



MEETING AGENDA PLANNING AND ZONING BOARD CITY OF RIVIERA BEACH, FL

LOCAL PLANNING AGENCY

Development Services Department: (561)845-4060, www.rivierabch.com

Commencement – 6:30 PM
Thursday, September 12, 2019

City Council Chambers - Municipal Complex
600 W. Blue Heron Blvd., Riviera Beach, FL 33404

If you wish to speak on any item(s) on this agenda, please complete a public comment card and provide it to Planning and Zoning Staff. Cards must be submitted prior to Board discussion of an item. Thank you.

I. MOMENT OF SILENCE AND PLEDGE OF ALLEGIANCE

II. ROLL CALL

Rena Burgess, Chairperson

James Gallon, Board Member

Anthony Brown, Board Member

William Wyly, Board Member

Evelyn Harris Clark, 1st Alternate

Jon Gustafson, Vice-Chair

Margaret Shepherd, Board Member

Stephen Hunt, Board Member

Moeti Ncube, 2nd Alternate

III. ACKNOWLEDGEMENT OF BOARD MEMBER ABSENCE NOTIFICATION

IV. ADDITIONS AND DELETIONS TO THE AGENDA

V. DISCLOSURE BY BOARD MEMBERS AND ADOPTION OF THE AGENDA

VI. APPROVAL OF MINUTES – August 29, 2019.

VII. UNFINISHED BUSINESS – None.

VIII. NEW BUSINESS

A. AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF RIVIERA BEACH, PALM BEACH COUNTY, FLORIDA, ABANDONING A PORTION OF (OLD) EAST 13th STREET (FLAGLER AVENUE PER PLAT) AS SHOWN ON RIVIERA, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 2, PAGES 90 AND 91 OF THE PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA, SAID PORTION LYING BETWEEN BLOCK 2 AND BLOCK 14 OF SAID PLAT, BOUNDED ON THE EAST BY THE WEST RIGHT-OF-WAY LINE OF AVENUE C AND BOUNDED ON THE WEST BY THE EAST RIGHT-OF-WAY LINE OF BROADWAY (U.S. 1/STATE ROAD NO. 5) AND SAID LANDS LYING AND BEING IN SECTION 33, TOWNSHIP 42 SOUTH, RANGE 43 EAST, LOCATED WITHIN THE CITY OF RIVIERA BEACH, FLORIDA, CONTAINING 25,508 SQUARE FEET (0.5856 ACRE) MORE OR LESS; PROVIDING CONDITIONS; PROVIDING FOR SEVERABILITY AND CONFLICTS; AND PROVIDING FOR AN EFFECTIVE DATE.

- B.** A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF RIVIERA BEACH, PALM BEACH COUNTY, FLORIDA, APPROVING SITE PLAN APPLICATION (SP-18-22) TO RECONFIGURE THE EXISTING WAREHOUSE (OFFICE AND SHOWROOM) INTERIOR SPACE AND PARKING, FOR NEWMAN WINDOWS AND DOORS, LOCATED AT 1649 AVENUE L, ASSOCIATED WITH PARCEL CONTROL NUMBERS 56434229110160031; 56434228310160031 HAVING AN INDUSTRIAL FUTURE LAND USE DESIGNATION AND A GENERAL INDUSTRIAL (IG) ZONING DESIGNATION; AND PROVIDING FOR AN EFFECTIVE DATE.

IX. WORKSHOP ITEMS

- A.** Preliminary discussion of increased P&Z Board involvement with long-range planning.

X. GENERAL DISCUSSION

- A.** PUBLIC COMMENTS
- B.** CORRESPONDENCE
- C.** PLANNING AND ZONING BOARD COMMENTS
 - 1.** Project Updates / Upcoming Projects
 - 2.** Upcoming P&Z Board Meetings – Sept. 26, 2019 / Oct. 10, 2019

XI. ADJOURNMENT

NOTICE: In accordance with the Americans with Disabilities Act, persons in need of a special accommodation to participate in this proceeding shall, within a reasonable time prior to any proceeding, contact the City of Riviera Beach, 600 West Blue Heron Boulevard, Riviera Beach, Florida 33404, Telephone 561-845-4000 or TDD 561-840-3350, www.rivierabch.com.

