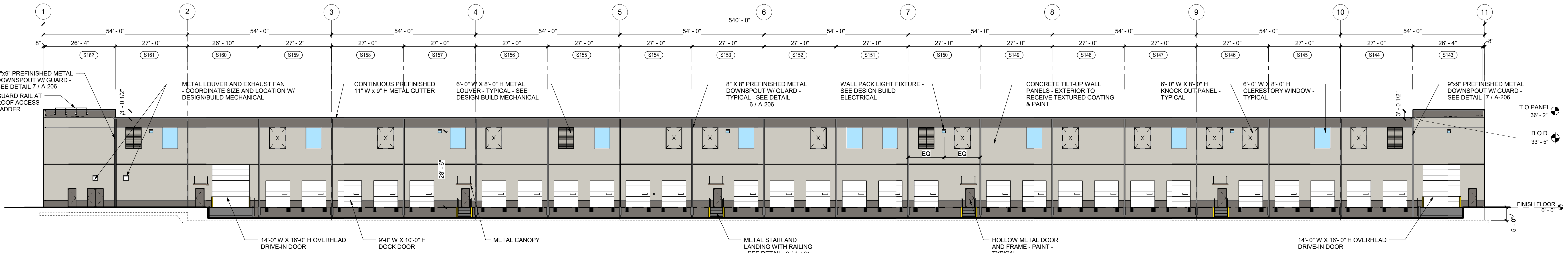
A-301

NOT FOR CONSTRUCTION



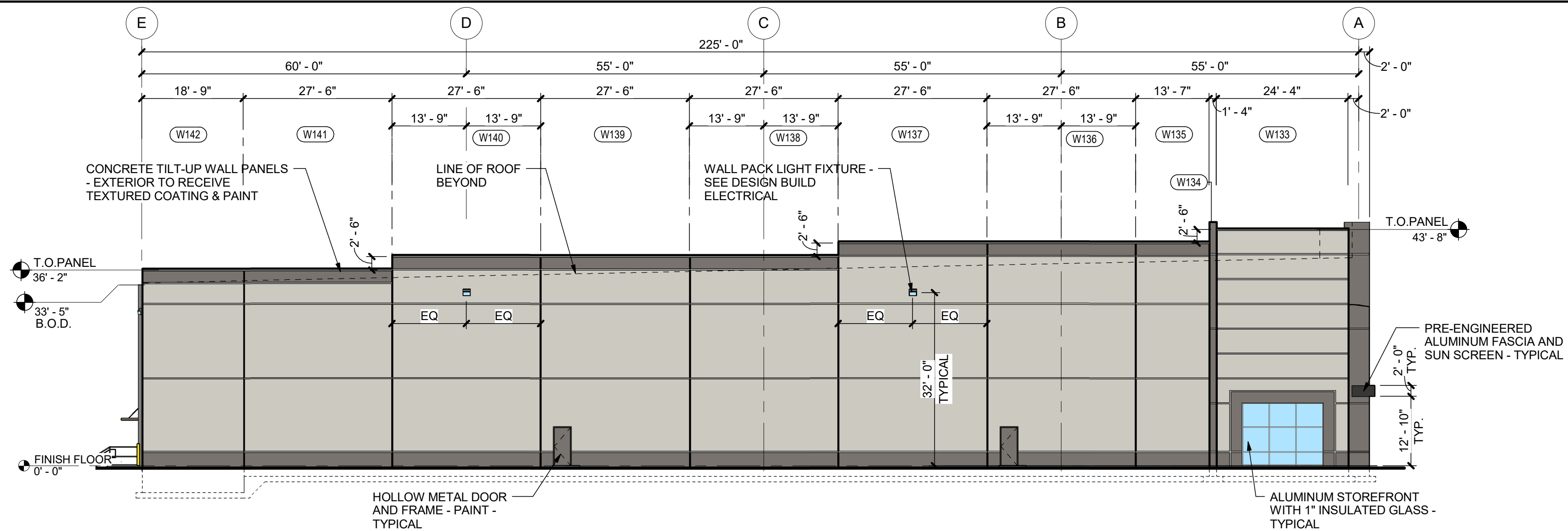
4 EAST BUILDING ELEVATION

1/16" = 1'-0"



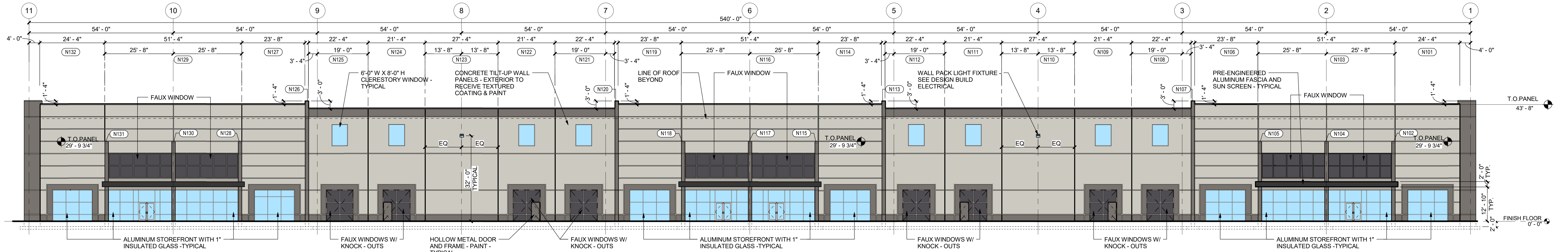
3 NORTH BUILDING ELEVATION

1/16" = 1'-0"



2 WEST BUILDING ELEVATION

1/16" = 1'-0"



1 SOUTH BUILDING ELEVATION

1/16" = 1'-0"

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**Justification Statement
Formal Site Plan Approval Request
JDA Industrial
1301 President Barack Obama Highway
City of Riviera Beach, Florida
Original Submittal: January 11, 2019
Resubmittal: March 15, 2019
Resubmittal: March 28, 2019
Resubmittal: April 4, 2019**

Description of Request

Schmidt Nichols (“Agent”), on behalf of the Applicant, 1501 Florida Mango LLC, respectfully requests a Special Exception Use approval and Major Site Plan Amendment for the JDA Industrial project in the City of Riviera Beach, Florida. The 7.23-acre (314,967 s.f.) subject property (Property Control Number [PCN] 56-43-42-33-00-000-3010) is located at the northwest corner of President Barack Obama Highway and West 13th Street (“subject property”). The applicant is proposing to develop a 120,282 s.f. warehouse on the undeveloped subject property. The proposed development will have frontage and access from West 13th Street, with the main public entrance located on the south side of the building. There will be two (2) secondary access points, one along West 13th Street and another secured truck access on President Barack Obama Highway. The use requested, warehouse and storage industrial facility, is a special exception use in the General Industrial – IG zoning district.

The subject property supports a Future Land Use (FLU) designation of Industrial (IND) and is located within the General Industrial (IG) Zoning District. Below is a chart of the surrounding property information:

Adjacent Lands	FLU	Zoning	Uses
Subject Property (Proposed)	IND	IG	Warehouse and Storage
North	IND	IL	Warehouse/ Distribution
South	IND	IL, IG	Warehouse/ Distribution / Light Manufacturing/W 13 th Street ROW

East	IND	Downtown Mixed Use (within CRA)	Downtown General (within CRA), President Barack Obama Highway ROW
West	IND	IG	Vacant Industrial

This application is specifically requesting the following:

- Special Exception Use Site Plan approval for the proposed 120,282 s.f. warehouse and storage industrial facility.

Site Design and Layout

The proposed site is 7.23 acres in size and is surrounded on three (3) sides by complementary Industrial uses. To the north of the subject property are several warehouse/distribution uses. To the west is a vacant parcel zoned General Industrial – IG. To the south is warehouse/distribution and light manufacturing uses. The subject site has frontage along President Barack Obama Highway and West 13th Street. To the east of the subject site is President Barack Obama Highway, Florida East Coast Railway and then a vacant parcel of land that is located within the Riviera Beach CRA district. The proposed site was designed so that minimal impacts were imposed on surrounding properties

Per the Riviera Beach Zoning Code, Section (Sec.) 31-383, Property Development Standards for the industrial (IG), of the City of RB Code of Ordinances a property must comply with a 45 percent (45%) lot coverage.

Based on the total 7.23 acres (314,967 sf) the code allows a total of 141,735 square-feet of lot coverage:

$$7.23 \text{ acres (314,967 sf)} \times 45\% = 141,735 \text{ sf of Lot Coverage}$$

Based on the total lot coverage proposed (120,282 square-feet), the lot coverage is (38%):

$$120,282 \text{ sf} \div 7.23 \text{ acres (314,967 sf)} = 38\% \text{ Lot Coverage}$$

Per Objective 1.8, Future Land Use Categories, of the City of Riviera Beach Comprehensive Plan the maximum floor area (FAR) permitted is 1.15.

Based on the maximum floor area ratio (1.15), the maximum square footage that could be developed on the property is 362,212 square-feet:

$$7.23 \text{ acres (314,967 sf)} \times 1.15 = 362,212 \text{ square-feet}$$

Based on the total square-footage proposed (120,282 square-feet), the floor area ratio is (.38):

120,282 square feet ÷ 7.23 acres (314,967 sf) = .38 FAR

Parking:

Required Parking:

Warehouse - 1 space / 1,000 S.F. @ 120,282 S.F. = 120 spaces

Total: 120 spaces

Proposed Parking:

Total: 120 spaces

Handicap Spaces Required: 5 Spaces

Handicap Spaces Proposed: 5 Spaces

Loading Spaces Required (12' x 30' Min): 7 Spaces

Loading Spaces Proposed (12' x 54, 12' x 60'): 52 Spaces

Standards of Code Compliance – Site Plan Approval Request:

Per Section (Sec.) 31-482, General Classification, of the City of RB Code of Ordinances a property within the IG Zoning District that is greater than one acre is subject to site plan review and must take the following standards into consideration:

1. Demonstrate that proposed use is appropriate to site:

Response: To the north of the subject property are several warehouse/distribution uses. To the west is a vacant parcel zoned General Industrial – IG. To the south is warehouse/distribution and light manufacturing uses. To the east of the subject site is President Barack Obama Highway, Florida East Coast Railway and then a vacant parcel of land that is located within the Riviera Beach CRA district. The proposed site design and layout was planned so that minimal impacts were imposed on surrounding properties.

2. Demonstrate how drainage and paving requirement will be met:

Response: The proposed site plan and associated paving and drainage plans have been designed to control all stormwater on-site and discharge meeting State and local requirements. The site will utilize a combination of infiltration trenches and on-site dry detention area for stormwater run-off.

3. Demonstrate any landscaping techniques to visually screen use from adjacent uses:

Response: The site is mostly clear of vegetation as this was a drive-in movie theatre several years ago. The submittal package includes a landscape plan that identifies proposed perimeter buffers and plantings. The perimeter of

the site will include native trees installed so that they provide adequate screening from adjacent rights-of-ways and surrounding properties. Please see enclosed Landscape Plans prepared by Schmidt Nichols.

4. Demonstrate what is proposed to reduce the impact of any potential hazards, problems, public nuisances generated by use:

Response: Properties to the north, south, and west support similar industrial type uses. The proposed use is not expected to generate any potential hazards, problems, or public nuisances to this property. A six-foot (6') decorative aluminum fence will be installed around the perimeter, as well as rolling gates for security.

5. Demonstrate how utilities and other service requirements of the use can be met:

Response: All necessary utilities currently service this site due to the location along two major roadways. Water/sewer and electrical are available to the site and will be connected as indicated on the preliminary paving, drainage, water and sewer plans prepared by McLeod, McCarthy & Associates that have been submitted with this application.

6. Demonstrate how the impact of traffic generated will be handled:

Response: The proposed development meets all the tests requirements of the Palm Beach County Traffic Performance Standards. Please see attached traffic report from Pinder Troutman Consulting.

Standards of Granting Special Exceptions:

1. Ingress to and egress from the property and the proposed structures thereon, if any, including such considerations as automotive and pedestrian safety and convenience, traffic flow and control, and access in case of fire or catastrophe.

Response: The proposed development will have frontage and access from West 13th Street, with the main public entrance located on the south side of the building. There will be two (2) secondary access points, one along West 13th Street and another secured truck access on President Barack Obama Highway. The proposed use is not expected to generate any potential hazards, problems, or public nuisances to this property. The applicant is proposing a 10' x 30' bus school shelter along the east property line to promote public safety. A six-foot (6') decorative aluminum fence will be installed around the perimeter, as well as rolling gates for security. The proposed development meets all the tests requirements of the Palm Beach County Traffic Performance Standards. Please see attached traffic report from Pinder Troutman Consulting

2. Off-street parking and loading areas, where required, including consideration of relevant factors in subsection (2) a. of this section, and the economic, noise, glare or odor effects of the location of such areas on adjacent and nearby properties and properties generally in the district.

Response: The proposed development is in compliance with the required number of parking spaces for the proposed warehouse and storage use. The applicant is providing 13 12' x 54' and 39 12' x 60' loading spaces to the north of the proposed warehouse building. The proposed site design and layout was planned so that minimal impacts were imposed on surrounding properties. The applicant has proposed perimeter lighting throughout the proposed development, which is anticipated to reduce glare and promote traffic safety.

3. Refuse and service areas, including consideration of relevant factors in subsections (2) a. and b. of this section.

Response: The applicant is proposing a dumpster enclosure along the west property line for the proposed development.

4. Utilities, including such consideration as hook-in locations and availability and compatibility of utilities for the proposed use or structure.

Response: All necessary utilities currently service this site due to the location along two major roadways. Water/sewer and electrical are available to the site and will be connected as indicated on the preliminary paving, drainage, water and sewer plans prepared by McLeod, McCarthy & Associates that have been submitted with this application.

5. Screening, buffering and landscaping, including consideration of such relevant factors as type, dimensions and character to preserve and improve compatibility and harmony of use and structures between the proposed special exception and the uses and structures of adjacent and nearby properties and properties generally in the district.

Response: To the north of the subject property are several warehouse/distribution uses. To the west is a vacant parcel zoned General Industrial – IG. To the south is warehouse/distribution and light manufacturing uses. To the east of the subject site is President Barack Obama Highway, Florida East Coast Railway and then a vacant parcel of land that is located within the Riviera Beach CRA district. The proposed site design and layout was planned so that minimal impacts were imposed on surrounding properties. The submittal package includes a landscape plan that identifies proposed perimeter buffers and plantings. The applicant is proposing a 5' landscape buffer along the north and west property line and is proposing a 10' ROW landscape buffer along the east and south property line. The perimeter of the site will include native trees installed so that they provide adequate screening from adjacent rights-of-ways and surrounding

properties. Please see enclosed Landscape Plans prepared by Schmidt Nichols.

6. Signs, or outside displays, if any, and proposed exterior lighting, if any, with reference to glare, traffic safety and economic effects of same on properties in the district.

Response: The applicant is proposing a monument sign along President Barack Obama Highway just south of the truck ingress and egress, and an additional proposed monument sign along 13th Street near the car entrance across from 13th Court. The applicant has proposed perimeter lighting throughout the proposed development, which is anticipated to reduce glare and promote traffic safety.

7. Required yards and open spaces. The board shall make such recommendations as it deems necessary, guided by the factors that may be described in this zoning district, based on the nature of the request and its effect.

Response: The proposed development exceeds all of the appropriate setbacks (front, side interior, side corner, rear) and is in compliance with the 20% pervious requirement pursuant to Sec. 31-609.C

Principal Arterial Design Standards Overlay – Appearance

1. All structures on the same parcel of land or in the same development shall have a unified architectural theme. Color building elevations identifying said architectural theme shall be required to be submitted to the City for all applicable new developments, renovations, or additions.

Response: The color Paint Scheme Details, Elevation are part of our submittal and are provided on the attached PDF. The proposed elevations of all sides of the building have been updated to provide a waterline color change to provide additional interest in the elevations. The south and east elevations have been upgraded to provide glazing at both pedestrian level as well as the upper portions of the building to provide for visual interest as seen from President Barack Obama Highway. The intermediate color has been eliminated and three colors remain to create a cohesive color scheme.

2. Building walls exposed to public view shall be designed through the use of a coherent and clear architectural design consistent with the character of the building. Building designs should incorporate architectural details and natural lighting.

Response: The elevations facing 13th Street and President Barack Obama Highway include articulations, canopies, fin walls, storefront glass, and earth toned paint colors that create a coherent architectural design. The east façade has incorporated additional fenestration by adding storefronts and a secondary color as a trim around the store fronts as well as the parapet around the building. South façade has also been upgraded to add some

clear story windows for added visual interest as well as to add some natural light into the structure. The glazing is in keeping with the code prescribed regulations through all facades of the building.

3. Buildings facing a public street or interior courtyard space shall be architecturally emphasized through entrance treatments and building details. Buildings with more than one facade facing a public street shall provide architectural treatment on each such facade.

Response: The main building façade faces 13th Street, with three office features utilizing canopies, fin walls, storefront glass, vertical reveals, and horizontal reveals for entrance treatments. The façade along President Barack Obama will wrap the easternmost office features, again utilizing a canopy, fin wall, storefront glass, horizontal reveals, and vertical reveals.

4. Roofing shall be incombustible material such as shingles, clay or cement tiles, or metal.

Response: Roofing shall consist of metal decking underneath rigid insulation and a mechanically attached single-ply TPO membrane. Parapet walls along the east, south, and west façades of the building will prevent the roof from being visible from the street.

5. Roof and exterior wall surfaces, with the exception of glass, shall be nonreflective. Reflective or mirrored glazing at ground level, visible from the sidewalk, is prohibited.

Response: Roof and exterior wall surfaces will be non-reflective. The storefront glazing for the office entrances will be non-mirrored glazing.

6. The rear and side of buildings shall be finished with material that in texture and color resembles the front of the building.

Response: The main building material of the rear and sides of the buildings will be concrete with textured pain, matching the front concrete façade.

7. Glass windows and doors must make-up a minimum of twenty percent of the primary elevation and a minimum of ten percent of the secondary elevation. The primary elevation is defined as facing the abutting arterial road. The secondary elevation is defined as facing a perpendicular side road. Faux windows do not count towards the above-mentioned required percentages.

Response: Heavy amounts of glass have been incorporated into the design to provide a corporate look and feel for the facility that are in keeping with the intent of the design standards overlay, as illustrated by the architectural rendering that we're including in our submittal package. The elevations facing 13th street as well as PBOH have been upgraded to provide the code prescribed amounts of glazing and storefronts.

8. The coloration of all building walls shall be with a maximum of three colors, exclusive of the roof color. The primary use of "earth tone" and neutral color

palettes shall be required. Semi-transparent stains are recommended for application on natural wood.

Response: The proposed paint colors include the earth tone shades of Gray and Perle Noir, as depicted on our Paint Scheme Details.

9. Canopies over vehicular use areas shall have a maximum clearance of up to 14 feet above grade and shall be consistent with the main building design. The canopy columns shall be architecturally finished to match the building.

Response: None of the proposed canopies will be over vehicular use areas.

10. Work area or storage doors and open bays shall not open toward or otherwise be visible from any of the designated principal roads.

Response: The principal roads face the building's office features and storefront glass, and none of the dock doors open toward the principal roads. Additionally, the submittal package includes a landscape plan that identifies proposed perimeter buffers and plantings. The perimeter of the site will include native trees installed so that they provide adequate screening from the adjacent rights-of-ways and loading areas. However, it should be noted that the proposed primary use for this development is warehouse and storage.

11. Heating, ventilation, air conditioning equipment, duct work, air compressors, other fixed operating machinery shall be either screened from public view or located so that such items are not visible from a designated arterial, adjacent residential properties or intersecting street.

Response: Parapet walls running along the east, south, and west façades of the building will minimize the visibility of all rooftop equipment.

12. No temporary structures shall be permitted, except those used in conjunction with and during construction. Office-type mobile units when used as temporary facilities shall be screened from view from a designated arterial and equipped with rigid skirting on all sides. Any towing gear shall be removed, and if not removable, shall be screened from a designated arterial.

Response: Acknowledged.

On behalf of the Applicant, 1501 Florida Mango LLC, Schmidt Nichols respectfully requests your approval of this Special Exception Use Major Site Plan Amendment application.

For Staff Use Only

City of Riviera Beach Community Development Department 600 W. Blue Heron Boulevard Riviera Beach, Florida 33404 Phone: (561) 845-4060 Fax : (561) 845-4038	Date:	Case Number: SP-19-02 / SE-19-01
	Project Title: JDA Industrial	
	Fee Paid:	Notices Mailed:
	1st Hearing:	2nd Hearing:
	Publication Dates (if required)	

UNIFORM LAND USE APPLICATION

*(Please attach separate sheet of paper for required additional information)
 Complete appropriate sections of Application and sign.*

APPLICANT	Name of Property Owner(s): Stephen A. MacDonald
	Mailing Address: 335 53rd Drive North, West Palm Beach, FL 33415
	Property Address: 1301 President Barack Obama Highway, Riviera Beach, Florida 33404
	Name of Applicant (if other than owner): N/A
	Home: () Work: () Fax: ()
	E-mail Address: contact agent

PLEASE ATTACH LEGAL DESCRIPTION

PROPERTY	Future Land Use Map Designation: IND Current Zoning Classification: IG
	Square footage of site: 314,967 s.f. Property Control Number (PCN): 56-43-42-33-00-000-3010
	Type and gross area of any existing non residential uses on site: Vacant
	Gross area of any proposed structure: Proposed 120,282 s.f. warehouse and storage building
	Is there a current or recent use of the property that is/was in violation of City Ordinance? [] Yes [<input checked="" type="checkbox"/>] No
	If yes, please describe: N/A
	Have there been any land use applications concerning all or part of this property in the last 18 months? [] Yes [<input checked="" type="checkbox"/>] No
	If yes, indicate date, nature and applicant's name:
	Briefly describe use of adjoining property: North: Warehouse/ Distribution
	South: Warehouse/ Distribution / Light Manufacturing/W 13th Street ROW
East: Downtown General (within CRA), President Barack Obama Highway ROW	
West: Vacant Industrial	

REZONE	Requested Zoning Classification:
	Is the requested zoning classification contiguous with existing?
	Is a Special Exception necessary for your intended use? [] Yes [] No
	Is a Variance necessary for your intended use? [] Yes [] No

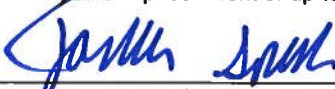
FUTURE LAND USE	Existing Use:	Proposed Use:
	Land Use Designation:	Requested Land Use:
	Adjacent Land Uses: North:	South:
	East:	West:
	Size of Property Requesting Land Use Change:	

SPECIAL EXCEPTION	Describe the intended use requiring a Special Exception:
	Provide specific LDR ordinance section number and page number:
	How does intended use meet the standards in the Land Development Code?
	Demonstrate that proposed location and site is appropriate for requested use:
	Demonstrate how site and proposed building(s) have been designed so they are compatible with adjacent uses and neighborhoods:
	Demonstrate any landscaping techniques to visually screen use from adjacent uses:
	Demonstrate what is proposed to reduce the impact of any potential hazards, problems, public nuisances generated by use:
	Demonstrate how utilities and other service requirements of the use can be met:
	Demonstrate how the impact of traffic generated will be handled:
	On-site:
Off-Site:	
Other:	

VARIANCE	Describe the Variance sought:
	Demonstrate that the Variance is needed to overcome a hardship caused by the unique physical conditions of the site:
	Specify the minimum Variance requirements including: height, lot area, size of structure, size of yard, setback, buffer or open space:
	Other:

SITE PLAN	Describe proposed development: Proposed 120,282 s.f. warehouse and storage building
	Demonstrate that proposed use is appropriate to site: See Justification Statement.
	Demonstrate how drainage and paving requirement will be met: See Justification Statement and conceptual paving and drainage plans for details.
	Demonstrate any landscaping techniques to visually screen use from adjacent uses: See Justification Statement and Landscape Plans for details.
	Demonstrate what is proposed to reduce the impact of any potential hazards, problems, public nuisances generated by use: See Justification Statement.
	Demonstrate how utilities and other service requirements of the use can be met: See Justification Statement and Civil Plans for details.
	Demonstrate how the impact of traffic generated will be handled: On-site: Off-site:

OTHER	<u>COMMUNICATION TOWER CO-LOCATION REQUIREMENTS:</u>
	<ul style="list-style-type: none"> • Three sets of signed and sealed Construction documents, elevations and all equipment shelters, cabinets, Coax, telephone and power conduits identified. These plans will then be used to obtain the Building Permit. • Antenna manufacture cut sheets including antenna size and shape. • Zoning map of area with site clearly marked. • Photos of existing building or tower and surrounding uses. • Letter of non-interference and FCC compliance from applicant's Radio Frequency Professional. • Map of surrounding carrier existing locations in all directions with type i.e. Guyed, Self-Support, Monopole, Rooftop. • Letter of structural capacity and building code compliance. • Notes on plan or letter demonstrating floor area coverage not in excess of restrictions • Provide Photo Enhancements of proposal. • Statement that proposal is in compliance with Environmental Regulations prior to permit issue.