Page 1	Page 3
<p>CITY OF RIVIERA BEACH PLANNING AND ZONING BOARD</p> <p>---</p> <p>Thursday, August 29, 2019</p> <p>Council Chambers 600 West Blue Heron Boulevard Riviera Beach, Florida</p> <p>6:36 p.m. - 7:14 p.m.</p> <p>---</p> <p>IN ATTENDANCE:</p> <p>Rena Burgess, Chair Anthony Brown, Board Member James Gallon, Board Member William Wyly, Board Member Evelyn Harris Clark, 1st Alternate Moeti Ncube, 2nd Alternate Jeff Gagnon, Acting Director of Development Services Lina F. Busby, Assistant City Attorney Simone Davidson, Planner</p>	<p>1 MS. DAVIDSON: Margaret Shepherd. 2 (No response.) 3 MS. DAVIDSON: Stephen Hunt. 4 (No response.) 5 MS. DAVIDSON: Rena Burgess. 6 CHAIR BURGESS: Here. 7 MS. DAVIDSON: You have a quorum. 8 CHAIR BURGESS: Thank you. 9 On to item III, acknowledgment of Board 10 member absence notification. 11 MR. GAGNON: Yes, thank you, Madam Chair. 12 Jeff Gagnon, Acting Director of Development 13 Services. I did hear from our three Board members that 14 are absent, Mr. Gustafson, Ms. Shepherd and Mr. Hunt as 15 well, that they had conflicts tonight. With the 16 absence of at least two permanent Board members, I 17 would ask that both alternate Board members receive 18 voting rights for tonight's meeting. 19 CHAIR BURGESS: So noted. 20 Item IV, additions and deletions to the 21 agenda. 22 MR. GAGNON: No additions or deletions. 23 CHAIR BURGESS: Item V, disclosure by Board 24 members and adoption of the agenda. Are there any 25 disclosures? Adoption of the agenda, is there a</p>
Page 2	Page 4
<p>1 BE IT REMEMBERED that the following Planning 2 and Zoning Board meeting was had at Riviera Beach City 3 Hall Council Chambers, 600 West Blue Heron Boulevard, 4 Riviera Beach, Florida, on Thursday, August 29, 2019, 5 beginning at 6:36 p.m., with attendees as hereinabove 6 noted, to wit: 7 --- 8 CHAIR BURGESS: Good evening. The time is 9 now 6:36. Today is Thursday, August 29th, 2019. I'm 10 calling the meeting to order. We'll begin with a 11 moment of silence, followed by the Pledge of 12 Allegiance. 13 (Moment of silence observed. Pledge of 14 Allegiance recited.) 15 CHAIR BURGESS: Roll call. 16 MS. DAVIDSON: James Gallon. 17 MR. GALLON: Here. 18 MS. DAVIDSON: Anthony Brown. 19 MR. BROWN: Here. 20 MS. DAVIDSON: William Wyly. 21 MR. WYLY: Here. 22 MS. DAVIDSON: Evelyn Harris Clark. 23 MS. CLARK: Present. 24 MS. DAVIDSON: Jon Gustafson. 25 (No response.)</p>	<p>1 motion? 2 MR. GALLON: So moved. 3 CHAIR BURGESS: Is there a second? 4 MR. BROWN: Second. 5 CHAIR BURGESS: Roll call. 6 MS. DAVIDSON: James Gallon. 7 MR. GALLON: Yes. 8 MS. DAVIDSON: Anthony Brown. 9 MR. BROWN: Yes. 10 MS. DAVIDSON: William Wyly. 11 MR. WYLY: Yes. 12 MS. DAVIDSON: Evelyn Harris Clark. 13 MS. CLARK: Yes. 14 MS. DAVIDSON: Moeti Ncube. 15 MR. NCUBE: Yes. 16 MS. DAVIDSON: Rena Burgess. 17 CHAIR BURGESS: Yes. 18 MS. DAVIDSON: Unanimous vote. 19 CHAIR BURGESS: Thank you. 20 Item VI, approval of the minutes from the 21 July 25th, 2019 meeting. Is there a motion? 22 MR. GALLON: So moved. 23 CHAIR BURGESS: Is there a second? 24 MR. BROWN: Second. 25 CHAIR BURGESS: Roll call.</p>

Page 5	Page 7
<p>1 MS. DAVIDSON: James Gallon. 2 MR. GALLON: Yes. 3 MS. DAVIDSON: Anthony Brown. 4 MR. BROWN: Yes. 5 MS. DAVIDSON: William Wyly. 6 MR. WYLY: Yes. 7 MS. DAVIDSON: Evelyn Harris Clark. 8 MS. CLARK: Yes. 9 MS. DAVIDSON: Moeti Ncube. 10 MR. NCUBE: Yes. 11 MS. DAVIDSON: Rena Burgess. 12 CHAIR BURGESS: Yes. 13 MS. DAVIDSON: Unanimous vote. 14 CHAIR BURGESS: Item VII we're going to skip, 15 unfinished business, seeing there is none. On to item 16 VIII, new business. 17 MR. GAGNON: Yes, thank you, Madam Chair. 18 We have one item tonight under new business, 19 which is letter A. This is a discussion and request 20 for motion to approve temporary relocation of Fire 21 Station 88 for those existing service, which is 22 currently located at 1621 West Blue Heron Boulevard, 23 which is directly adjacent to Barracuda Bay, just to 24 the west, and that would be to relocate to the City 25 owned property located at 1481 West 15th Street in</p>	<p>1 function as living quarters on an as-needed basis. 2 So this is the first trailer proposed, which 3 will function as office and living quarters. It's not 4 a very large facility. This is intended to be 5 temporary, just to allow for demolition of the existing 6 Fire Station and construction of the site plan that was 7 approved about six months or so ago. We're going to 8 have a brand new Fire Station, and this is needed in 9 order to facilitate that. 10 The second trailer is, again, the restroom 11 and shower facility. There's an ADA accessible stall 12 as well. So again, it's a temporary solution to the 13 current need. 14 I would imagine that the City will utilize 15 these trailers in the future as we renovate different 16 sites, so it's not any sort of sunk cost. It's 17 something that will be utilized into the future for 18 other redevelopment. 19 So I'm here to answer any questions you may 20 have. 21 CHAIR BURGESS: Okay. So being that we don't 22 have any comment cards, we'll move into comments from 23 the Board. I'll start to my right with Mr. Ncube. 24 MR. NCUBE: How long will the relocation be 25 for?</p>
Page 6	Page 8
<p>1 order to proceed with demolition of the existing Fire 2 Station 88 and commence construction of a new Fire 3 Station. 4 So before you is an aerial view which depicts 5 both the current location of Fire Station 88, which is 6 on the north side of the screen, the upper portion of 7 the screen, highlighted in red. So that's currently 8 adjacent to Blue Heron Boulevard and also adjacent to 9 Barracuda Bay. 10 The location that is proposed for temporary 11 relocation is identified in yellow towards the bottom 12 of the screen. That is associated with our Public 13 Services building off of 15th Street. It also has a 14 frontage on 13th Street as well, which is off of Avenue 15 R. 16 So this is a closer aerial view of the site. 17 This is the Public Safety site that the City acquired a 18 few years back. And this is the specific location that 19 will be utilized for the temporary relocation of those 20 Fire Station services. 21 There is an existing structure on site within 22 this area, which will be used for kind of day-to-day 23 activities, and this proposal is to add two additional 24 trailers. One will be for bathroom facilities, shower 25 facilities, as well as an office type trailer that will</p>	<p>1 MR. GAGNON: So the estimated timeframe right 2 now is approximately two years. That would be for 3 demolition and full reconstruction of the brand new 4 Fire Station on Blue Heron Boulevard. 5 CHAIR BURGESS: Does that conclude your 6 questions? 7 MR. NCUBE: Yes, ma'am. 8 CHAIR BURGESS: Okay, Mrs. Clark. 9 MS. CLARK: The temporary location, will it 10 accommodate the current equipment or any other 11 necessities over at the new building, from the old to 12 the new? 13 MR. GAGNON: Yes, ma'am, it will. The 14 trailers will be located on the south side and the east 15 side of the existing structure. The equipment will be 16 staged on the west side of the building. And if I can 17 highlight here, this ingress and egress point will be 18 used solely for Fire and first responder apparatus. 19 MS. CLARK: Okay. 20 MR. GAGNON: So this will be designated, if 21 there is a fire emergency, they will use this as the 22 exit point. There will be no other vehicular traffic 23 that could come into this site, so this entrance will 24 be utilized for our day-to-day operations as well as 25 the other site to the east. So this will be solely for</p>