Confirmation of Information Accuracy	
<p>I hereby certify that the information on this application is correct. The information included in this application is for use by the City of Riviera Beach in processing my request. False or misleading information may be punishable by a fine of up to five hundred dollars (\$500.00) and imprisonment of up to thirty (30) days and may result in the summary denial of this application.</p>	
 _____ Signature	03.14.19 _____ Date

AGENT AUTHORIZATION FORM

Owner(s) of Record: 1501 Florida Mango LLC

335 53rd Drive North

West Palm Beach, FL 33415

STATE OF FLORIDA

COUNTY OF PALM BEACH

BEFORE ME, the undersigned authority personally appeared Stephen A. MacDonald Trustee

who, being first duly sworn upon oath and personal knowledge say(s) that they are the owner(s) of record of the following described real property:

See attached Legal Description

the street address of which is: 1301 President Barack Obama Highway, Riviera Beach, FL 33404

and that we hereby appoint:

Name: Josh Nichols, Schmidt Nichols

Address: 1551 N Flagler Drive, Suite 102

West Palm Beach, FL 33401

Telephone: (561) 684-6141

as our authorized agent, to file applications and papers with the City of Riviera Beach, and to represent me (us) at any Hearing regarding my (our) interest.

[Signature] (Seal)

____ (Seal)

____ (Seal)

Sworn to and subscribed before me this 27 day of November, 2018.

[Signature]
Notary Public



December 13, 2018

Mr. Quazi Bari, P.E.
Palm Beach County Traffic Division
2300 North Jog Road, 3rd Floor
West Palm Beach, FL 33411-3745

Re: 1301 President Barack Obama Highway - #PTC18-123

Dear Mr. Bari:

The purpose of this letter is to provide a traffic statement for the above referenced project to determine if the proposed development meets the requirements of Article 12, Traffic Performance Standards, of the Palm Beach County Unified Land Development Code (ULDC).

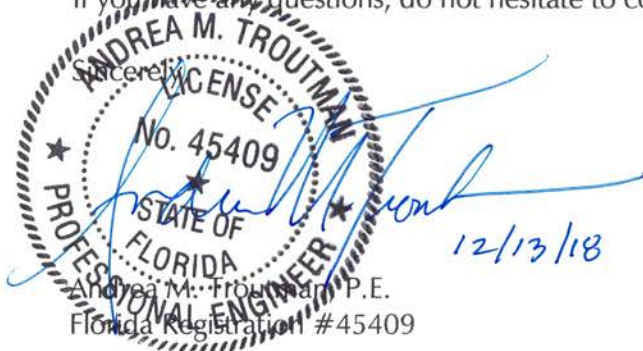
The applicant wishes to develop a 120,636 SF warehouse on a vacant site located on the northwest corner of West 13th Street and President Barack Obama Highway (Old Dixie Highway) in the City of Riviera Beach, as shown on Attachment 1. The site had a previous traffic concurrency approval in 2016 (EZ Weld). The buildout of the proposed development is projected to be 2021. The Property Control Number (PCN) is: 56-43-42-33-00-000-3010.

Attachments 2A and 2B provide the daily, AM and PM peak hour trip generation for the proposed use. Based on the net peak hour trip generation of 35 PM peak hour trips, the radius of development influence is one-half (1/2) mile. The trip distribution is provided on Attachment 3A and was based on the previously approved traffic study (PBC TPS Database). The AM and PM peak hour directional trip assignments are shown on Attachment 3B. The maximum percent impact on the study area roadways is 0.99% as shown on Attachment 3B. The project impact is below 1% of the adopted LOS D service volume and does not significantly impact any roadway links or intersections, therefore the requirements of Test 1 are met. The project does not have any Test 2 impacts. Therefore, the proposed project is in compliance with the Countywide Traffic Performance Standards.

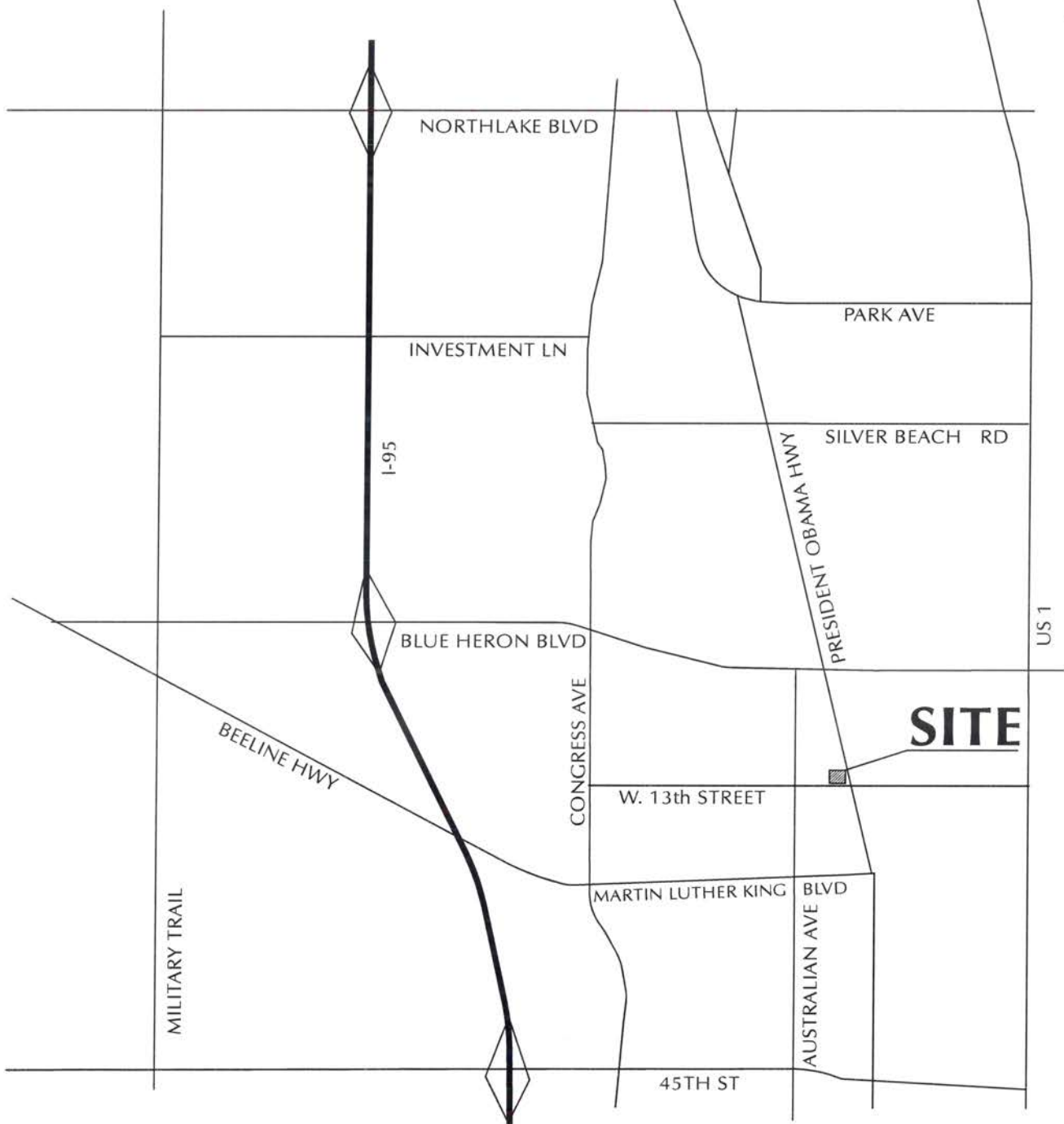
Driveway volumes are provided on Attachment 4.

If you have any questions, do not hesitate to contact this office.

Sincerely,


Andrea M. Troutman, P.E.
Florida Registration #45409

Attachments



12/13/18
18-123

1301 PRESIDENT BARACK
OBAMA HIGHWAY

ATTACHMENT 1
PROJECT LOCATION

PTC

Attachment 2A
1301 President Barack Obama Highway
Daily Trip Generation

12/10/2018
 Tripgen & Assign 18-123 12-10-18

Proposed

Land Use	ITE Code	Intensity	Trip Generation Rate (1)	Total Trips	Pass-by Trips(1)	New Trips
Warehouse	150	120,636 SF	3.56 / 1,000 SF	429	43	386
TOTAL		120,636 SF		429	43	386

(1) Source: Palm Beach County and ITE Trip Generation, 9th Edition.

Attachment 2B
1301 President Barack Obama Highway
Peak Hour Trip Generation

12/10/2018
 Tripgen & Assign 18-123 12-10-18

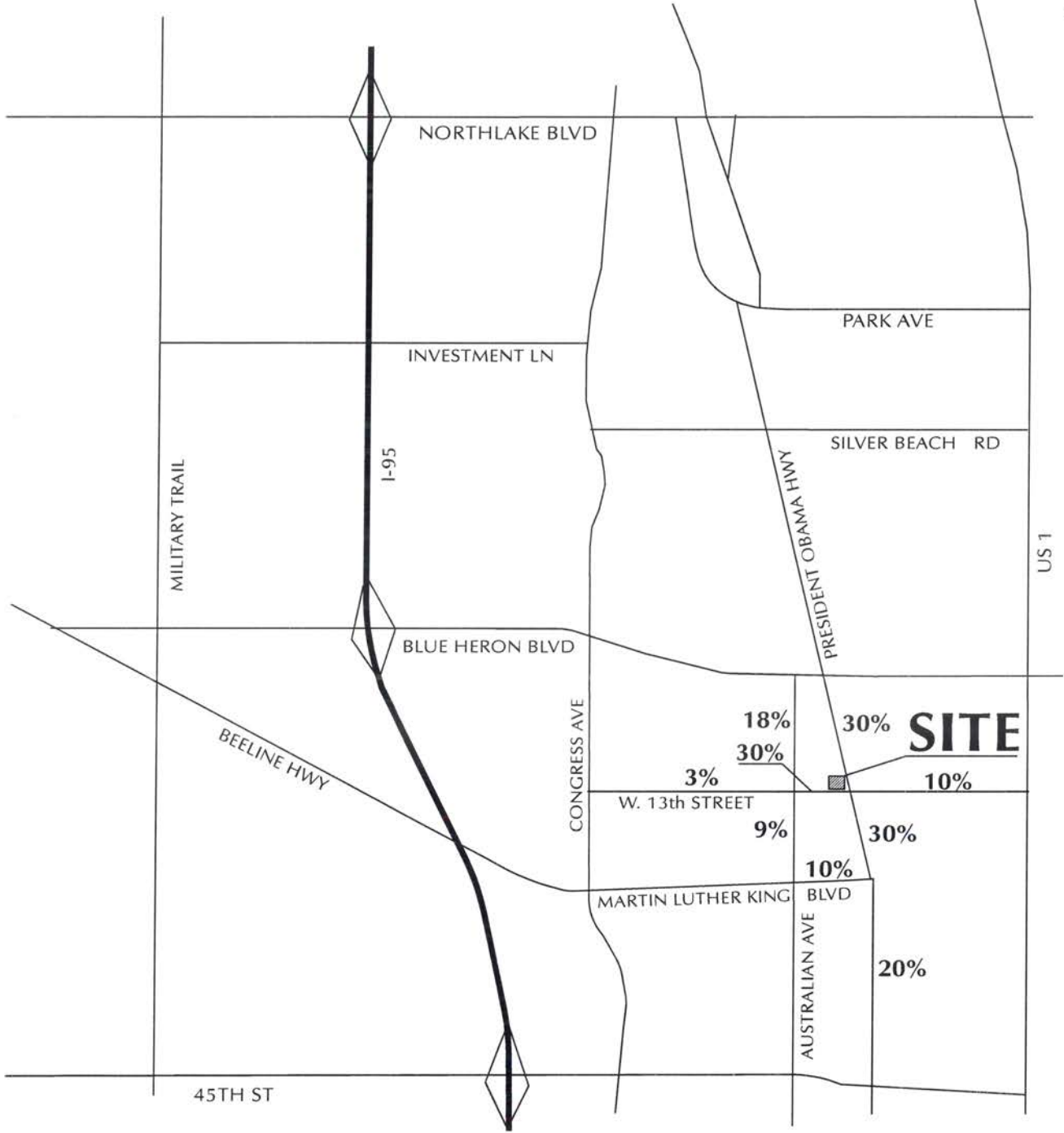
Proposed AM Peak

Land Use	ITE Code	Intensity	Trip Generation Rate (1)	Total Trips			Pass-by Trips (1)		New Trips		
				In	Out	Total			In	Out	Total
Warehouse	150	120,636 SF	0.3 /1,000 SF (79/21)	28	8	36	4	10%	25	7	32
TOTAL		120,636 SF		28	8	36	4		25	7	32

Proposed PM Peak

Land Use	ITE Code	Intensity	Trip Generation Rate (1)	Total Trips			Pass-by Trips (1)	New Trips			
				In	Out	Total		In	Out	Total	
Warehouse	150	120,636 SF	0.32 /1,000 SF (25/75)	10	29	39	4	10%	9	26	35
TOTAL		120,636 SF		10	29	39	4		9	26	35

(1) Source: Palm Beach County and ITE Trip Generation, 9th Edition.



12/13/18
18-123

1301 PRESIDENT BARACK
OBAMA HIGHWAY

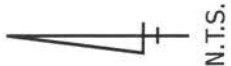
ATTACHMENT 3A
PROJECT TRAFFIC DISTRIBUTION

PTC

Attachment 3B
 1301 President Barack Obama Highway
 Project Traffic Assignment

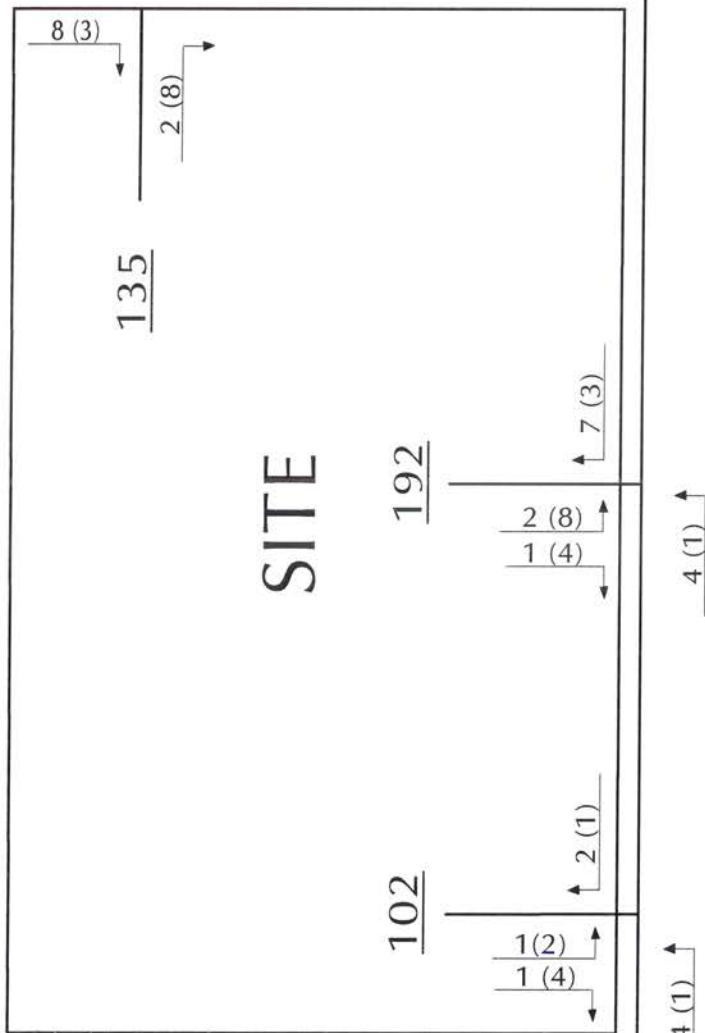
Roadway	Link	Existing Lanes	Road Class	Dir.	AM Peak Hour				Total Project Impact	LOS D Service Volume	Signif. Impact?
					25 7	Inbound	Outbound	Peak Hour Directional Trips			
Old Dixie Hwy/President Barack Obama Highway	Blue Heron Boulevard to Site	4LD	I	NB		30%		2	0.10%	1960	No
	Blue Heron Boulevard to Site	4LD	I	SB		30%		8	0.41%	1960	No
	Site to W. 13th Street	4LD	I	NB		30%		8	0.41%	1960	No
	Site to W. 13th Street	4LD	I	SB		30%		2	0.10%	1960	No
	W. 13th Street to Dr. Martin Luther King Blvd	4LD	II	NB		30%		8	0.45%	1770	No
Australian Avenue	W. 13th Street to Dr. Martin Luther King Blvd	4LD	I	SB		30%		2	0.11%	1770	No
	Dr. Martin Luther King Blvd to 45th Street	5L	I	NB		20%		5	0.26%	1960	No
	Dr. Martin Luther King Blvd to 45th Street	5L	I	SB		20%		1	0.05%	1960	No
	Blue Heron Boulevard to W.13th Street	4LD	II	NB		18%		1	0.06%	1770	No
	Blue Heron Boulevard to W.13th Street	4LD	II	SB		18%		5	0.28%	1770	No
Dr. Martin Luther King Blvd	W. 13th Street to Dr. Martin Luther King Blvd	4LD	II	NB		9%		2	0.11%	1770	No
	W. 13th Street to Dr. Martin Luther King Blvd	4LD	II	SB		9%		1	0.06%	1770	No
	Australian Avenue to Old Dixie Highway	4LD	II	EB		10%		3	0.17%	1770	No
	Australian Avenue to Old Dixie Highway	4LD	II	WB		10%		1	0.06%	1770	No
	Australian Avenue to Old Dixie Highway	3L	II	EB		30%		8	0.99%	810	No
West 13th Street	Australian Avenue to Old Dixie Highway	3L	II	WB		30%		2	0.25%	810	No
	Old Dixie Highway to Broadway	4L	II	EB		10%		1	0.06%	1680	No
	Old Dixie Highway to Broadway	4L	II	WB		10%		3	0.18%	1680	No

Roadway	Link	Existing Lanes	Road Class	Dir.	PM Peak Hour				Total Project Impact	LOS D Service Volume	Signif. Impact?
					9 26	Inbound Outbound % Dist	Peak Hour Directional Trips				
Old Dixie Hwy/President Barack Obama Highway	Blue Heron Boulevard to Site	4LD	I	NB		30%		8	0.41%	1960	No
	Blue Heron Boulevard to Site	4LD	I	SB		30%		3	0.15%	1960	No
	Site to W. 13th Street	4LD	I	NB		30%		3	0.15%	1960	No
	Site to W. 13th Street	4LD	I	SB		30%		8	0.41%	1960	No
	W. 13th Street to Dr. Martin Luther King Blvd	4LD	II	NB		30%		3	0.17%	1770	No
Australian Avenue	W. 13th Street to Dr. Martin Luther King Blvd	4LD	II	SB		30%		8	0.45%	1770	No
	Dr. Martin Luther King Blvd to 45th Street	5L	I	NB		20%		2	0.10%	1960	No
	Dr. Martin Luther King Blvd to 45th Street	5L	I	SB		20%		5	0.26%	1960	No
	Blue Heron Boulevard to W.13th Street	4LD	II	NB		18%		5	0.28%	1770	No
	Blue Heron Boulevard to W.13th Street	4LD	II	SB		18%		2	0.11%	1770	No
Martin Luther King Blvd	W. 13th Street to Dr. Martin Luther King Blvd	4LD	II	NB		9%		1	0.06%	1770	No
	W. 13th Street to Dr. Martin Luther King Blvd	4LD	II	SB		9%		2	0.11%	1770	No
	Australian Avenue to Old Dixie Highway	4LD	II	EB		10%		1	0.06%	1770	No
	Australian Avenue to Old Dixie Highway	4LD	II	WB		10%		3	0.17%	1770	No
	Australian Avenue to Old Dixie Highway	3L	II	EB		30%		3	0.37%	810	No
West 13 Street	Australian Avenue to Old Dixie Highway	3L	II	WB		30%		8	0.99%	810	No
	Old Dixie Highway to Broadway	4L	II	EB		10%		3	0.18%	1680	No
	Old Dixie Highway to Broadway	4L	II	WB		10%		1	0.06%	1680	No



PRESIDENT BARACK OBAMA HIGHWAY

WEST 13TH STREET



LEGEND

13 - AM PEAK HOUR
(12) - PM PEAK HOUR
130 - DAILY

12/13/18
18-123

PTC

ATTACHMENT 4
PROJECT DRIVEWAY VOLUMES

1301 PRESIDENT BARACK
OBAMA HIGHWAY



**Department of Engineering
and Public Works**

P.O. Box 21229
West Palm Beach, FL 33416-1229
(561) 684-4000
FAX: (561) 684-4050
www.pbcgov.com



**Palm Beach County
Board of County
Commissioners**

Mack Bernard, Mayor
Dave Kerner, Vice Mayor
Hal R. Valeche
Gregg K. Weiss
Robert S. Weinroth
Mary Lou Berger
Melissa McKinlay

County Administrator

Verdenia C. Baker

February 4, 2019

Andrea M. Troutman, P.E.
Pinder Troutman Consulting, Inc.
2005 Vista Parkway, Suite 111
West Palm Beach, Florida 33411

**RE: JDA Industrial
Project #: 190104 (previously 160104)
Traffic Performance Standards Review**

Dear Ms. Troutman:

The Palm Beach County Traffic Division has reviewed the **JDA Industrial** Traffic Impact Statement dated January 16, 2019, pursuant to the Traffic Performance Standards in Article 12 of the Palm Beach County Unified Land Development Code (ULDC). The project is summarized as follows:

Municipality:	City of Rivera Beach
Location:	NWC of President Barack Obama Hwy and W 13 th Street
PCN:	56-43-42-33-00-000-3010
Access:	Two full access driveway connections onto W 13 th Street and one right-in/right-out access driveway connection onto President Barack Obama Hwy (existing or proposed, not necessarily implies approval by County through this TPS letter, see later)
Existing Uses:	Vacant
Proposed Uses:	Warehouse = 120,282 SF
New Daily Trips:	385
New Peak Hour Trips:	32 (25/7) AM; 34 (9/25) PM
Build-out:	December 31, 2021

Based on our review, the Traffic Division has determined the proposed development meets the Traffic Performance Standards of Palm Beach County. However, the following comments are being provided on the site plan submitted:

1. Per PBC Thoroughfare Map, President Obama Hwy is a 110 foot ROW section and W 13th Street is a 108 foot ROW section. Please coordinate ROW dedication requirements with PBC Roadway Production.
2. Intersection of two thoroughfare roads requires 40 foot ROW corner clip dedication.
3. Proposed driveway on President Obama Hwy is too wide per PBC standards.

"An Equal Opportunity
Affirmative Action Employer"



printed on sustainable
and recycled paper



Andrea M. Troutman, P.E.

February 4, 2019

Page 2

4. Proposed gated ingress driveway on President Obama Hwy does not comply with PBC standards.
5. Confirm 245 foot separation distance between proposed driveway and existing driveway to the north.
6. Driveway should intersect within 10 degrees of 90 degrees.

If you have any questions regarding this determination, please contact Bogdan Piorkowski or me at 561-684-4030.

Sincerely,

A handwritten signature in blue ink that reads "Quazi Bari".

Quazi Bari, P.E.
Senior Professional Engineer
Traffic Division

QB:HA/dd

cc: Addressee:

Mr. Jeff Gagnon, Planning & Zoning Administrator, City of Rivera Beach
Hanane Akif, E.I., Project Coordinator II, Traffic Division
Steve Bohovsky, Technical Assistant III, Traffic Division
Bogdan Piorkowski, P.E., Sr. Prof. Engineer, Traffic Division

File: General - TPS - Mun - Traffic Study Review

F:\TRAFFIC\HA\MUNICIPALITIES\COMMENTS\2019\190104 - JDA INDUSTRIAL.DOCX



CITY OF RIVIERA BEACH

600 WEST BLUE HERON BLVD. • RIVIERA BEACH, FLORIDA 33404
PHONE (561) 845-4060 FAX (561) 845-4038

DEVELOPMENT SERVICES DEPARTMENT

March 1, 2019

April 1, 2019

Sent by email: jsperling@snlandplan.com

Attn: Jordan Sperling, Agent
1551 N Flagler Drive, Suite 102
West Palm Beach, FL 33401

Re: City Staff Review of Site Plan and Special Exception Application for JDA Industrial (SP-19-02 / SE-19-01).

Questions and comments generated from City staff review of the Site Plan application for JDA Industrial Site Plan and Special Exception proposal at address 1301 President Barack Obama High Way, associated with Parcel Control No. 56-43-42-33-00-000-3010, has been attached.

Please be advised that it is the responsibility of the agent to follow up with all applicable reviewing agencies / departments prior to resubmittal and ensure that all comments are satisfied.

Police Department (561-845-4123): ~~See attached.~~ Pending.

Fire (561-845-4137): See attached.

Utility District (561-845-4185): ~~See attached.~~ Pending.

Public Works / Engineer (561-845-4080): ~~See attached.~~ Pending.

Building (561-845-4020): ~~See attached.~~ Pending.

Planning and Zoning (561-845-4060):

Application:

1. Revise to reflect application no. SP-19-02 / SE-19-01. **RESOLVED.**
2. ~~A plat amendment may be required to reflect dry detention area prior to CO.~~
Deferred to Engineering.

PSP-2:

3. Revise the Monument sign detail for the entire sign to not exceed 42 SF. (From base to sign area)

PSP-1:

4. Revise to reflect application no. SP-19-02 / SE-19-01. **RESOLVED.**
5. Under the site data, the proposed use must reflect the use as identified in the IG Zoning District "Warehouse and Storage". **RESOLVED.**
6. Provide the square footage for all foundation plantings. **RESOLVED.**
7. Dimension access points to the building. **RESOLVED.**
8. ~~Is there any accessory office space associated with the warehouse space? If so, it must be delineated and adequate parking must be provided as appropriate.~~ **OUTSTANDING ISSUE. N/A (No Office Space Proposed)**
9. Provide dumpster enclosure typical details and enclosure must comply with Landscape code. Provide a letter from Waste Management approving the provided dumpster, since on dumpster may not be sufficient for the proposed property. **OUTSTANDING ISSUE.**
10. All bay doors must be identified and dimensioned as appropriate. The site plan indicate a total of 30 bays, however only two bay doors identified. **OUTSTANDING ISSUE. RESOLVED.**
11. Please identify all loading areas as appropriate. Loading spaces must be 12X30 feet with a maneuvering apron of 30 feet. **RESOLVED.**
12. Provide all wheel stops on the plan to be consistent with provided typical. (Landscape Sec.31-610,c) **OUTSTANDING ISSUE.**
13. Provide breakdown for loading spaces under the site Data. **RESOLVED.**
14. Dimension the distance and identify the ultimate ROW for all abutting roads. Pending Engineering response to FDOT. **OUTSTANDING ISSUE.**
15. Delineate safe site visibility triangle at all ingress and egress point. **RESOLVED.**
16. ~~Dimension the median at the eastern ingress/egress point.~~ **OUTSTANDING ISSUE**
17. Provide the depth of the dry-detention area. (Cross section may be helpful) **RESOLVED.**
18. Dimension all terminal landscape islands and interior islands that are not typical. Islands must comply with code section (Landscape Sec.31-610) **OUTSTANDING ISSUE.**
19. Delineate structures within 100 feet of the property. **RESOLVED.**
20. Delineate all future / proposed signage on the plan. **RESOLVED.**
21. ~~Revise the truck parking area to have a landscape island as the total spaces provided are beyond 10 spaces. (Landscape Sec.31-610)~~ **OUTSTANDING ISSUE**
22. ~~Dimension truck spaces width.~~ **OUTSTANDING ISSUE**
23. As discussed during the pre-application meeting, the proposed ingress at the eastern portion of the property conflicts with code Sec.31-62(a). Thus, revise to either reflects only egress, or provide at least 150 feet of stacking from the property line to the proposed gate. **OUTSTANDING ISSUE RESOLVED.**
24. Delineate Bays as appropriate. **OUTSTANDING ISSUE**

25. Label the proposed height on the site plan (on building layout) and under the site data.
26. A minimum of 15 feet ROW Landscape buffer is required along the eastern property line, per Code Sec.31-551.
27. Remove the alternative parking from the site plan.
28. Remove the office use square footage and parking calculation under the site data.
29. Any office spaces proposed in the future must be able to meet parking requirements for offices.
30. Chain Link fencing is not allowed along PBOH (decorative aluminum fencing or similar is required). Thus, revise the site plan accordingly.
31. Revise indication of number of bays to say Number of Bay Doors.

Narrative:

32. Revise the last sentence of the first for conflicts with permitted uses in the IG Zoning District. Office is not a permitted use in the IG; thus, no future office will be allowed as a primary use. **OUTSTANDING ISSUE. RESOLVED.**
33. Under site design and layout: Revise for the use to be consistent with uses identified in the IG for all adjacent properties. **RESOLVED.**
34. Under site design layout: Please revise to reflect the correct section of the IG Zoning District for property development standards (Sec.31-383). **RESOLVED.**
35. Provide responses to the Special Exception criteria. **RESOLVED.**
36. Revise narrative discussing faux windows. **RESOLVED.**
37. Remove any reference of accessory office from the site plan and Justification as applicable. **RESOLVED.**
38. Revise the Justification Statement Description of Request & Parking section to delete any reference regarding exceeding 30% accessory office per bay. Paragraphs should only reference the alternative parking provided will only accommodate a maximum total of 4,800 SF. If it was to be implemented. **OUTSTANDING ISSUE**

PSP-1 / Application / Narrative:

39. Future Land Use must only be identified as Industrial: thus, delete the (I) wherever applicable. **RESOLVED.**
40. Please revise for warehouse and storage use, the code does not address any flex space. **RESOLVED.**
41. Please provide building floor plans. **OUTSTANDING ISSUE**
42. Submit revise elevations that provide additional architectural features and color scheme for the building façade fronting both Arterial roads (President Barack Obama Hwy & W 13th Street). **(PENDING)**

Landscape:

- 43. Please revise LP-6 landscape requirements table for provided shade trees and accent trees. Tree types must be consistent with Code Sec.31-621, Appendix-B. Thus, provided shade trees and accent trees must meet the minimum required amount. **OUTSTANDING ISSUE**
- 44. A minimum of 6 species of shade trees is required. Thus, revise landscape accordingly. (Code Sec.31-605) **OUTSTANDING ISSUE**
- 45. Please provide an irrigation plan to be consistent with Code Sec.31-602. **RESOLVED.**
- 46. Please identify a minimum of eight (8) feet of Clear Trunk for the provided Palm Trees under the Plant List table (LP-6). **RESOLVED.**
- 47. Please revise the total number of Proposed Palm Trees provided. The landscape requirement chart says 8 however the landscape plan and plant list indicate 35. (maximum 42)
- 48. A minimum of 15 feet ROW Landscape Buffer is required along President Barack Obama Highway pursuant to the Principle Arterial Overlay.

Comment: Please be advised that additional comments may be applicable as a result of revised documents and plans.

Please provide a written response to all questions and comments. If the response to a comment results in changes to documents or plans, please provide details within the written response explaining the change(s) made. For the resubmittal please provide hard copies and a digital copy of all documents provided in a CD (all documents must be in PDF or DWG format). Feel free to contact us with questions or comments; (561) 845-4021, or jleger@rivierabch.com

Josue Leger, Senior Planner/ GIS Specialist
C: Jeff Gagnon, AICP Interim Development Services Director

POLICE DEPARTMENT

INTER-DEPARTMENTAL COMMUNICATION

To: Josue Leger
From: Steven Thomas, Major of Police
Date: January 28, 2019
Re: 13th And PBO (SP-19-01)

The Riviera Beach Police Department makes the following recommendations on the above captioned Site Plan:

1. It is strongly recommended that graffiti-resistant paints/coatings be utilized on the walls and/or fences that surround the property.
2. We encourage the use of preventative landscaping and low ground cover to prevent loitering and graffiti.
3. IP Based video surveillance is suggested for the interior and exterior of building.
 - a. Ensure that the local staff can re-play video on-site and produce copies.
4. Numerical Address shall be placed at this locations before final approval.
 - a. Address shall be illuminated for nighttime visibility
 - b. Address shall not be obstructed by any landscaping
5. Perimeter lighting shall be provided.
6. Landscaping shall be maintained according to the approved site plan.
7. Contractor shall obtain an alarm permit for all units from the City and provide the contact information for the alarm company via the Police Department Alarm Coordinator's web site: <https://www.crywolf.us/oss/rivierabeachfl/>
8. All glazed areas should be impact resistant.

The Police Department requests these items in order to maintain and monitor this location and the City's development standards at this site in the future.

CC: Michael Madden, Chief of Police
Spencer Rozier, Assistant Chief

Leger, Josue

From: Hughes, Tom
Sent: Wednesday, April 3, 2019 3:17 PM
To: Leger, Josue
Subject: RE: SE-19-01 / SP-19-02 - JDA Industrial (1301 President Barack Obama Hwy) 56-43-42-33-00-000-3010 (Resubmittal - 3-28-2019)

Hello Josue,

Fire Rescue Comments All Construction and installation shall come into compliance with FLORIDA FIRE PREVENTION CODE 6TH EDITION and CITY OF RIVIERA BEACH ORDINANCES.

From: Leger, Josue
Sent: Thursday, March 28, 2019 5:28 PM
To: March, Ladi; Hughes, Tom; Frank Stallworth (Fire Dept.); Walker, Leighton C; Bailey, Terrence; Thomas, Steven
Cc: Gagnon, Jeff
Subject: SE-19-01 / SP-19-02 - JDA Industrial (1301 President Barack Obama Hwy) 56-43-42-33-00-000-3010 (Resubmittal - 3-28-2019)

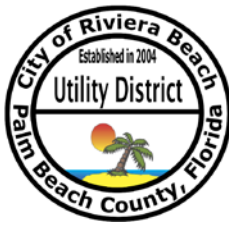
Good afternoon All,

Attached Please find the re-submittal (revised documents to initial comments) for the above mentioned Site Plan & Special Exception Application. Also, a physical copy will be provided to each of you. Staff will be discussing outstanding comments during our meeting tomorrow.

For any question please advise.

Thank you,

Josue Leger, Senior Planner/ GIS Specialist | jleger@RivieraBch.com | Direct: (561) 845-4021 | Main: (561) 845-4060 | City of Riviera Beach, FL 33404 | www.rivierabch.com "This message may contain confidential and/or proprietary information and is intended for the person/entity to which it was originally addressed. Any use by others is strictly prohibited."



MEMORANDUM

To: **Josue Leger, Senior Planner**
From: **Leighton Walker, Utilities Engineer**
Date: **March 1, 2019**
Re: **SE-19-01 JDA Industrial (1301 President Barack Obama Hwy) 56-43-42-33-00-000-3010**

Utility District **Disapproves** the site plan based on the following comments:

1. All connections for water service lines to the property shall be metered.
2. The USD may require replacement or rehabilitation of the existing manhole (MH) on sheet C3.1 where the proposed gravity sewer system is depicted as connecting to. This determination will be made upon field inspection of the condition of the MH.
3. On sheet C3.1 show a sanitary cleanout on the property at the property line

Information for construction drawings:

1. Construction drawings shall include standard details for proposed sewer and water utility connections.
2. Any water and/or sewer connections shall be coordinated and supervised by Utility District personnel. A minimum of 72 hours notice is required for connections.
3. Construction drawings shall include potable water and sewer use calculations in accordance with the City of Riviera Beach Code of Ordinances (Sec. 31-716).
4. The contractor shall field verify the exact locations and depths of utility lines. The City of Riviera Beach Utility District assumes no responsibility for any potential conflicts.

LCW

MEMORANDUM

TO: Josue Leger, Senior Planner

FROM: Terrence N. Bailey, PE, Interim Public Works Director

DATE: January 29, 2019

RE: JDA Industrial - Site Plan Approval, SP-19-01

Public Works and Engineering have reviewed the construction plan submittal and have the following comments:

Comments remaining from the Site Plan submittal:

1. The 25yr-3day and 100yr-3day flood elevations must be added to the site plan and civil plan. In addition per SFWMD a berm should be around the property at the 25yr berm elevation.
2. Please provide a copy of the FDOT driveway permit for the access point at the northeast corner of the property.
3. Coordinate with Steve Alexander (561-841-4846) of Palm Tran on the location of a 10'x30' bus stop easement.
4. Verify with Palm Beach County Traffic that a corner clip is not required at 13th street, it appears from the survey that signal components are outside the right of way.

Comments from the Engineering Plan submittal:

1. Connect the drainage outfall to the structure west of the main entrance. In addition, the drainage network along the western portion of the property is not connected to the outfall.
2. The northwest corner of the property does not have a defined drainage pattern.
3. The driveway apron along 13th street should be a minimum of 6" concrete with the City right of way. Based on truck patterns and anticipated loads, the concrete may need to be thicker than 6".
4. The open cut of 13th street for watermain connection will require utilization of the 13th street asphalt section (12" stabilized subgrade LBR 40, 10" limerock base LBR 100, 1.5"SI/1"SIII)
5. Please depict the existing trees along 13th street on the survey, site plan, civil drawings, and landscape plan.

Leger, Josue

From: March, Ladi
Sent: Tuesday, February 5, 2019 10:02 AM
To: Leger, Josue; Walker, Leighton C; Bailey, Terrence
Cc: Gagnon, Jeff
Subject: RE: SE-19-01 / SP-19-02 - JDA Industrial (1301 President Barack Obama Hwy) 56-43-42-33-00-000-3010

Follow Up Flag: Follow up
Flag Status: Flagged

Good Morning,

All under A/C square foot calculations need to be clearly called on the plan.
Any applicable impact fee calculations will need to be vetted through Palm Beach County- Jog Rd. locations
Digital file submission preferred for initial plan review. Hard copies (post corrections) for final submittal can be submitted for stamping and distribution once approved

Codes to be designed to current building codes
Valuation for job shall not be understated. See city ordinance as to how valuation is determined by this object. Additional comments may generate once permit application and plan specifications have been received.

Ladi A. March-Goldwire
Certified Building Official, BU2021
600 W Blue Heron Blvd.
Riviera Beach, FL 33404
Phone: (561) 845-4008 (561) 568-7323 mobile
lmarch@rivierabch.com



From: Leger, Josue
Sent: Tuesday, February 05, 2019 9:15 AM
To: March, Ladi <lmarch@Rivierabch.com>; Walker, Leighton C <Lcwalker@Rivierabch.com>; Bailey, Terrence <TBailey@Rivierabch.com>
Cc: Gagnon, Jeff <Jgagnon@Rivierabch.com>
Subject: FW: SE-19-01 / SP-19-02 - JDA Industrial (1301 President Barack Obama Hwy) 56-43-42-33-00-000-3010

Good morning All,

Just a friendly reminder: Comments are due tomorrow Wednesday, February 6th for the above mentioned Special exception & Site Plan Application (SE-19-01 / SP-19-02).

Thank you.

Josue Leger, Senior Planner/ GIS Specialist | jleger@RivieraBch.com | Direct: (561) 845-4021 | Main: (561) 845-4060 | City of Riviera Beach, FL 33404 | www.rivierabch.com "This message may contain confidential and/or proprietary information and is intended for the person/entity to which it was originally addressed. Any use by others is strictly prohibited."

From: Leger, Josue
Sent: Wednesday, January 16, 2019 1:19 PM
To: March, Ladi <lmarch@Rivierabch.com>; Frank Stallworth (Fire Dept.) <fstallworth42@gmail.com>; Hughes, Tom <THughes@Rivierabch.com>; Thomas, Steven (ssthomas@Rivierabch.com) <ssthomas@Rivierabch.com>; Walker, Leighton C <Lcwalker@Rivierabch.com>; Terrence Bailey (TBailey@Rivierabch.com) <TBailey@Rivierabch.com>
Cc: Gagnon, Jeff <jgagnon@Rivierabch.com>; Weathers, Abbrella <aweathers@Rivierabch.com>
Subject: SE-19-01 - JDA Industrial (1301 President Barack Obama Hwy) 56-43-42-33-00-000-3010

Good afternoon All,

Attached Please find the submitted documents for the above mentioned Site Plan Application. Also, a physical copy has been sent via interoffice to each of you. Please review this application in your area of expertise and provide comments no later than February 6, 2019 by replying to this email.

For any question please advise.

Thank you,

Josue Leger, Senior Planner/ GIS Specialist | jleger@RivieraBch.com | Direct: (561) 845-4021 | Main: (561) 845-4060 | City of Riviera Beach, FL 33404 | www.rivierabch.com "This message may contain confidential and/or proprietary information and is intended for the person/entity to which it was originally addressed. Any use by others is strictly prohibited."

Board of Commissioners Agenda Item Report

Meeting Date: February 21, 2019

Submitted by: Karen Emery

Submitting Department: Executive Office

Item Type: Consent

Agenda Section: NEW BUSINESS

Subject:

Manatee Lagoon Signage

Background:

The Manatee Lagoon has requested permission to post signage and logos on the Port wall on the south side of the bridge. Please see the graphic on the monitors for your review and approval. If approved, Manatee Lagoon will then need to have the concept approved by the City of Riviera Beach before proceeding.

Financial Impact:

No

Financial Impact Details:

Additional Information Attached:

Yes

Action Taken

APPROVED 5-0 WMR/JLE

Suggested Action:

Motion to approve signage presented by Manatee Lagoon.

Attachments:

Port of Palm Beach Wall Graphic_v5.pdf



**TURN LEFT
AT 54TH ST.**

Then left on
N. Flagler Drive

MANATEE LAGOON

AN FPL ECO-DISCOVERY CENTER



PORT of
Palm Beach



VISIT MANATEE LAGOON



**TURN LEFT
AT 54TH ST.**

Then left on
N. Flagler Drive





ACCESS RD

WEST PALM

TURN LEFT
AT 54TH ST.
Then left on
N. Flagler Drive



MANATEE LAGOON

AN FPL SOLAR POWER CENTER



PORT of
Palm Beach



Broadway

Proposed
Mural
Location



Manatee
Lagoon
Building



59th St

58th St

1



**STAFF REPORT – CITY OF RIVIERA BEACH
SPECIAL PRESERVATION ZONING DISTRICT ORDINANCE
PLANNING AND ZONING BOARD – JANUARY 12, 2017**

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF RIVIERA BEACH, PALM BEACH COUNTY, FLORIDA, AMENDING CHAPTER 31 OF THE CITY'S CODE OF ORDINANCES ENTITLED "ZONING", ARTICLE 1, "IN GENERAL", SECTION 31-1 "DEFINITIONS" AND ARTICLE V, "DISTRICT REGULATIONS", BY CREATING DIVISION 27, ENTITLED "SPECIAL PRESERVATION DISTRICT" IN ORDER TO PROVIDE DEFINITIONS, LAND DEVELOPMENT AND USE REGULATIONS, AND PROPERTY DEVELOPMENT STANDARDS ASSOCIATED WITH THE CITY'S SPECIAL PRESERVATION FUTURE LAND USE DESIGNATION; PROVIDING FOR CONFLICTS, SEVERABILITY AND CODIFICATION; AND PROVIDING FOR AN EFFECTIVE DATE.