<p style="text-align: right;">Page 9</p> <p>1 Fire Station 88 use.</p> <p>2 MS. CLARK: With the existing Fire Station,</p> <p>3 I'm sure with the equipment, such as the fire trucks,</p> <p>4 there are cameras, it's secured. In this location is</p> <p>5 equipment going to be anywhere secured outside or</p> <p>6 inside? Where is it --</p> <p>7 MR. GAGNON: It will be both. It's difficult</p> <p>8 to see with this aerial, but there's a structure here.</p> <p>9 Maybe if I go back one slide. There is an existing</p> <p>10 building here, so that could be locked and secured, as</p> <p>11 well as the fact the entire perimeter of this site is</p> <p>12 fenced and secured.</p> <p>13 MS. CLARK: Oh, okay.</p> <p>14 MR. GAGNON: So it's something where it can</p> <p>15 be secured on the perimeter as well as internally if</p> <p>16 there's specialized equipment that needs to be housed</p> <p>17 in that manner.</p> <p>18 THE CLERK: That concludes my question.</p> <p>19 CHAIR BURGESS: Thank you.</p> <p>20 Mr. Brown.</p> <p>21 MR. BROWN: No comments.</p> <p>22 CHAIR BURGESS: Okay, and over to my left</p> <p>23 with Mr. Wyly.</p> <p>24 MR. WYLY: I've got a couple questions.</p> <p>25 Given the recent, I guess, environmental activity</p>	<p style="text-align: right;">Page 11</p> <p>1 from there. And do we have any other structures that</p> <p>2 are maybe partially already built so where we wouldn't</p> <p>3 have to start from the ground up with the shelters? I</p> <p>4 mean so do we have any other facilities that the City</p> <p>5 own that we can just kind of just, you know, utilize</p> <p>6 until the new building is constructed?</p> <p>7 MR. GAGNON: So this was really the largest</p> <p>8 parcel available. There was conversations -- and it's</p> <p>9 difficult to see, but just to the west of the current</p> <p>10 Fire Station there is really a vacant space. The</p> <p>11 School Board actually owns that land.</p> <p>12 MR. WYLY: Right.</p> <p>13 MR. GAGNON: So there were conversations with</p> <p>14 the School Board, and the City never was able to reach</p> <p>15 an agreement as far as a leasing price. And</p> <p>16 ultimately, because it is small, I think discussions</p> <p>17 with the School Board, plus the fact that it's not that</p> <p>18 large of a space kind of led staff to look at the</p> <p>19 existing site that we're currently proposing.</p> <p>20 There was also some consideration of</p> <p>21 utilizing the parking spaces behind Barracuda Bay.</p> <p>22 MR. WYLY: Right.</p> <p>23 MR. GAGNON: But we thought there may be</p> <p>24 difficulty with completing the ongoing construction and</p> <p>25 also utilizing that parking area simultaneously. So</p>
<p style="text-align: right;">Page 10</p> <p>1 that's going on now, will the shelter be able to hold</p> <p>2 up for hurricane situations or any kind of weather that</p> <p>3 we may have, or something to make sure that, you know,</p> <p>4 the firemen are safe?</p> <p>5 MR. GAGNON: Absolutely. It's a very good</p> <p>6 question. So even though they are trailers, they would</p> <p>7 have to be secured to meet all of the current wind</p> <p>8 loads.</p> <p>9 MR. WYLY: Right.</p> <p>10 MR. GAGNON: I believe that the wind load</p> <p>11 requirement, it's either 170 miles an hour or 180 miles</p> <p>12 an hour in our region.</p> <p>13 MR. WYLY: Right.</p> <p>14 MR. GAGNON: So there would be building</p> <p>15 permits submitted to the Development Services division</p> <p>16 that make sure that all the temporary structures are</p> <p>17 tied down --</p> <p>18 MR. WYLY: Right.</p> <p>19 MR. GAGNON: -- and that they're constructed</p> <p>20 and designed in order to meet those wind load</p> <p>21 requirements.</p> <p>22 MR. WYLY: All right. I think that's</p> <p>23 actually a great location. That leads to my next</p> <p>24 question: Was there any other location -- I know that</p> <p>25 area is an industrial area because I don't live too far</p>	<p style="text-align: right;">Page 12</p> <p>1 what this will do is keep the services active and</p> <p>2 provide enough separation from the reconstruction of</p> <p>3 the Fire Station to allow that to move forward as</p> <p>4 quickly as possible.</p> <p>5 MR. WYLY: Now, the area that is seen right</p> <p>6 now as far as the one that they're tearing down, is</p> <p>7 there enough space there? I guess what I'm getting at</p> <p>8 is the location that we have now, and I think that's a</p> <p>9 very excellent location, what would be the possibility</p> <p>10 of that being a permanent, to be built up for a</p> <p>11 permanent, because I think that's a great location to</p> <p>12 have a Fire Station permanently.</p> <p>13 MR. GAGNON: Yes, it was never -- at least</p> <p>14 not for Fire Station 88, it wasn't considered for a</p> <p>15 permanent location. The site plan that was approved</p> <p>16 recently that did go before the Planning and Zoning</p> <p>17 Board and City Council really considered utilizing that</p> <p>18 similar site or the identical site as far as Station 88</p> <p>19 now. I think that was partially because of the</p> <p>20 frontage on Blue Heron for access --</p> <p>21 MR. WYLY: Right, right, right.</p> <p>22 MR. GAGNON: -- and also really the</p> <p>23 visibility of that building. So, you know, I think the</p> <p>24 City -- this is me and just my opinion, but I think the</p> <p>25 City wants to be able to show, like look at our --</p>