- A. Applicant:** City initiated process.
- B. Request:** To create a Special Preservation Zoning District associated with the City's existing Special Preservation Future Land Use Designation.
- C. Location:** Special Preservation Future Land Use areas (see attached location map).
- D. Background and Staff Analysis:** The City's Special Preservation Future Land Use Designation has existed for more than 10 years. This designation has been associated with areas located on the west side of North Ocean Drive on Singer Island in Riviera Beach. This area has been known to provide habitat for various flora and fauna, including, but not limited to, mangroves, seagrasses, manatees, sea turtles, and snook.
- The City's Comprehensive Plan describes this Special Preservation area as "Mangrove, wetlands and special estuarine bottomlands". The majority of this area is submerged; 29 parcels; +/- 150 total acres. Implementation of the Special Preservation Zoning District would be consistent with the City's Comprehensive Plan.
- E. Recommendation:** City staff recommends approval of the proposed ordinance language.

Proposed additions are underlined and deletions are shown in ~~striketrough~~ format:

Sec. 31-1. – Definitions.

* * *

Dredging: Means excavation, by any means, in or amongst waters or wetlands.

Estuary (estuarine): Means protected, nearshore waters, such as a lagoon, bay or similar.

Filling: Means the deposition, by any means, of materials in waters, wetlands or adjacent areas.

Mean low water line: means the average of the elevation of all low tides over the previous one year time period.

Wetlands: Means those areas that are inundated or saturated by surface water or groundwater at a frequency and a duration sufficient to support, and that under normal circumstances do support, a prevalence of vegetation typically adapted for life in saturated soil conditions. Wetlands include swamps, marshes, bogs, tidal basins, estuaries and similar areas, which are periodically inundated with fresh, salt or brackish water.

* * *

DIVISION 27. – SPECIAL PRESERVATION DISTRICT

Sec. 31-###. – Purpose and intent.

The Special Preservation (SP) District is intended to conserve, preserve and protect environmentally sensitive areas, including, but not limited to, wetlands and estuarine bottomlands, which are known to provide habitat for rare or significant vegetation and wildlife.

Sec. 31-###. – Use regulations.

(a) Uses permitted. The following uses are permitted in the Special Preservation District:

1. Private residential fishing or viewing platforms and docks for non-motorized boats may be permitted subject to the following regulations:
 - a. Platforms and docks shall not extend outward past the mean low water line;
 - b. Construction must be fully achievable from an on-shore location;

- c. Permits must be obtained from the Florida Department of Environmental Protection and all other applicable regulatory agencies, prior to issuance of City Building Permit.
- 2. Passive recreational activities, resulting in negligible site impacts.
- (b) Uses prohibited. The following uses are prohibited in the Special Preservation District:
 - 1. All uses other than uses permitted above.

Sec. 31-###. – Property development standards.

- (a) Minimum property size: 1 acre (43,560 square feet).
- (b) Minimum property width: 50 feet.
- (c) Minimum development setbacks:
 - 1. Front: 25 feet.
 - 2. Side: 7 ½ feet; 12 ½ feet corner lot.
 - 3. Rear: 15 percent of the length of the lot.
- (d) Wetland area buffer: A 10 foot native vegetation buffer shall be maintained and supported around all wetland areas to the greatest extent possible.



Subject Area



City Boundary



Parcels



Roads



Data and Map Disclaimer: The Data is provided as is without warranty or any representation of accuracy, timeliness or completeness. The burden for determining accuracy, completeness, timeliness, merchantability and fitness for or the appropriateness for use rests solely on the requester. The City of Riviera Beach and Palm Beach County make no warranties, expressed or implied, as to the use of the Data. There are no implied warranties of merchantability or fitness for a particular purpose. The requester acknowledges and accepts the limitations of the Data, including the fact that the Data is dynamic and is in a constant state of maintenance, correction, and update.

0 250 500 1,000 1,500 Feet



Location Map Special Preservation Area



MEMORANDUM

To: Planning and Zoning Board Members

From: Jeff Gagnon, AICP, Acting Director of Development Services

Date: April 11, 2019

Subject: Supplemental Information for April 11, 2019, Planning and Zoning Board Meeting, (SP-19-02/SE-19-01) 1301 President Barack Obama Highway, "JDA Project"

City staff has been working closely with the JDA Project Development Team in order to provide a comprehensive and expeditious plan review process. This project is supported by the Palm Beach County Business Development Board and is anticipated to provide 75 to 100 new jobs for the community, in addition to a construction investment of approximately \$14 to \$15 Million.

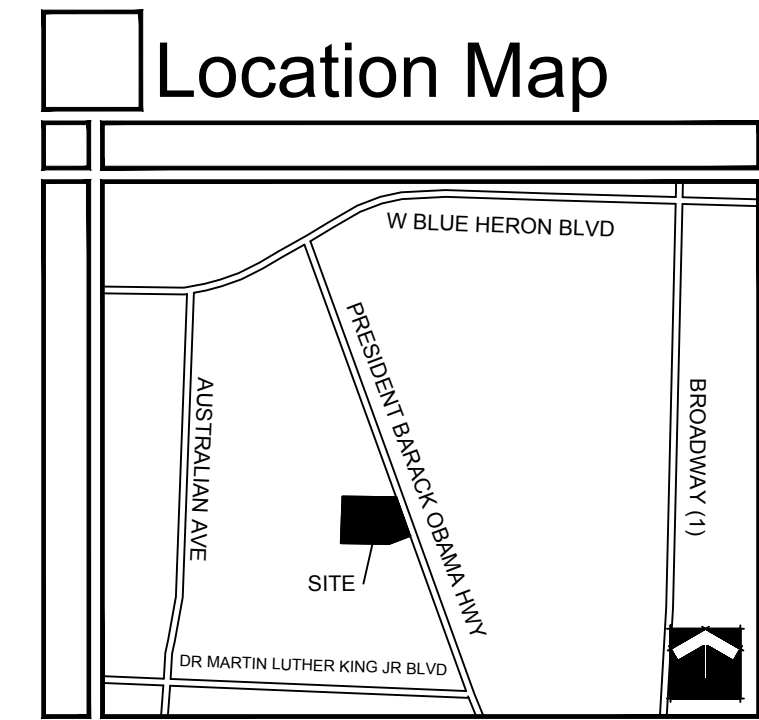
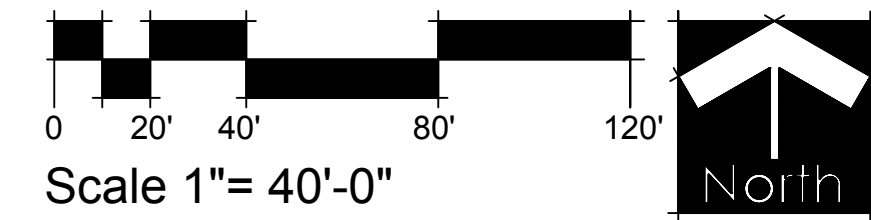
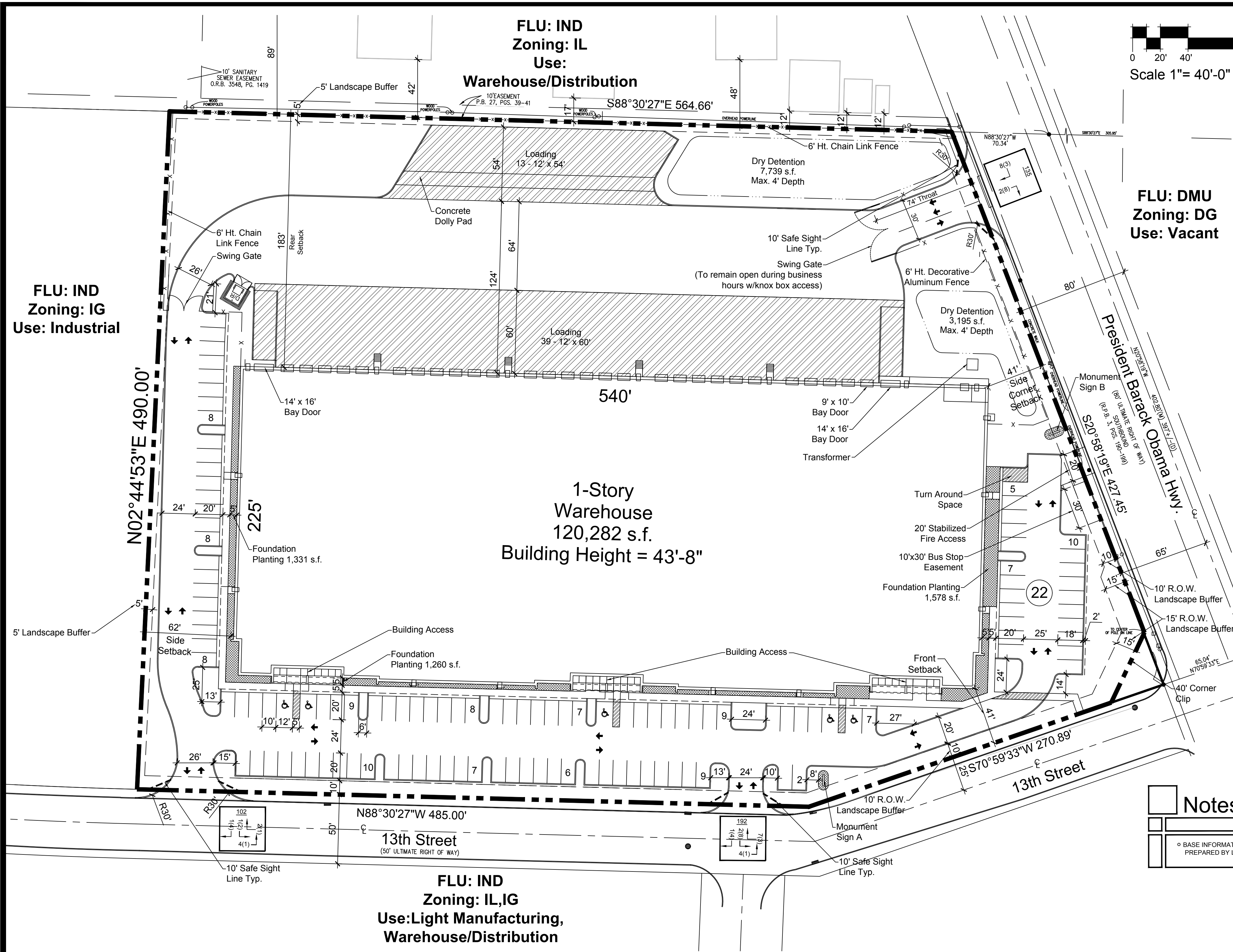
The following documents have been provided for your information which supersede documentation provided within the initial April 11, 2019, Planning and Zoning Board Meeting Packet:

1. Color Site Rendering (view from W. 13th St. and President Barack Obama Hwy.).
2. Site Plan, Sheet 1 (removing "preliminary").
3. Site Plan, Sheet 2 (amending the monument sign detail).
4. Landscape Plan Index Sheet and Landscape Plan Sheets 1 through 7 (including the Right of Way landscape buffer dimension, and correcting a palm tree count typo; 35 versus 8).
5. Justification statement for Site Plan and Special Exception Approval (adding the fact that tenants have not yet been selected and there is an anticipated need for supplemental office use in order to support future tenant operations, having an approved baseline of 10% office area).
6. Development Services Department Correspondence, April 10, 2019, (identifying resolutions to previously unresolved staff comments).
7. Utility District Memo; and email (identifying "no comments" on the site plan).

Please feel free to contact me for additional information; (561)845-4060 / jgagnon@rivierabch.com. Thank you.

COLORED RENDERING





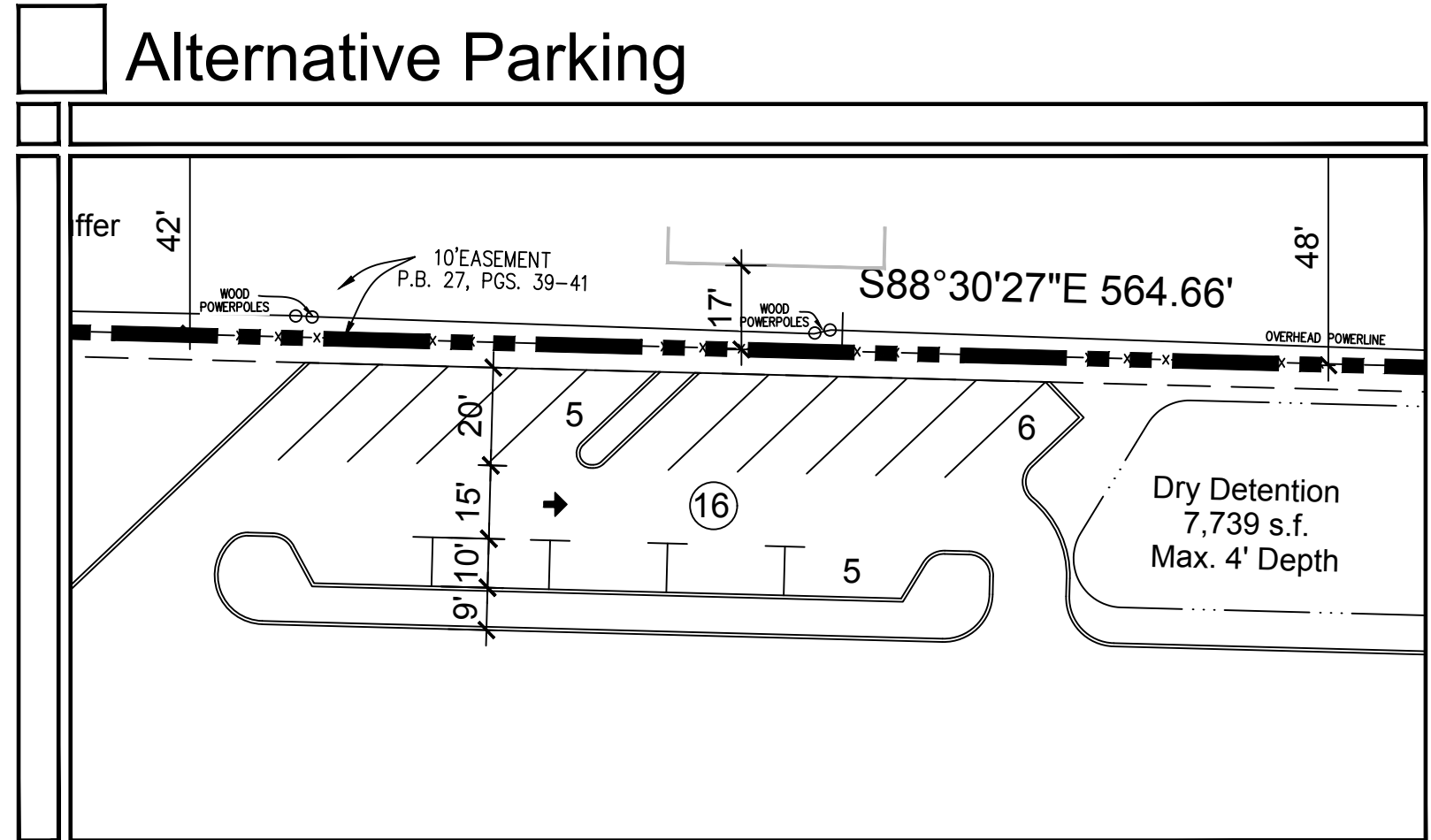
Site Data	
Application Number	SP-19-02/SE-19-01
Name of Project	JDA Industrial
Proposed Use	Warehouse and Storage
Future Land Use	Industrial
Zoning District	General Industrial (IG)
Property Control Numbers	56-43-42-33-00-000-3010
Traffic Analysis Zone	136
Total Site Area	7.23 AC. (314,967 s.f.)
Total Gross Floor Area	120,282 s.f.
Warehouse	
Warehouse/Storage	108,254 s.f.
Accessory Office (10%)	12,028 s.f.
Concurrence Approval*	
Warehouse/Storage	120,282 s.f.
*Concurrence is approved for the above uses and amounts shown on this plan.	
Total Floor Area Ratio	.38
Total Building Coverage	38%
Impervious Area	80%
Buildings	120,282 s.f.
Pavement/Walks	131,417 s.f.
Pervious Area	20%
Open Space	63,268 s.f.
Building Height	max. 50'
Proposed Building Height	43'-8"
Number of Stories	1
Number of Bay Doors	30
Parking Required	120 SPACES
Warehouse - 1 space/1,000 s.f. @ 120,282 s.f. = 120	
Proposed Parking	120 SPACES
Handicap Spaces Required	5
Handicap Spaces Proposed	5
Loading Required (12' x 30')	7
Loading Provided (12' x 54', 12' x 60')	52

Development Regulations											
PROPERTY DEVELOPMENT REQUIREMENTS											
ZONING DISTRICT	MINIMUM LOT DIMENSIONS	SIZE	WIDTH	FRONTAGE	DEPTH	MAX. FAR	MAX. BLDG. COVER.	MIN. PERVIOUS	SETBACKS/SEPARATIONS		
									FRONT	SIDE INTERIOR STREET	REAR
IG	1 AC.	--	--	--	--	1.15	45%	20%	40'	15'	20'
IG	7.23 AC.	755'	755'	490'	0.38	38%	20%	41'	62'	41'	183'

Notes

BASE INFORMATION FOR THIS PROJECT WAS OBTAINED FROM A SURVEY PREPARED BY LIDBERG LAND SURVEYING, INC. DATED 12/18/18

Development Team	
DEVELOPER:	JOHNSON DEVELOPMENT ASSOCIATES 100 DUNBAR STREET, SUITE 400 SPARTANBURG, SC 29306 (561) 684-6141
ARCHITECT:	MACGREGOR ASSOCIATES ARCHITECTS 2727 PACES FERRY ROAD, SE BLDG 2, STE 1400 ATLANTA, GA 30339 (770) 432-9400
CIVIL/TRAFFIC ENGINEER:	McLEOD, MCCARTHY & ASSOCIATES, P.A. 1655 PALM BEACH LAKES BLVD WEST PALM BEACH, FL 33407 (561) 689-9500
PLANNER:	SCHMIDT NICHOLS 1551 N. FLAGLER DRIVE SUITE 102 WEST PALM BEACH, FLORIDA 33401 (561) 684-6141
SURVEYOR:	LIDBERG LAND SURVEYING, INC. 675 WEST INDIANTOWN ROAD, SUITE 200 JUPITER, FL 33458 (561) 746-8454



Amendment Stamp

Zoning Stamp

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West Palm Beach, FL 33401
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Email: info@snlandplan.com
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JDA Industrial

1301 President Barack Obama Hwy.
Riviera Beach, Florida

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Drawn By: MA
Checked By: JN
File No. 935.01
Job No. 18-110

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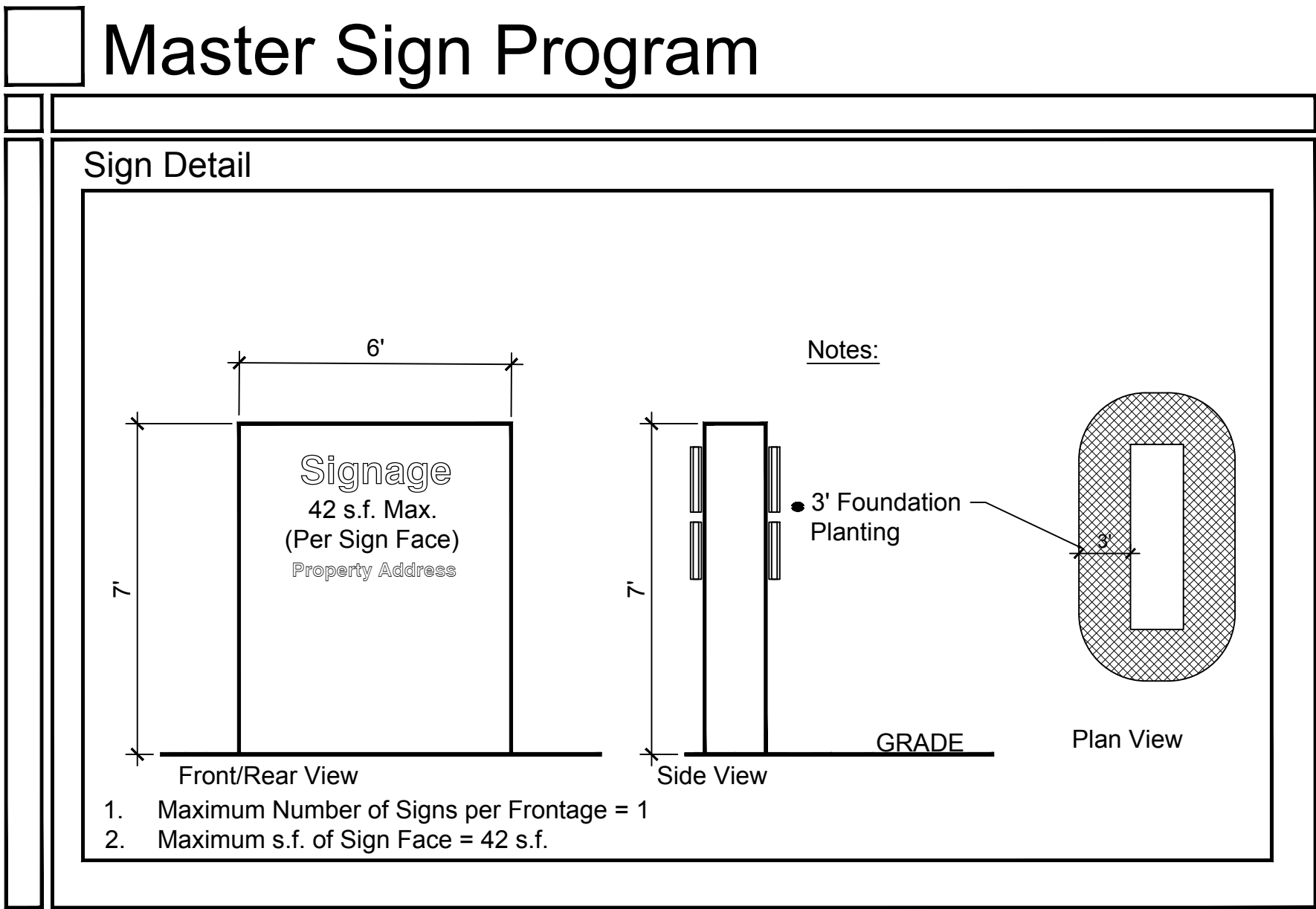
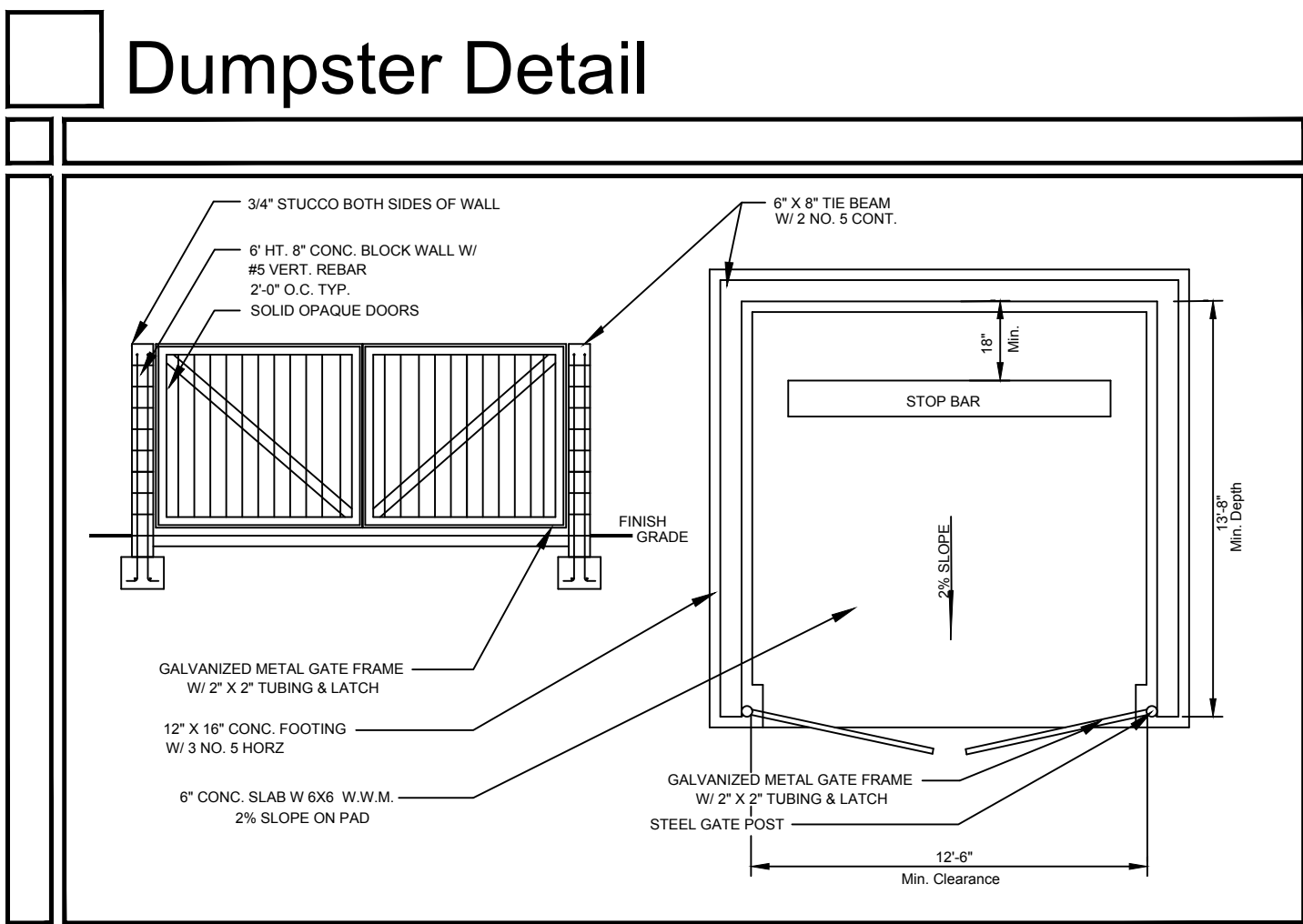
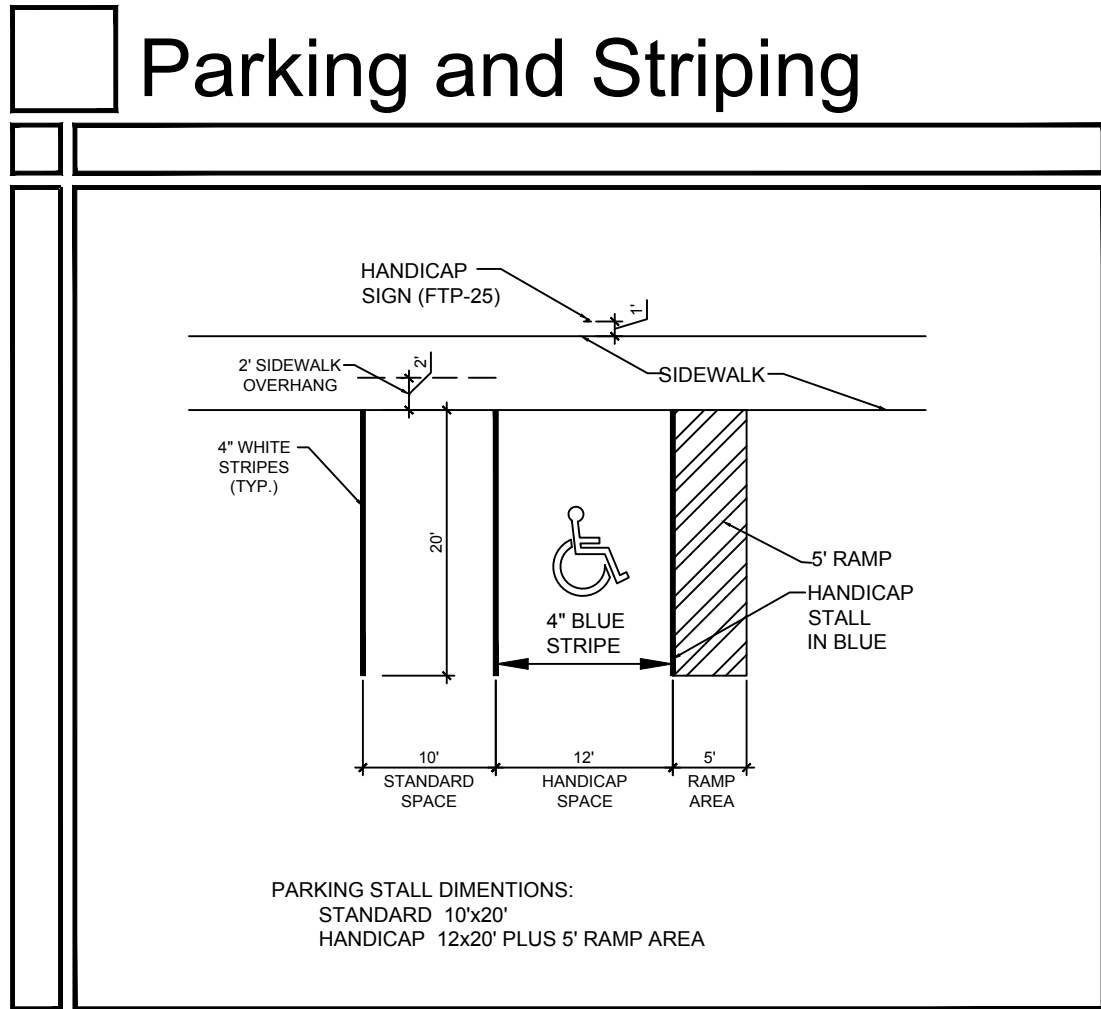
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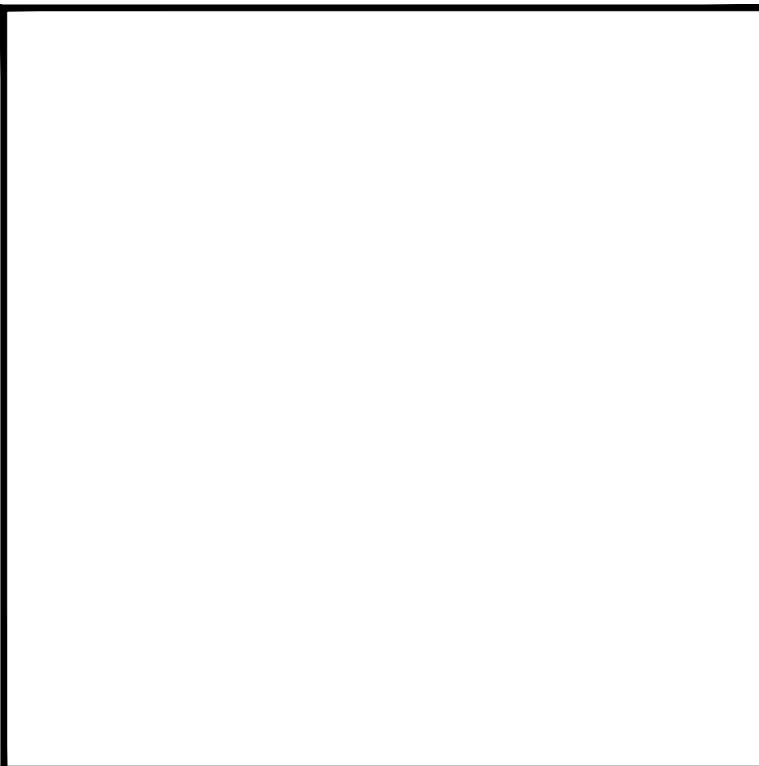
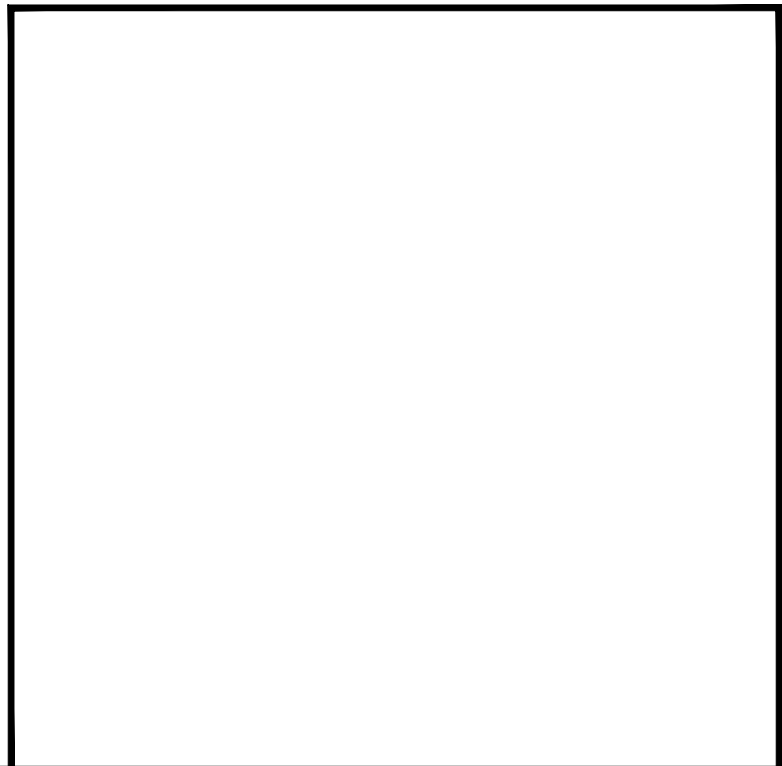
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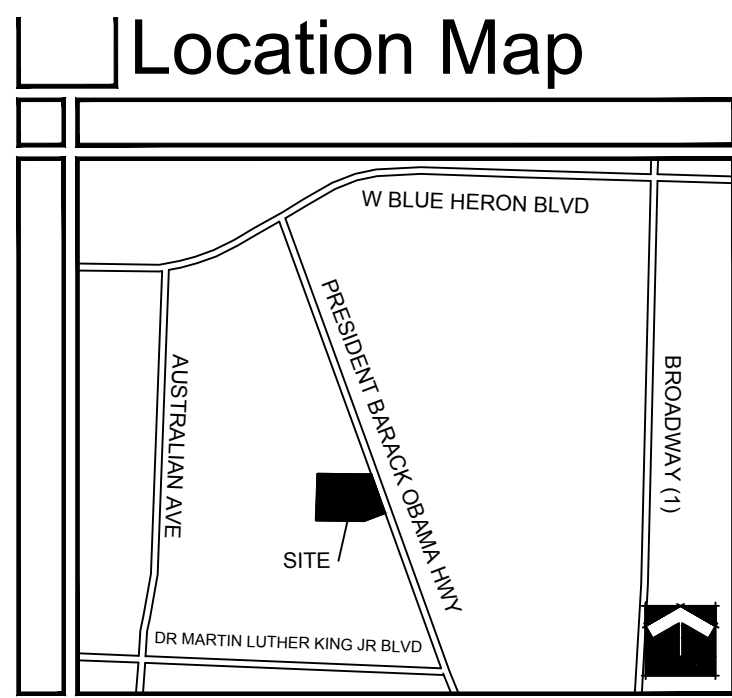
Site
Plan



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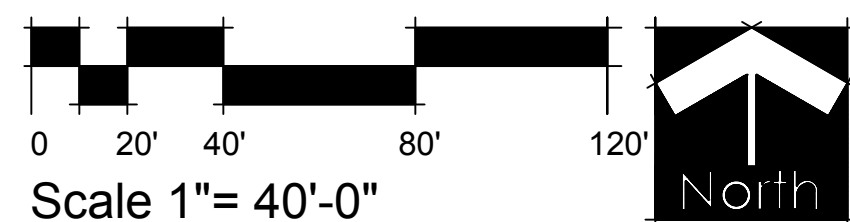
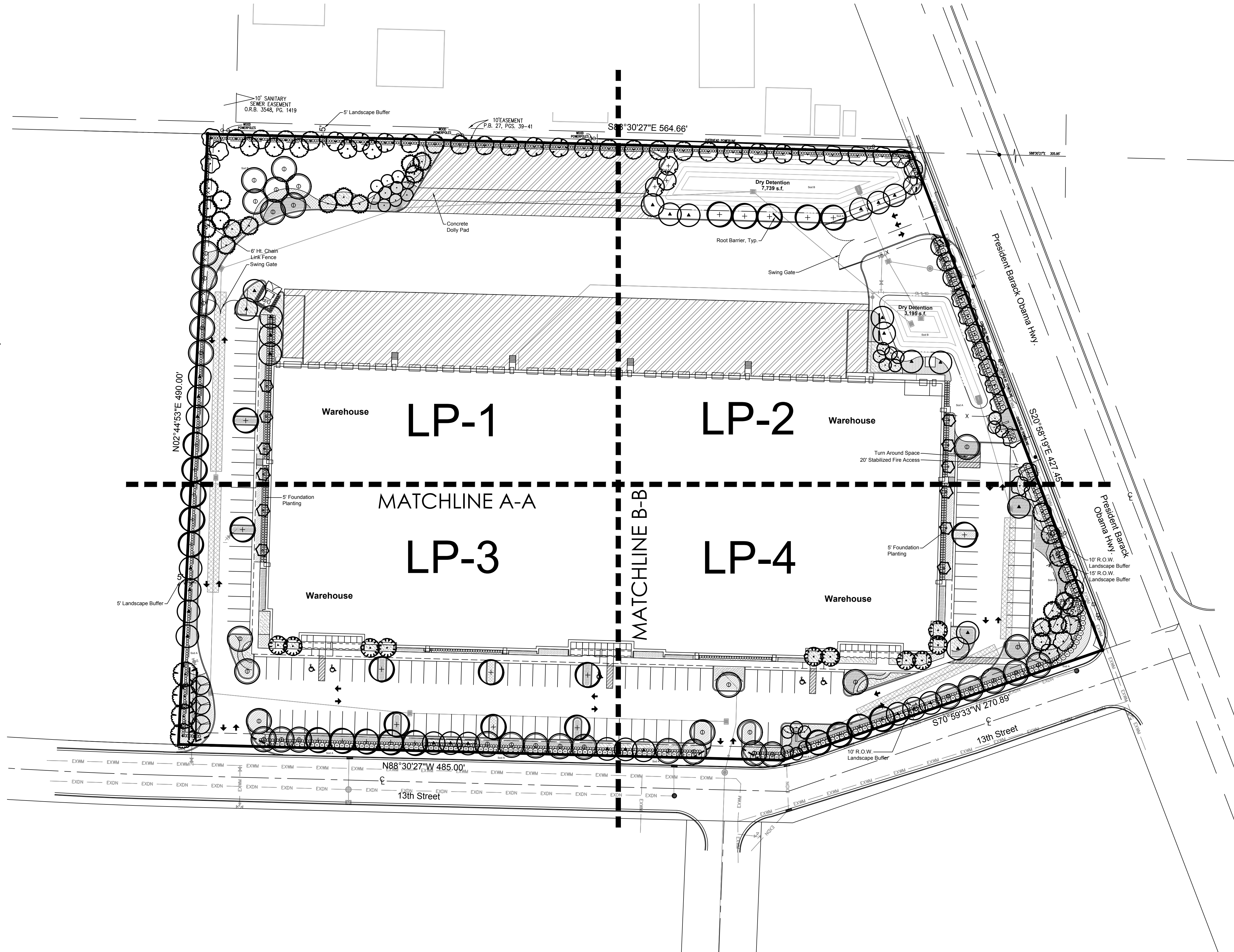
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JDA Industrial

- LI-1 Landscape Index
- LP-1 Landscape Plan
- LP-2 Landscape Plan
- LP-3 Landscape Plan
- LP-4 Landscape Plan
- LP-5 Landscape Exhibit
- LP-6 Landscape Notes
- LP-7 Landscape Specifications



**SCHMIDT
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LANDSCAPE ARCHITECTURE
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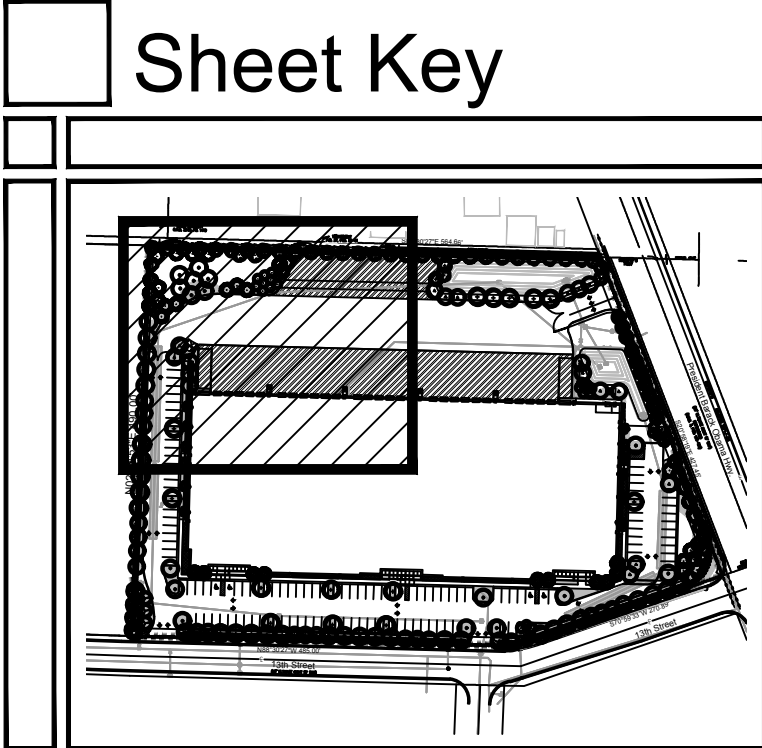
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SEAL OF A FLORIDA LICENSED LANDSCAPE ARCHITECT.

Printed name:
FLORIDA REGISTRATION NO. LA 0001638

**Landscape
Index**

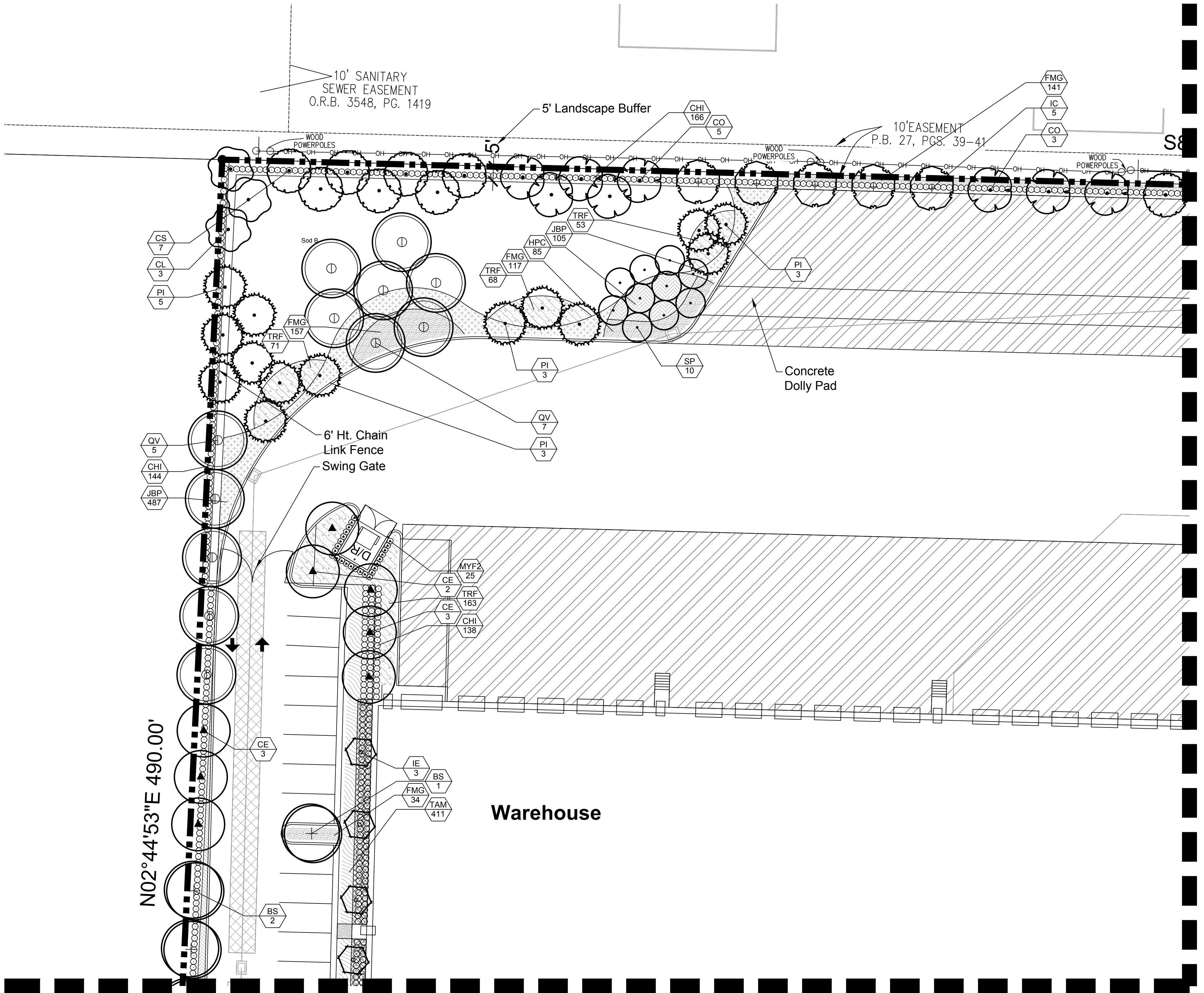
LI-1 of 1



Sheet Key

Plant List

ACCENT/FLOWERING TREE	CODE	QTY	BOTANICAL NAME / COMMON NAME
	CL	18	Clusia rosea / Autograph Tree** Standard Form, Matched
	CS	17	Conocarpus erectus sericeus / Silver Button Wood** Single Straight Trunk
	CO	11	Cordia sebestena / Orange Geiger Tree Single Straight Trunk, Matched
	IC	5	Ilex cassine / Dahoon Holly** Single Straight Trunk, Full to Base is Not Acceptable
	IE	12	Ilex x attenuata 'East Palatka' / East Palatka Holly** Full to Base, Matched
	LI2	9	Lagerstroemia indica 'Natchez' / Natchez Crape Myrtle** Single Straight Trunk, Min 5' CT
	LI	4	Lagerstroemia indica 'Tuscarora' / Crape Myrtle Multi-Trunk** Multi-Trunk
PALM TREES	CODE	QTY	BOTANICAL NAME / COMMON NAME
	SP	25	Sabal palmetto / Sabal Palm** Slick Trunks, Hurricane Cut, Stagger Heights
	VM	10	Vetelia montgomeryana / Montgomery Palm** Single Trunk, No Scarred Trunks, Matched
SHADE TREE	CODE	QTY	BOTANICAL NAME / COMMON NAME
	AR	3	Acer rubrum / Red Maple** Single Straight Trunk, Min 6' CT
	BS	28	Bursera simaruba / Gumbo Limbo** Single Straight Trunk, Min 6' CT
	CE	34	Conocarpus erectus / Green Buttonwood** Single Straight Trunk, No Low Croch
	PI	19	Pinus elliotti var. Densa / South Florida Slash Pine** Single Straight Trunk
	QV	38	Quercus virginiana / Southern Live Oak** Single Straight Trunk, Min. 6' CT.
	SM	4	Swietenia mahagoni / Mahogany** Single Straight Trunk, Min. 6' CT.
SHRUBS	CODE	QTY	BOTANICAL NAME / COMMON NAME
	CHI	1,441	Chrysobalanus icaco / Coco Plum** Full To Base, Small Shrubs
	CL3	248	Clusia guttata / Small-Leaf Clusia Full to Base, Large Shrubs
	MYF2	25	Myrcianthes fragrans / Simpson's Stopper** Full to Base, Screening
GROUND COVERS	CODE	QTY	BOTANICAL NAME / COMMON NAME
	FMG	2,306	Ficus microcarpa 'Green Island' / Green Island Ficus** Full to Base
	HPC	660	Hamelia patens 'Compacta' / Dwarf Firebush** Full
	JBP	932	Juniperus conferta 'Blue Pacific' / Blue Pacific Juniper Full
	MUC	550	Muhlenbergia capillaris / Pink Muhly Full
	SOD B	18,386 sf	Paspalum notatum / Bahia Grass Solid Sod, Stagger Seams, Field Verify Sod Areas Prior To Bid, Sod All Disturbed Areas
	SOD A	13,238 sf	Stenotaphrum secundatum / St. Augustine Grass Solid Sod, Stagger Seams, Field Verify Sod Areas Prior To Bid, Sod All Disturbed Areas
	TAM	2,925	Trachelospermum asiaticum 'Minima' / Minima Jasmine** Trailing
	TRF	1,269	Tripsacum flordanum / Dwarf Fakahatchee Grass** Full To Base



MATCHLINE A-A SHEET LP-3

MATCHLINE B-B SHEET LP-2



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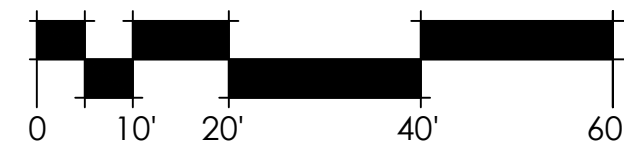
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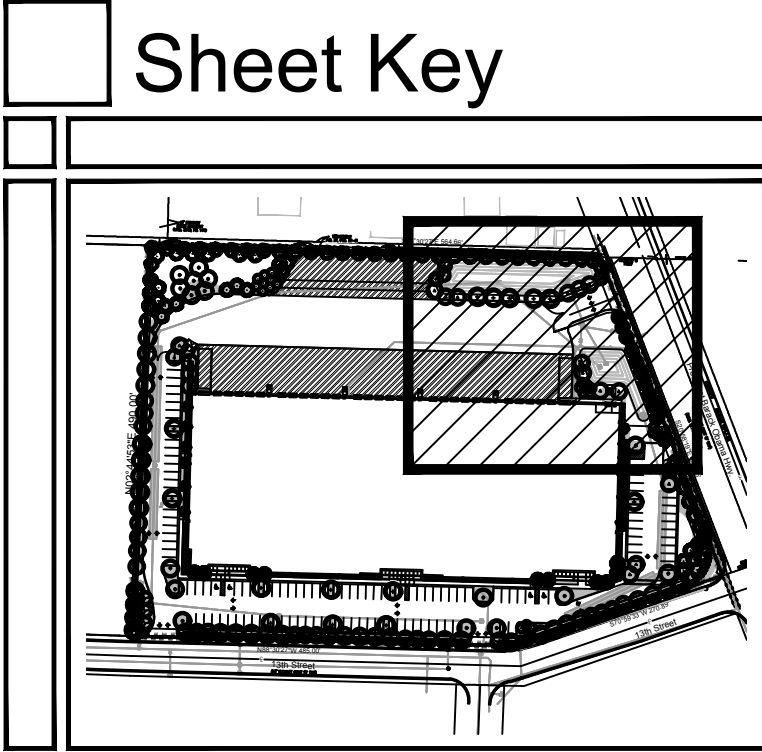
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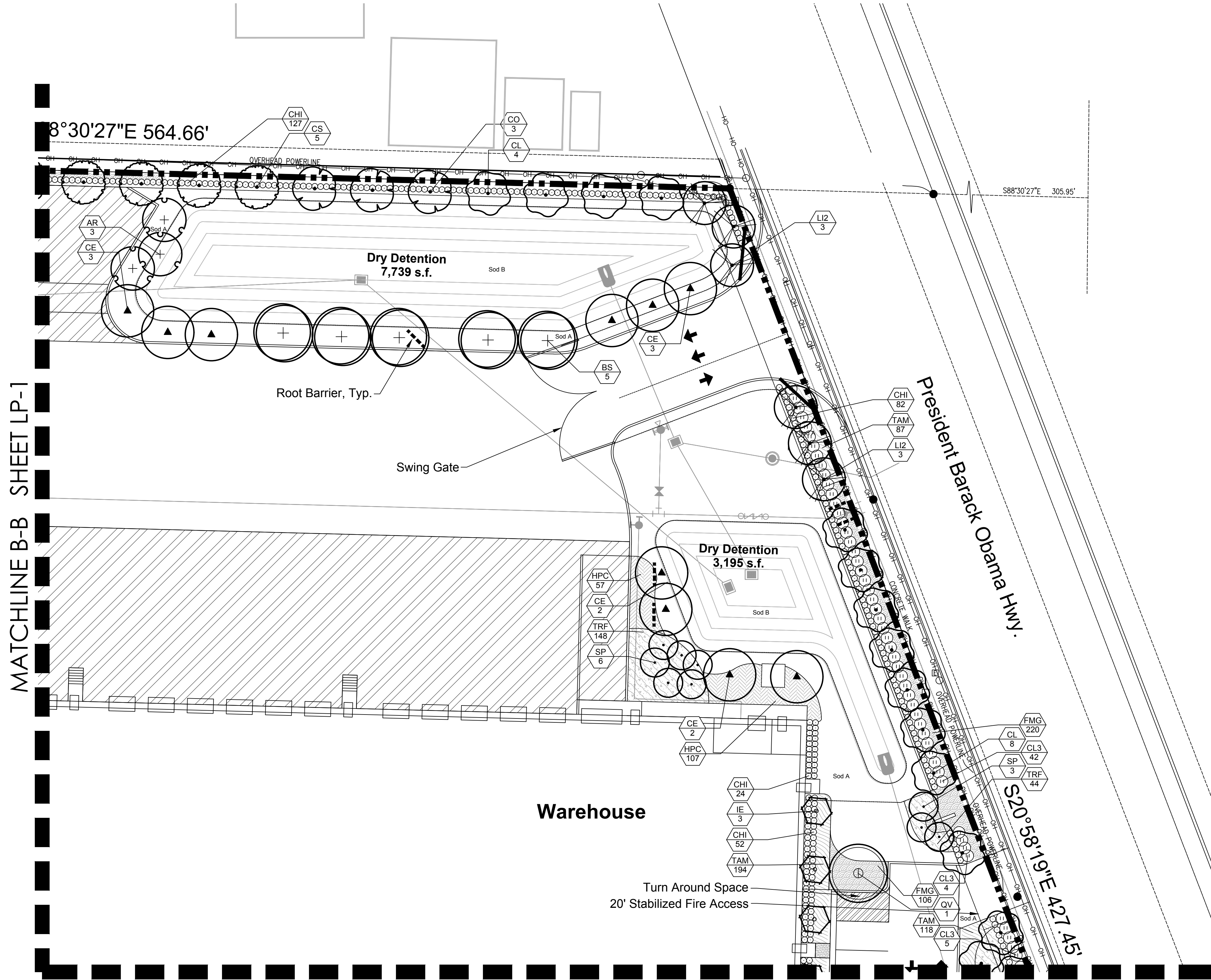
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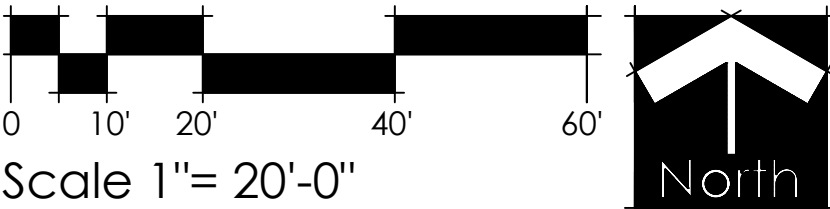
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	VM	10	Vettilia montgomeryana / Montgomery Palm** Single Trunk, No Scarred Trunks, Matched
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	QV	38	Quercus virginiana / Southern Live Oak** Single Straight Trunk, Min. 6' CT.
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	HPC	660	Hamelia patens 'Compacta' / Dwarf Firebush** Full
	JBP	932	Juniperus conferta 'Blue Pacific' / Blue Pacific Juniper Full
	MUC	550	Muhlenbergia capillaris / Pink Muhly Full
	SOD B	18,386 sf	Paspalum notatum / Bahia Grass Solid Sod, Stagger Seams, Field Verify Sod Areas Prior To Bid, Sod All Disturbed Areas
	SOD A	13,238 sf	Stenotaphrum secundatum / St. Augustine Grass Solid Sod, Stagger Seams, Field Verify Sod Areas Prior To Bid, Sod All Disturbed Areas
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	TRF	1,269	Tripsacum flordanum / Dwarf Fakahatchee Grass** Full To Base



MATCHLINE A-A SHEET LP-4





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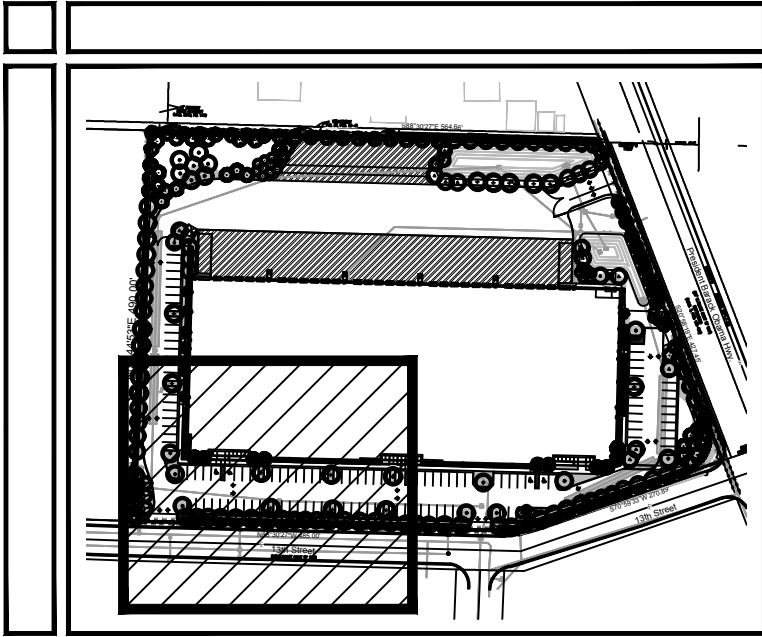
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Drawn By:	BMC
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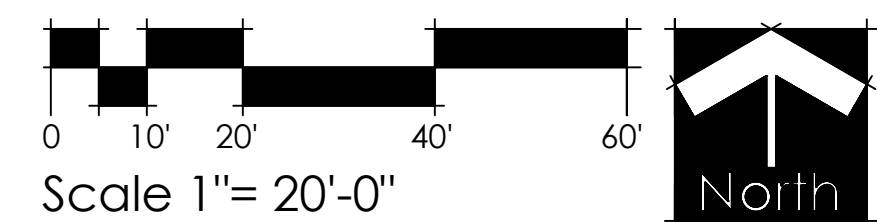
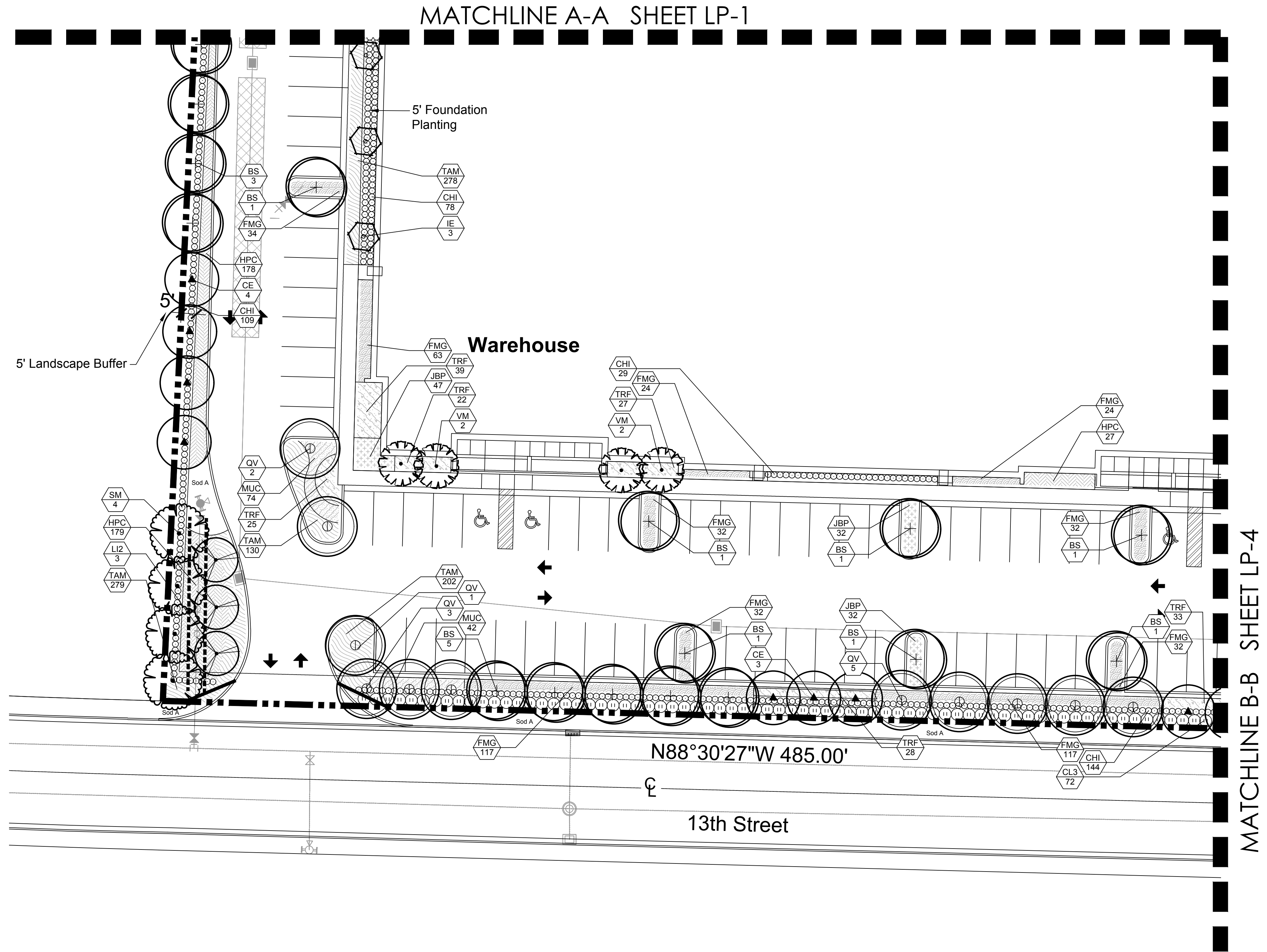
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Sheet Key



Plant List

ACCENT/FLOWERING TREE	CODE	QTY	BOTANICAL NAME / COMMON NAME
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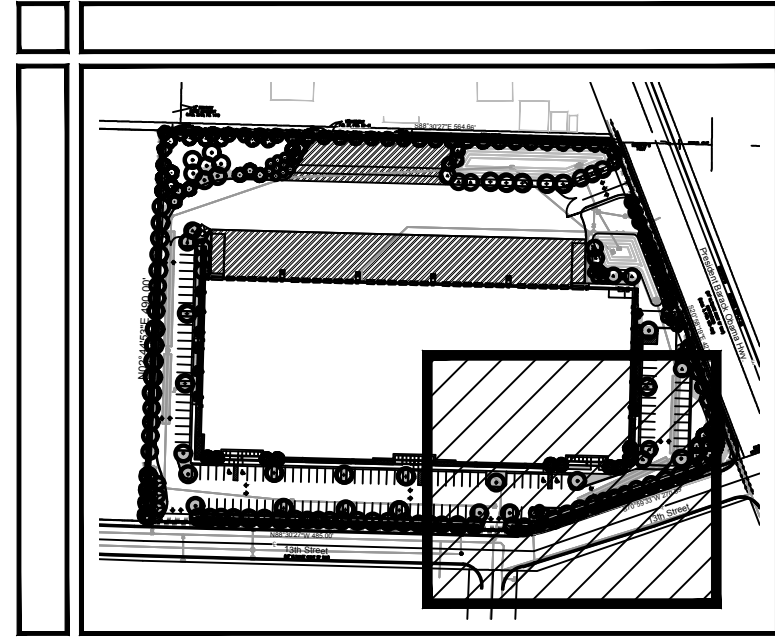
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LP-3 of 7

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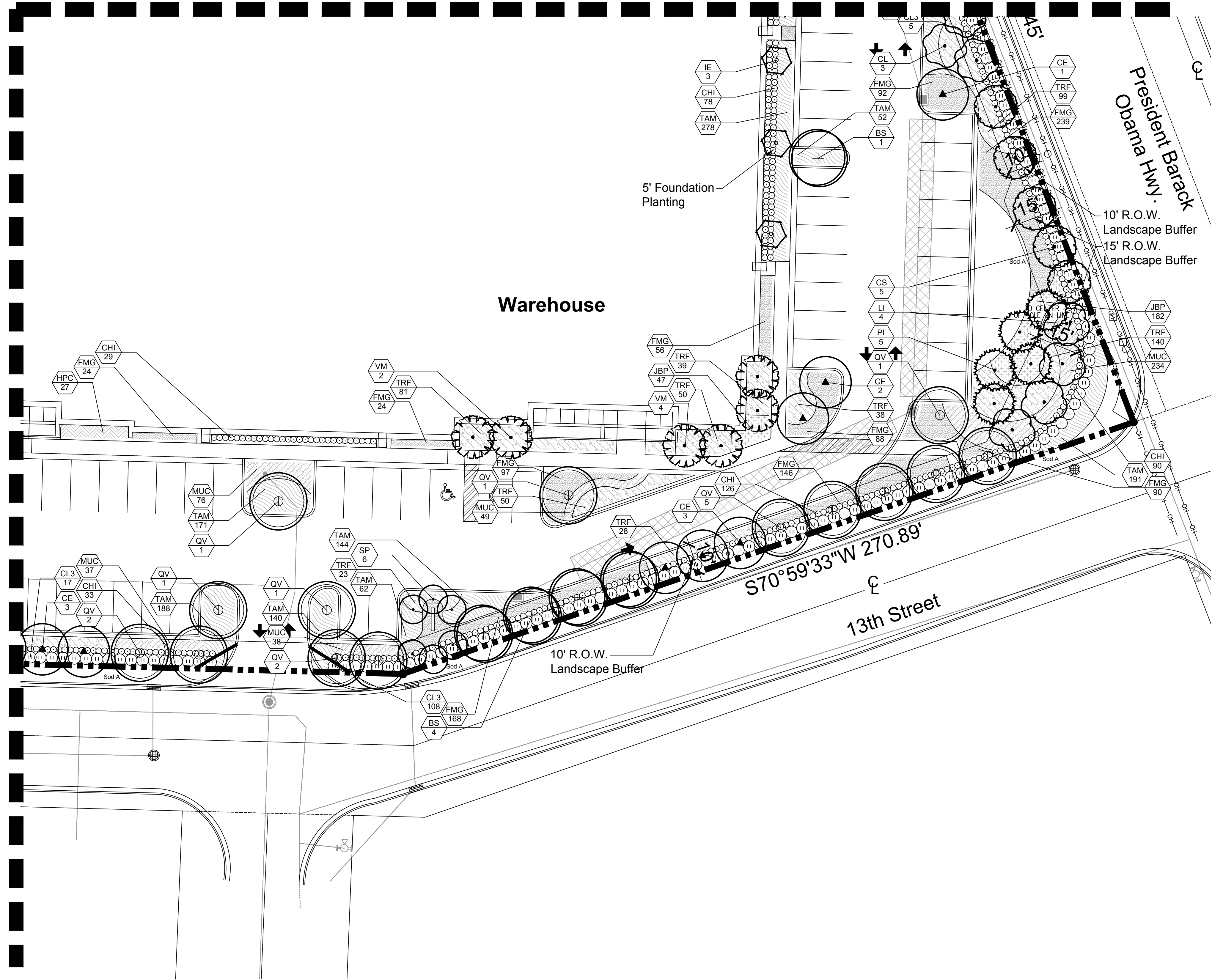


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	SOD B	18,386 sf	Paspalum notatum / Bahia Grass Solid Sod, Stagger Seams, Field Verify Sod Areas Prior To Bid, Sod All Disturbed Areas
	SOD A	13,238 sf	Stenotaphrum secundatum / St. Augustine Grass Solid Sod, Stagger Seams, Field Verify Sod Areas Prior To Bid, Sod All Disturbed Areas
	TAM	2,925	Trachelospermum asiaticum 'Minima' / Minima Jasmine** Trailing
	TRF	1,269	Tripsacum floridanum / Dwarf Fakahatchee Grass** Full To Base

MATCHLINE A-A SHEET LP-2

MATCHLINE B-B SHEET LP-3



SCHMIDT
NICHOLS

LANDSCAPE ARCHITECTURE
AND URBAN PLANNING

1551 N. Flagler Dr, Ste 102
West Palm Beach, FL 33401
Phone: 561.684.6141
Email: info@snlandplan.com
Website: www.snlandplan.com
License No: LC26000232

JDA Industrial
1301 President Barack Obama Hwy.
Riviera Beach, Florida

Date: 01/11/19
Scale: 1" = 20'-0"
Design By: JN
Drawn By: BMC
Checked By: JN
File No. 935.01
Job No. 18-110

REVISIONS / SUBMISSIONS

03/15/19 Resubmittal

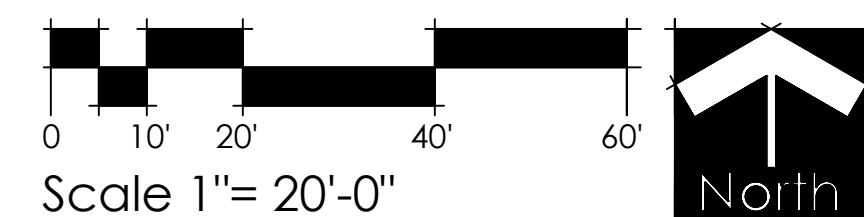
04/10/19 Resubmittal

Landscape
Plan

LP-4 of 7



Know what's below.
Call before you dig.





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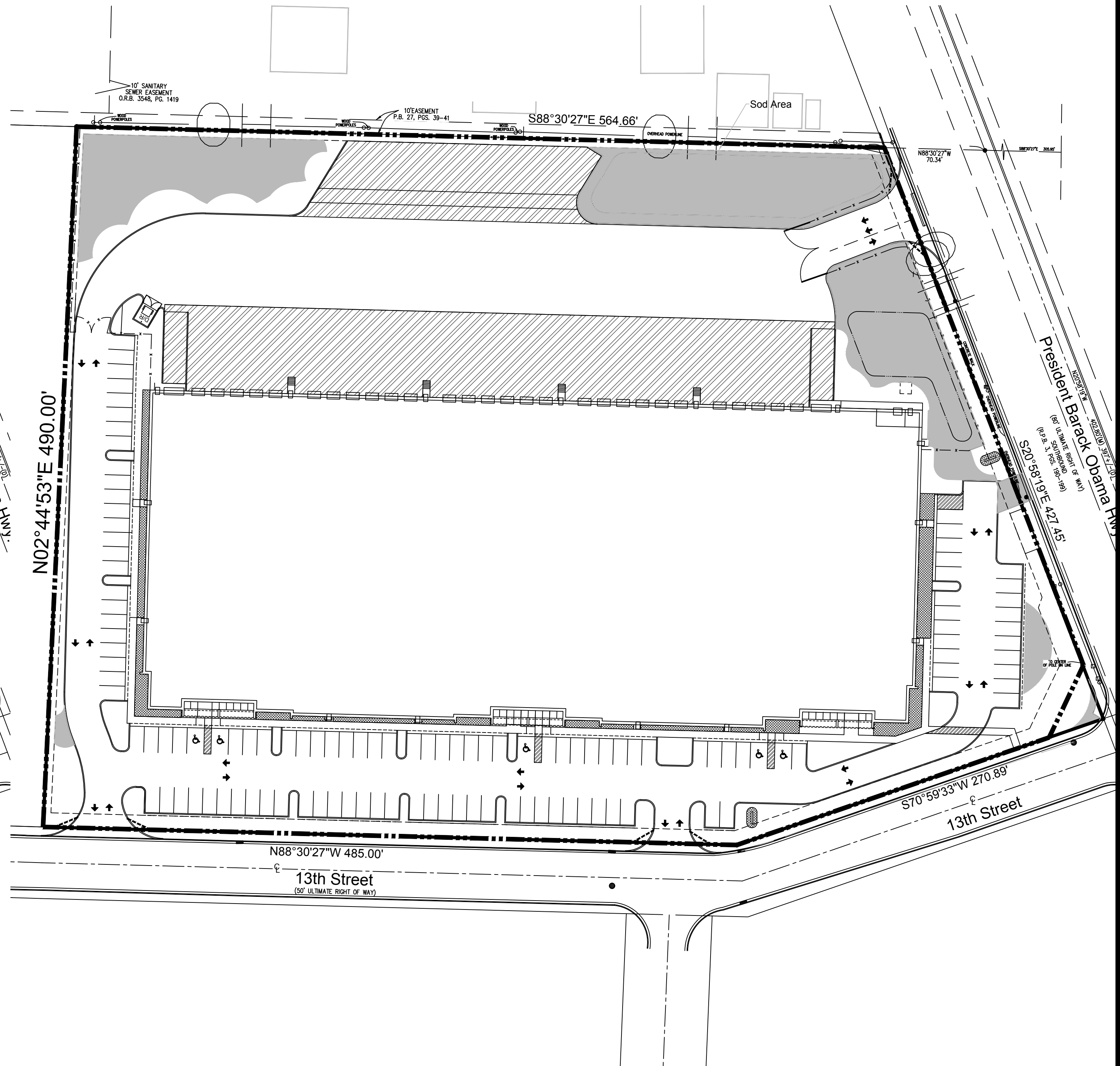
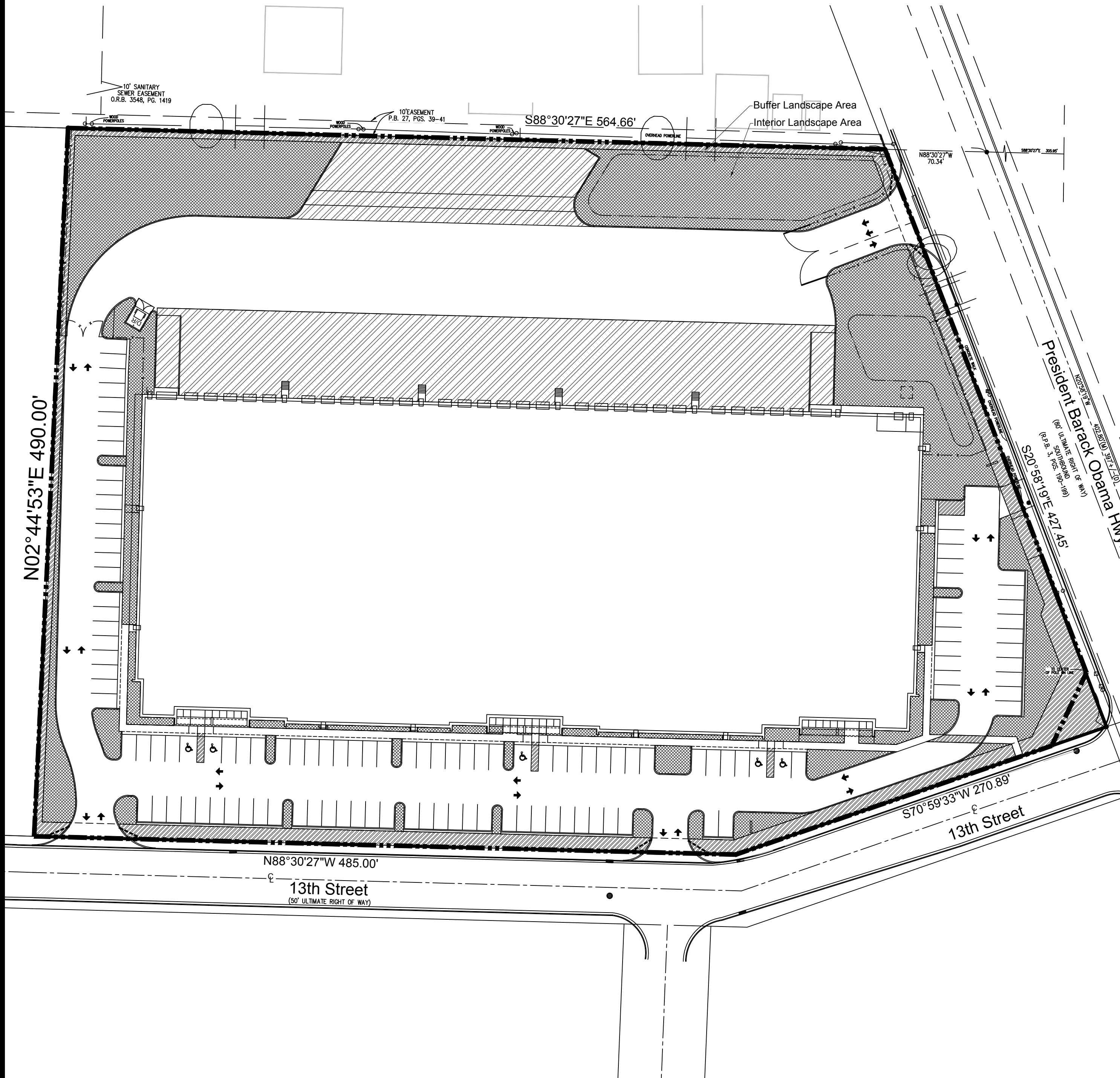
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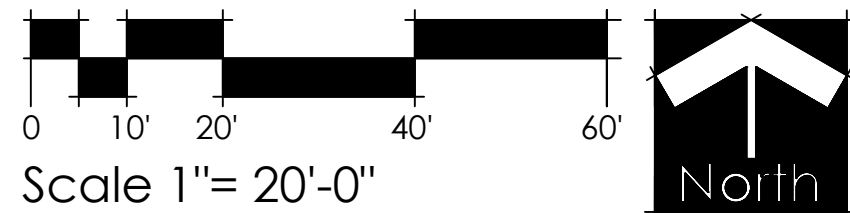
JDA Industrial
1301 President Barack Obama Hwy.
Riviera Beach, Florida

LANDSCAPE AREA
Buffer Area = 16,237 sf
Interior Area = 47,031 sf
Landscape Area = 63,268 sf

SOD AREA
Sod Area = 27,942 sf



Know what's below.
Call before you dig.



Date:	01/11/19
Scale:	1" = 20'-0"
Design By:	JN
Drawn By:	BMC
Checked By:	JN
File No.	935.01
Job No.	18-110

REVISIONS / SUBMISSIONS

03/15/19 Resubmittal
04/10/19 Resubmittal

Landscape
Plan

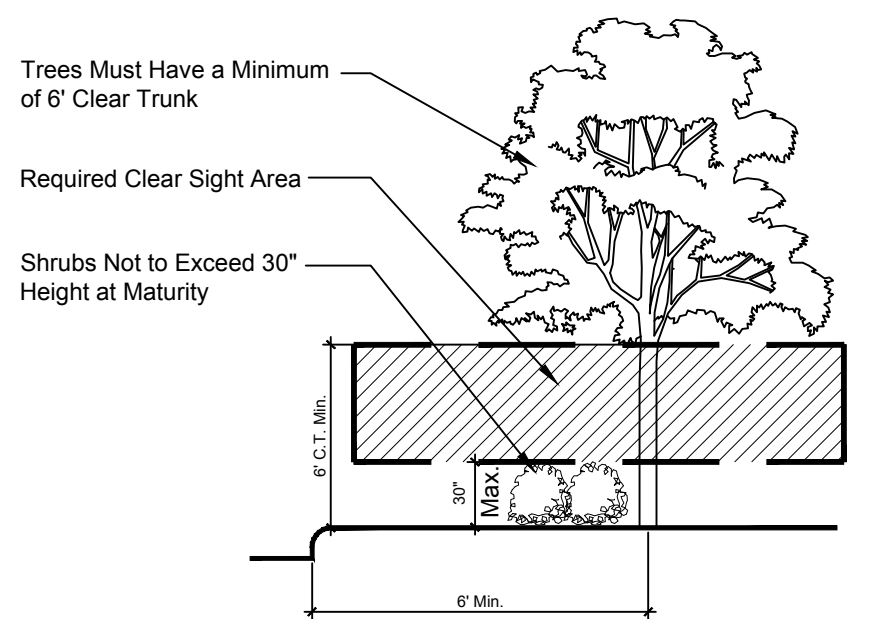
LP-5 of 7



Landscape Notes

- Easements shall not encroach landscape buffers more than 5 feet.
- Landscaping in right-of-way buffers shall be installed on the exterior side of walls or fences.
- FDOT Type D or F curb shall be provided along the perimeter of all landscape, open space, drainage and grassed areas adjacent to paved vehicular use areas, except where wheel stops are provided.
- Safe sight triangles shall be maintained clear of vegetation to provide unobstructed visibility between 30" and 8' above crown of road.
- Light poles, fire hydrants, electrical/mechanical equipment, signs, drainage structures, etc. shall not interfere with landscaping in terminal islands, parking islands, medians, buffers or other landscaped areas.
- All plant material is to be installed at the height, spread and DBH/Caliper shown in the Plant List, container sizes are given as a suggestion only.
- No muck-grown sod shall be utilized in detention areas.
- All landscape areas (including sod) shall be irrigated with an underground automatic sprinkler system providing min. 150% coverage.
- Trees shown on this plan are for graphic representation only. Tree spacing is based on design requirements and the trees shown on these plans attempt to accomplish that spacing while maintaining the required setbacks from utilities. Trees may be field adjusted to avoid conflicts with driveways and underground utilities. In any case the trees shall be located in the field in accordance with the planting details shown hereon.
- Trees are to be installed with a ten foot (10') separation from any water or sewer main and/ or service, hydrants, and lift stations. If a ten foot (10') separation cannot be achieved, the tree can be installed with a root barrier system. Refer to the "Root Barrier" detail for installation requirements.
- All planters shall be excavated to a minimum depth of the native soil on site and back-filled with a suitable soil consisting of fifty percent (50%) composted organic matter, well-mixed with native soil. Backfill material shall be free from rock, construction debris, or other extraneous material.
- All substitutions or modifications from the approved Landscape Plan must be submitted and approved by the Landscape Architect in writing.
- All ground-mounted equipment shall be screened from view.

Safe Sight Detail



Plant List

ACCENT/FLOWERING TREE	CODE	QTY	BOTANICAL NAME / COMMON NAME	CALIPER	HEIGHT	SPREAD	CLEAR TRUNK	WATER USAGE	STATUS
	CL	18	Clusia rosea / Autograph Tree** Standard Form, Matched	1.5" DBH	10'	5'	5' Min.	Low	Native
	CS	17	Conocarpus erectus sericeus / Silver Button Wood** Single Straight Trunk	1.5" DBH	10'	5'	5' Min.	Low	Native
	CO	11	Cordia sebestena / Orange Geiger Tree Single Straight Trunk, Matched	1.5" DBH	10'	5'	5' Min.	Low	Native
	IC	5	Ilex cassine / Dahoon Holly** Single Straight Trunk, Full to Base is Not Acceptable	1.5" DBH	10'	5'	5' Min.	Low	Native
	IE	12	Ilex x attenuata 'East Palatka' / East Palatka Holly** Full to Base, Matched	1.5" Cal.	10'	5'	Full to Base	Low	Native
	LI2	9	Lagerstroemia indica 'Natchez' / Natchez Crape Myrtle** Single Straight Trunk, Min 5' CT	1.5" DBH	10'	5'	5' Min.	Low	Non-Native
	LI	4	Lagerstroemia indica 'Tuscarora' / Crape Myrtle Multi-Trunk** Multi-Trunk	1.5" DBH	10'	5'	5' Min.	Low	Non-Native
PALM TREES	CODE	QTY	BOTANICAL NAME / COMMON NAME	CALIPER	HEIGHT	SPREAD	CLEAR TRUNK	WATER USAGE	STATUS
	SP	25	Sabal palmetto / Sabal Palm** Slick Trunks, Hurricane Cut, Stagger Heights	N/A	12'-20' CT	N/A	12'-20' CT	Low	Native
	VM	10	Veitchia montgomeryana / Montgomery Palm** Single Trunk, No Scarred Trunks, Matched	N/A	10' CT	5'	10' CT	Low	Non-Native
SHADE TREE	CODE	QTY	BOTANICAL NAME / COMMON NAME	CALIPER	HEIGHT	SPREAD	CLEAR TRUNK	WATER USAGE	STATUS
	AR	3	Acer rubrum / Red Maple** Single Straight Trunk, Min 6' CT	2" DBH	12'	5'	6' CT	Medium	Native
	BS	28	Bursera simaruba / Gumbo Limbo** Single Straight Trunk, Min 6' CT	2" DBH	12'	5'	6' Min.	Low	Native
	CE	34	Conocarpus erectus / Green Buttonwood** Single Straight Trunk, No Low Crotch	2" DBH	12'	5'	6' Min.	Low	Native
	PI	19	Pinus elliotii var. Densa / South Florida Slash Pine** Single Straight Trunk	2" DBH	14' OA	6'	6' Min.	Low	Native
	QV	38	Quercus virginiana / Southern Live Oak** Single Straight Trunk, Min. 6' CT.	2" DBH	12'	5'	6' Min.	Low	Native
	SM	4	Swietenia mahagoni / Mahogany** Single Straight Trunk, Min. 6' CT.	2" DBH	12'	5'	6'	Low	Native
SHRUBS	CODE	QTY	BOTANICAL NAME / COMMON NAME	HEIGHT	SPREAD	SPACING	WATER USAGE	STATUS	
	CHI	1,441	Chrysobalanus icaco / Coco Plum** Full To Base, Small Shrubs	18"	18"	24" O.C.	Low	Native	
	CL3	248	Clusia guttifera / Small-Leaf Clusia Full to Base, Large Shrubs	24"	24"	48" O.C.	Low	Native	
	MYF2	25	Myrcianthes fragrans / Simpson's Stopper** Full to Base, Screening	36"	24"	24" O.C.	Low	Native	
GROUND COVERS	CODE	QTY	BOTANICAL NAME / COMMON NAME	HEIGHT	SPREAD	SPACING	WATER USAGE	STATUS	
	FMG	2,306	Ficus microcarpa 'Green Island' / Green Island Ficus** Full to Base	12"	12"	18" O.C.	Medium	Non-Native	
	HPC	660	Hamelia patens 'Compacta' / Dwarf Firebush** Full	12"	12"	24" O.C.	Low	Native	
	JBP	932	Juniperus conferta 'Blue Pacific' / Blue Pacific Juniper Full	10"	10"	18" O.C.	Low	Non-Native	
	MUC	550	Muhlenbergia capillaris / Pink Muhly Full	14"	12"	18" O.C.	Low	Native	
	SOD B	18,386 sf	Paspalum notatum / Bahia Grass Solid Sod, Stagger Seams, Field Verify Sod Areas Prior To Bid, Sod All Disturbed Areas	N/A	N/A	N/A	Low	Non-Native	
	SOD A	13,238 sf	Stenotaphrum secundatum / St. Augustine Grass Solid Sod, Stagger Seams, Field Verify Sod Areas Prior To Bid, Sod All Disturbed Areas	N/A	N/A	N/A	High	Non-Native	
	TAM	2,925	Trachelospermum asiaticum 'Minima' / Minima Jasmine** Trailing	4"	6"	14" O.C.	Low	Non-Native	
	TRF	1,269	Tripsacum floridanum / Dwarf Fakahatchee Grass** Full To Base	24"	24"	24" O.C.	Low	Native	

Landscape Requirements

Category	Requirement	No. Required	No. Provided
Perimeter			
Trees:			
North Property Line	565'	20 I.f.	28
South Property Line	756'	20 I.f.	38
East Property Line	427'	20 I.f.	21
West Property Line	490'	20 I.f.	25
TOTAL BUFFER TREES		112	112
Hedge:			
North Property Line	565'	Hedge	Hedge
South Property Line	756'	Hedge	Hedge
East Property Line	427'	Hedge	Hedge
West Property Line	490'	Hedge	Hedge
TOTAL HEDGE			
Groundcover:			
North Property Line	565'	25%	141'
South Property Line	756'	25%	189'
East Property Line	427'	25%	107'
West Property Line	490'	25%	123'
TOTAL GROUND COVER		560'	1,553'

Category	Requirement	No. Required	No. Provided
Landscape Area (Site: 314,967 sf)	20% Site	62,993 sf	63,268 sf
Sod Area (62,993 sf Landscape Area)	45% Max.	28,347 sf Max	27,942 sf
Interior Landscape Area (Total Provided: 63,695 sf)	50% of Required	31,848 sf	47,031 sf
Terminal Island Trees (12 Islands)	1/Island	12	12
Interior Island Trees (10 Islands)	1/Island	10	10
Overall Site Trees (Net Site: 314,967 sf) (INCLUDES TREES COUNTED FOR BUFFER AND INTERIOR)	1/1500 sf	210	210
Native Shade Trees (210 Total Required)	60%	126	126
Native Accent Trees (210 Total Required)	10%	21	63
Palm Trees (210 Total Required)	20% Max.	42 Max	35
Shade Tree Species Mix (210 Total Required)	6 species	6	6



**Justification Statement
Formal Site Plan Approval Request
JDA Industrial
1301 President Barack Obama Highway
City of Riviera Beach, Florida
Original Submittal: January 11, 2019
Resubmittal: March 15, 2019
Resubmittal: March 28, 2019
Resubmittal: April 4, 2019
Resubmittal: April 10, 2019**

Description of Request

Schmidt Nichols (“Agent”), on behalf of the Applicant, 1501 Florida Mango LLC, respectfully requests a Special Exception Use approval and Major Site Plan Amendment for the JDA Industrial project in the City of Riviera Beach, Florida. The 7.23-acre (314,967 s.f.) subject property (Property Control Number [PCN] 56-43-42-33-00-000-3010) is located at the northwest corner of President Barack Obama Highway and West 13th Street (“subject property”). The applicant is proposing to develop a 120,282 s.f. warehouse on the undeveloped subject property. The proposed development will have frontage and access from West 13th Street, with the main public entrance located on the south side of the building. There will be two (2) secondary access points, one along West 13th Street and another secured truck access on President Barack Obama Highway. The use requested, warehouse and storage industrial facility, is a special exception use in the General Industrial – IG zoning district. The applicant currently does not have tenants in place for the building, however, it is anticipated that a small amount of accessory office s.f. will be needed to adequately serve the tenants. The building needs this flexibility with the building in the event that a tenant does require accessory office beyond the 10% accessory office space, therefore, we’ve developed an alternative parking exhibit within the loading along the north property line. The site plan has been updated to recognize the 10% accessory warehouse as part of the warehouse building.

The subject property supports a Future Land Use (FLU) designation of Industrial (IND) and is located within the General Industrial (IG) Zoning District. Below is a chart of the surrounding property information:

Adjacent Lands	FLU	Zoning	Uses
Subject Property (Proposed)	IND	IG	Warehouse and Storage

North	IND	IL	Warehouse/ Distribution
South	IND	IL, IG	Warehouse/ Distribution / Light Manufacturing/W 13 th Street ROW
East	IND	Downtown Mixed Use (within CRA)	Downtown General (within CRA), President Barack Obama Highway ROW
West	IND	IG	Vacant Industrial

This application is specifically requesting the following:

- Special Exception Use Site Plan approval for the proposed 120,282 s.f. warehouse and storage industrial facility.

Site Design and Layout

The proposed site is 7.23 acres in size and is surrounded on three (3) sides by complementary Industrial uses. To the north of the subject property are several warehouse/distribution uses. To the west is a vacant parcel zoned General Industrial – IG. To the south is warehouse/distribution and light manufacturing uses. The subject site has frontage along President Barack Obama Highway and West 13th Street. To the east of the subject site is President Barack Obama Highway, Florida East Coast Railway and then a vacant parcel of land that is located within the Riviera Beach CRA district. The proposed site was designed so that minimal impacts were imposed on surrounding properties

Per the Riviera Beach Zoning Code, Section (Sec.) 31-383, Property Development Standards for the industrial (IG), of the City of RB Code of Ordinances a property must comply with a 45 percent (45%) lot coverage.

Based on the total 7.23 acres (314,967 sf) the code allows a total of 141,735 square-feet of lot coverage:

$$7.23 \text{ acres (314,967 sf)} \times 45\% = 141,735 \text{ sf of Lot Coverage}$$

Based on the total lot coverage proposed (120,282 square-feet), the lot coverage is (38%):

$$120,282 \text{ sf} \div 7.23 \text{ acres (314,967 sf)} = 38\% \text{ Lot Coverage}$$

Per Objective 1.8, Future Land Use Categories, of the City of Riviera Beach Comprehensive Plan the maximum floor area (FAR) permitted is 1.15.

Based on the maximum floor area ratio (1.15), the maximum square footage that could be developed on the property is 362,212 square-feet:

7.23 acres (314,967 sf) x 1.15 = 362,212 square-feet

Based on the total square-footage proposed (120,282 square-feet), the floor area ratio is (.38):

120,282 square feet ÷ 7.23 acres (314,967 sf) = .38 FAR

Parking:

Required Parking:

*Warehouse - 1 space / 1,000 S.F. @ 120,282 S.F. = 120 spaces

Total: 120 spaces

* The 10% accessory office is inherent to the warehouse use and is not subject to a separate parking calculation. Additional office s.f. above 10% would then need to implement the alternative parking provided along the north property line.

Proposed Parking:

Total: 120 spaces

Handicap Spaces Required: 5 Spaces

Handicap Spaces Proposed: 5 Spaces

Loading Spaces Required (12' x 30' Min): 7 Spaces

Loading Spaces Proposed (12' x 54, 12' x 60'): 52 Spaces

Standards of Code Compliance – Site Plan Approval Request:

Per Section (Sec.) 31-482, General Classification, of the City of RB Code of Ordinances a property within the IG Zoning District that is greater than one acre is subject to site plan review and must take the following standards into consideration:

1. Demonstrate that proposed use is appropriate to site:

Response: To the north of the subject property are several warehouse/distribution uses. To the west is a vacant parcel zoned General Industrial – IG. To the south is warehouse/distribution and light manufacturing uses. To the east of the subject site is President Barack Obama Highway, Florida East Coast Railway and then a vacant parcel of land that is located within the Riviera Beach CRA district. The proposed site design and layout was planned so that minimal impacts were imposed on surrounding properties.

2. Demonstrate how drainage and paving requirement will be met:

Response: The proposed site plan and associated paving and drainage plans have been designed to control all stormwater on-site and discharge

meeting State and local requirements. The site will utilize a combination of infiltration trenches and on-site dry detention area for stormwater run-off.

3. Demonstrate any landscaping techniques to visually screen use from adjacent uses:

Response: The site is mostly clear of vegetation as this was a drive-in movie theatre several years ago. The submittal package includes a landscape plan that identifies proposed perimeter buffers and plantings. The perimeter of the site will include native trees installed so that they provide adequate screening from adjacent rights-of-ways and surrounding properties. Please see enclosed Landscape Plans prepared by Schmidt Nichols.

4. Demonstrate what is proposed to reduce the impact of any potential hazards, problems, public nuisances generated by use:

Response: Properties to the north, south, and west support similar industrial type uses. The proposed use is not expected to generate any potential hazards, problems, or public nuisances to this property. A six-foot (6') decorative aluminum fence will be installed around the perimeter, as well as rolling gates for security.

5. Demonstrate how utilities and other service requirements of the use can be met:

Response: All necessary utilities currently service this site due to the location along two major roadways. Water/sewer and electrical are available to the site and will be connected as indicated on the paving, drainage, water and sewer plans prepared by McLeod, McCarthy & Associates that have been submitted with this application.

6. Demonstrate how the impact of traffic generated will be handled:

Response: The proposed development meets all the tests requirements of the Palm Beach County Traffic Performance Standards. Please see attached traffic report from Pinder Troutman Consulting.

Standards of Granting Special Exceptions:

1. Ingress to and egress from the property and the proposed structures thereon, if any, including such considerations as automotive and pedestrian safety and convenience, traffic flow and control, and access in case of fire or catastrophe.

Response: The proposed development will have frontage and access from West 13th Street, with the main public entrance located on the south side of the building. There will be two (2) secondary access points, one along West 13th Street and another secured truck access on President Barack Obama

Highway. The proposed use is not expected to generate any potential hazards, problems, or public nuisances to this property. The applicant is proposing a 10' x 30' bus school shelter along the east property line to promote public safety. A six-foot (6') decorative aluminum fence will be installed around the perimeter, as well as rolling gates for security. The proposed development meets all the tests requirements of the Palm Beach County Traffic Performance Standards. Please see attached traffic report from Pinder Troutman Consulting

2. Off-street parking and loading areas, where required, including consideration of relevant factors in subsection (2) a. of this section, and the economic, noise, glare or odor effects of the location of such areas on adjacent and nearby properties and properties generally in the district.

Response: The proposed development is in compliance with the required number of parking spaces for the proposed warehouse and storage use. The applicant is providing 13 12' x 54' and 39 12' x 60' loading spaces to the north of the proposed warehouse building. The proposed site design and layout was planned so that minimal impacts were imposed on surrounding properties. The applicant has proposed perimeter lighting throughout the proposed development, which is anticipated to reduce glare and promote traffic safety.

3. Refuse and service areas, including consideration of relevant factors in subsections (2) a. and b. of this section.

Response: The applicant is proposing a dumpster enclosure along the west property line for the proposed development.

4. Utilities, including such consideration as hook-in locations and availability and compatibility of utilities for the proposed use or structure.

Response: All necessary utilities currently service this site due to the location along two major roadways. Water/sewer and electrical are available to the site and will be connected as indicated on the paving, drainage, water and sewer plans prepared by McLeod, McCarthy & Associates that have been submitted with this application.

5. Screening, buffering and landscaping, including consideration of such relevant factors as type, dimensions and character to preserve and improve compatibility and harmony of use and structures between the proposed special exception and the uses and structures of adjacent and nearby properties and properties generally in the district.

Response: To the north of the subject property are several warehouse/distribution uses. To the west is a vacant parcel zoned General Industrial – IG. To the south is warehouse/distribution and light manufacturing uses. To the east of the subject site is President Barack

Obama Highway, Florida East Coast Railway and then a vacant parcel of land that is located within the Riviera Beach CRA district. The proposed site design and layout was planned so that minimal impacts were imposed on surrounding properties. The submittal package includes a landscape plan that identifies proposed perimeter buffers and plantings. The applicant is proposing a 5' landscape buffer along the north and west property line and is proposing a 10'/15' ROW landscape buffer along the east property line and a 10' ROW landscape buffer along the south property line. The east property line has been upgraded to account for all required plant material as stipulated for a 15' buffer. The perimeter of the site will include native trees installed so that they provide adequate screening from adjacent rights-of-ways and surrounding properties. Please see enclosed Landscape Plans prepared by Schmidt Nichols.

6. Signs, or outside displays, if any, and proposed exterior lighting, if any, with reference to glare, traffic safety and economic effects of same on properties in the district.

Response: The applicant is proposing a monument sign along President Barack Obama Highway just south of the truck ingress and egress, and an additional proposed monument sign along 13th Street near the car entrance across from 13th Court. The applicant has proposed perimeter lighting throughout the proposed development, which is anticipated to reduce glare and promote traffic safety.

7. Required yards and open spaces. The board shall make such recommendations as it deems necessary, guided by the factors that may be described in this zoning district, based on the nature of the request and its effect.

Response: The proposed development exceeds all of the appropriate setbacks (front, side interior, side corner, rear) and is in compliance with the 20% pervious requirement pursuant to Sec. 31-609.C

Principal Arterial Design Standards Overlay – Appearance

1. All structures on the same parcel of land or in the same development shall have a unified architectural theme. Color building elevations identifying said architectural theme shall be required to be submitted to the City for all applicable new developments, renovations, or additions.

Response: The color Paint Scheme Details, Elevation are part of our submittal and are provided on the attached PDF. The proposed elevations of all sides of the building have been updated to provide a waterline color change to provide additional interest in the elevations. The south and east elevations have been upgraded to provide glazing at both pedestrian level as well as the upper portions of the building to provide for visual interest as seen from President Barack Obama Highway. The intermediate color has been eliminated and three colors remain to create a cohesive color scheme.

2. Building walls exposed to public view shall be designed through the use of a coherent and clear architectural design consistent with the character of the building. Building designs should incorporate architectural details and natural lighting.

Response: The elevations facing 13th Street and President Barack Obama Highway include articulations, canopies, fin walls, storefront glass, and earth toned paint colors that create a coherent architectural design. The east façade has incorporated additional fenestration by adding storefronts and a secondary color as a trim around the store fronts as well as the parapet around the building. South façade has also been upgraded to add some clear story windows for added visual interest as well as to add some natural light into the structure. The glazing is in keeping with the code prescribed regulations through all facades of the building.

3. Buildings facing a public street or interior courtyard space shall be architecturally emphasized through entrance treatments and building details. Buildings with more than one facade facing a public street shall provide architectural treatment on each such facade.

Response: The main building façade faces 13th Street, with three office features utilizing canopies, fin walls, storefront glass, vertical reveals, and horizontal reveals for entrance treatments. The façade along President Barack Obama will wrap the easternmost office features, again utilizing a canopy, fin wall, storefront glass, horizontal reveals, and vertical reveals.

4. Roofing shall be incombustible material such as shingles, clay or cement tiles, or metal.

Response: Roofing shall consist of metal decking underneath rigid insulation and a mechanically attached single-ply TPO membrane. Parapet walls along the east, south, and west façades of the building will prevent the roof from being visible from the street.

5. Roof and exterior wall surfaces, with the exception of glass, shall be nonreflective. Reflective or mirrored glazing at ground level, visible from the sidewalk, is prohibited.

Response: Roof and exterior wall surfaces will be non-reflective. The storefront glazing for the office entrances will be non-mirrored glazing.

6. The rear and side of buildings shall be finished with material that in texture and color resembles the front of the building.

Response: The main building material of the rear and sides of the buildings will be concrete with textured pain, matching the front concrete façade.

7. Glass windows and doors must make-up a minimum of twenty percent of the primary elevation and a minimum of ten percent of the secondary elevation. The primary elevation is defined as facing the abutting arterial road. The secondary elevation is defined as facing a perpendicular side road. Faux windows do not count towards the above-mentioned required percentages.

Response: Heavy amounts of glass have been incorporated into the design to provide a corporate look and feel for the facility that are in keeping with the intent of the design standards overlay, as illustrated by the architectural rendering that we're including in our submittal package. The elevations facing 13th street as well as PBOH have been upgraded to provide the code prescribed amounts of glazing and storefronts.

8. The coloration of all building walls shall be with a maximum of three colors, exclusive of the roof color. The primary use of "earth tone" and neutral color palettes shall be required. Semi-transparent stains are recommended for application on natural wood.

Response: The proposed paint colors include the earth tone shades of Gray and Perle Noir, as depicted on our Paint Scheme Details.

9. Canopies over vehicular use areas shall have a maximum clearance of up to 14 feet above grade and shall be consistent with the main building design. The canopy columns shall be architecturally finished to match the building.

Response: None of the proposed canopies will be over vehicular use areas.

10. Work area or storage doors and open bays shall not open toward or otherwise be visible from any of the designated principal roads.

Response: The principal roads face the building's office features and storefront glass, and none of the dock doors open toward the principal roads. Additionally, the submittal package includes a landscape plan that identifies proposed perimeter buffers and plantings. The perimeter of the site will include native trees installed so that they provide adequate screening from the adjacent rights-of-ways and loading areas. However, it should be noted that the proposed primary use for this development is warehouse and storage.

11. Heating, ventilation, air conditioning equipment, duct work, air compressors, other fixed operating machinery shall be either screened from public view or located so that such items are not visible from a designated arterial, adjacent residential properties or intersecting street.

Response: Parapet walls running along the east, south, and west façades of the building will minimize the visibility of all rooftop equipment.

12. No temporary structures shall be permitted, except those used in conjunction with and during construction. Office-type mobile units when used as temporary facilities shall be screened from view from a designated arterial and equipped with rigid skirting on all sides. Any towing gear shall be removed, and if not removable, shall be screened from a designated arterial.

Response: Acknowledged.

On behalf of the Applicant, 1501 Florida Mango LLC, Schmidt Nichols respectfully requests your approval of this Special Exception Use Major Site Plan Amendment application.



CITY OF RIVIERA BEACH

600 WEST BLUE HERON BLVD. • RIVIERA BEACH, FLORIDA 33404
PHONE (561) 845-4060 FAX (561) 845-4038

DEVELOPMENT SERVICES DEPARTMENT

March 1, 2019

April 1, 2019

April 10, 2019

Sent by email: jsperling@snlandplan.com

Attn: Jordan Sperling, Agent
1551 N Flagler Drive, Suite 102
West Palm Beach, FL 33401

Re: City Staff Review of Site Plan and Special Exception Application for JDA Industrial (SP-19-02 / SE-19-01).

Questions and comments generated from City staff review of the Site Plan application for JDA Industrial Site Plan and Special Exception proposal at address 1301 President Barack Obama High Way, associated with Parcel Control No. 56-43-42-33-00-000-3010, has been attached.

Please be advised that it is the responsibility of the agent to follow up with all applicable reviewing agencies / departments prior to resubmittal and ensure that all comments are satisfied.

Police Department (561-845-4123): ~~See attached.~~ Pending.

Fire (561-845-4137): See attached.

Utility District (561-845-4185): ~~See attached.~~ Pending.

Public Works / Engineer (561-845-4080): ~~See attached.~~ Pending.

Building (561-845-4020): See attached. Pending.

Planning and Zoning (561-845-4060):

Application:

1. Revise to reflect application no. SP-19-02 / SE-19-01. **RESOLVED.**
2. ~~A plat amendment may be required to reflect dry detention area prior to CO.~~
Deferred to Engineering.

PSP-2:

3. Revise the Monument sign detail for the entire sign to not exceed 42 SF. (From base to sign area) **RESOLVED.**

PSP-1:

4. Revise to reflect application no. SP-19-02 / SE-19-01. **RESOLVED.**
5. Under the site data, the proposed use must reflect the use as identified in the IG Zoning District "Warehouse and Storage". **RESOLVED.**
6. Provide the square footage for all foundation plantings. **RESOLVED.**
7. Dimension access points to the building. **RESOLVED.**
8. ~~Is there any accessory office space associated with the warehouse space? If so, it must be delineated and adequate parking must be provided as appropriate.~~ **OUTSTANDING ISSUE. N/A (No Office Space Proposed)**
9. Provide dumpster enclosure typical details and enclosure must comply with Landscape code. Provide a letter from Waste Management approving the provided dumpster, since on dumpster may not be sufficient for the proposed property. **OUTSTANDING ISSUE. Future Additional Dumpster will Require Site Plan Amendment (Conditions of Approval). RESOLVED.**
10. All bay doors must be identified and dimensioned as appropriate. The site plan indicate a total of 30 bays, however only two bay doors identified. **OUTSTANDING ISSUE. RESOLVED.**
11. Please identify all loading areas as appropriate. Loading spaces must be 12X30 feet with a maneuvering apron of 30 feet. **RESOLVED.**
12. Provide all wheel stops on the plan to be consistent with provided typical. (Landscape Sec.31-610,c) **OUTSTANDING ISSUE. RESOLVED.**
13. Provide breakdown for loading spaces under the site Data. **RESOLVED.**
14. Dimension the distance and identify the ultimate ROW for all abutting roads. Pending Engineering response to FDOT. **OUTSTANDING ISSUE. Deferred to Engineering.**
15. Delineate safe site visibility triangle at all ingress and egress point. **RESOLVED.**
16. ~~Dimension the median at the eastern ingress/egress point.~~ **OUTSTANDING ISSUE**
17. Provide the depth of the dry-detention area. (Cross section may be helpful) **RESOLVED.**
18. Dimension all terminal landscape islands and interior islands that are not typical. Islands must comply with code section (Landscape Sec.31-610) **OUTSTANDING ISSUE. RESOLVED.**
19. Delineate structures within 100 feet of the property. **RESOLVED.**
20. Delineate all future / proposed signage on the plan. **RESOLVED.**
21. ~~Revise the truck parking area to have a landscape island as the total spaces provided are beyond 10 spaces. (Landscape Sec.31-610)~~ **OUTSTANDING ISSUE**
22. ~~Dimension truck spaces width.~~ **OUTSTANDING ISSUE**
23. As discussed during the pre-application meeting, the proposed ingress at the eastern portion of the property conflicts with code Sec.31-62(a). Thus, revise to

- either reflects only egress, or provide at least 150 feet of stacking from the property line to the proposed gate. **OUTSTANDING ISSUE RESOLVED.**
24. Delineate Bays as appropriate. **OUTSTANDING ISSUE RESOLVED.**
25. Label the proposed height on the site plan (on building layout) and under the site data. **RESOLVED.**
26. A minimum of 15 feet ROW Landscape buffer is required along the eastern property line, per Code Sec.31-551. **Required plant Material Relocated on site.**
27. Remove the alternative parking from the site plan.
28. Remove the office use square footage and parking calculation under the site data.
29. Any office spaces proposed in the future must be able to meet parking requirements for offices.
30. Chain Link fencing is not allowed along PBOH (decorative aluminum fencing or similar is required). Thus, revise the site plan accordingly. **RESOLVED.**
31. Revise indication of number of bays to say Number of Bay Doors. **RESOLVED.**

Narrative:

32. Revise the last sentence of the first for conflicts with permitted uses in the IG Zoning District. Office is not a permitted use in the IG; thus, no future office will be allowed as a primary use. **OUTSTANDING ISSUE RESOLVED.**
33. Under site design and layout: Revise for the use to be consistent with uses identified in the IG for all adjacent properties. **RESOLVED.**
34. Under site design layout: Please revise to reflect the correct section of the IG Zoning District for property development standards (Sec.31-383). **RESOLVED.**
35. Provide responses to the Special Exception criteria. **RESOLVED.**
36. Revise narrative discussing faux windows. **RESOLVED.**
37. Remove any reference of accessory office from the site plan and Justification as applicable. **RESOLVED.**
38. Revise the Justification Statement Description of Request & Parking section to delete any reference regarding exceeding 30% accessory office per bay. Paragraphs should only reference the alternative parking provided will only accommodate a maximum total of 4,800 SF. If it was to be implemented. **OUTSTANDING ISSUE RESOLVED.**

PSP-1 / Application / Narrative:

39. Future Land Use must only be identified as Industrial: thus, delete the (I) wherever applicable. **RESOLVED.**
40. Please revise for warehouse and storage use, the code does not address any flex space. **RESOLVED.**
41. Please provide building floor plans. **OUTSTANDING ISSUE**

42. Submit revise elevations that provide additional architectural features and color scheme for the building façade fronting both Arterial roads (President Barack Obama Hwy & W 13th Street). ~~(PENDING)~~ **RESOLVED.**

Landscape:

43. Please revise LP-6 landscape requirements table for provided shade trees and accent trees. Tree types must be consistent with Code Sec.31-621, Appendix-B. Thus, provided shade trees and accent trees must meet the minimum required amount. **OUTSTANDING ISSUE RESOLVED.**
44. A minimum of 6 species of shade trees is required. Thus, revise landscape accordingly. (Code Sec.31-605) **OUTSTANDING ISSUE RESOLVED.**
45. Please provide an irrigation plan to be consistent with Code Sec.31-602. **RESOLVED.**
46. Please identify a minimum of eight (8) feet of Clear Trunk for the provided Palm Trees under the Plant List table (LP-6). **RESOLVED.**
47. Please revise the total number of Proposed Palm Trees provided. The landscape requirement chart says 8 however the landscape plan and plant list indicate 35. (maximum 42) **RESOLVED.**
48. A minimum of 15 feet ROW Landscape Buffer is required along President Barack Obama Highway pursuant to the Principle Arterial Overlay. **Required plant Material Relocated on site.**

Comment: Please be advised that additional comments may be applicable as a result of revised documents and plans.

Please provide a written response to all questions and comments. If the response to a comment results in changes to documents or plans, please provide details within the written response explaining the change(s) made. For the resubmittal please provide hard copies and a digital copy of all documents provided in a CD (all documents must be in PDF or DWG format). Feel free to contact us with questions or comments; (561) 845-4021, or jleger@rivierabch.com

Josue Leger, Senior Planner/ GIS Specialist
C: Jeff Gagnon, AICP Interim Development Services Director



MEMORANDUM

To: Josue Leger, Senior Planner
From: John Armstrong, Senior Utilities Engineer
Date: April 10, 2019
Re: SE-19-01 JDA Industrial (1301 President Barack Obama Hwy)
56-43-42-33-00-000-3010

The Utility District has no comments on the site plan.

Gagnon, Jeff

From: Todd McLeod <todd@mcleodmccarthy.com>
Sent: Wednesday, April 10, 2019 8:05 PM
To: Armstrong, John
Cc: Benjamin.Jacobs@ferguson.com; Walker, Leighton C; Leger, Josue; Gagnon, Jeff
Subject: Re: Construction drawings for the JDA Industrial (1301 President Barack Obama Hwy)

Thanks John,

I don't foresee an issue with any of these.

Todd McLeod, P.E.
McLeod • McCarthy & Associates
561.689.9500

On Apr 10, 2019, at 7:52 PM, Armstrong, John <JArmstrong@Rivierabch.com> wrote:

Todd,

I just sent Josue a no-comments memo for the site plan.

Information for pending construction drawings for the JDA Industrial (1301 President Barack Obama Hwy) project are as follows:

1. The City of Riviera Beach Utility District is in the process of changing out our large meters which will be replaced by meters from another manufacturer, Mueller systems. Please see the attached e-mail and contact Benjamin Jacobs to obtain specs on the new meters.
2. Construction drawings shall include standard details for proposed sewer and water utility connections.
3. Any water and/or sewer connections shall be coordinated and supervised by Utility District personnel. A minimum of 72-hour notice is required for connections. The City of Riviera Beach Utility District assumes no responsibility for any potential conflicts.
4. Construction drawings shall include potable water and sewer use calculations in accordance with the City of Riviera Beach Code of Ordinances (Sec. 31-716).

Sincerely,

John A. Armstrong, P.E.
Senior Utilities Engineer
City of Riviera Beach Utility Special District
600 West Blue Heron Boulevard
Riviera Beach, FL 33404
Office: Phone is pending
Cell: (561) 329-7473
email: jarmstrong@rivierabch.com
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