Page 13	Page 15
<p>1 MR. WYLY: Visibility.</p> <p>2 MR. GAGNON: -- nice new Fire Station --</p> <p>3 MR. WYLY: Right.</p> <p>4 MR. GAGNON: -- and having it in that</p> <p>5 prominent location kind of allows us --</p> <p>6 MR. WYLY: That keeps it where -- I just kind</p> <p>7 of figured it would be more -- we can build a bigger,</p> <p>8 better, because with that location was kind of -- like</p> <p>9 you say, with the property owned by the school, you can</p> <p>10 only build only to a certain size.</p> <p>11 MR. GAGNON: Right.</p> <p>12 MR. WYLY: But with this location here, we</p> <p>13 pretty much maximize anything we had here. But you're</p> <p>14 right though, you want the visibility, especially the</p> <p>15 Blue Heron. All right, thank you.</p> <p>16 MR. GAGNON: You're very welcome.</p> <p>17 CHAIR BURGESS: Mr. Gallon.</p> <p>18 MR. GALLON: Yes, I have a couple of</p> <p>19 questions. Will that portable be large enough to house</p> <p>20 five to six people around the clock?</p> <p>21 MR. GAGNON: What I can say to that is our</p> <p>22 Interim Fire Chief has approved of the portables. I</p> <p>23 don't think that me or anyone else would say that it's</p> <p>24 optimal, an optimal situation. You know, this is</p> <p>25 something that it's almost a necessity in order to</p>	<p>1 the staging for the fire apparatus will be on the west</p> <p>2 side of this structure in the center. The memo</p> <p>3 specifies that there will be a covered canopy over that</p> <p>4 area as well.</p> <p>5 I haven't seen the specific details</p> <p>6 associated with that. I believe the goal is to provide</p> <p>7 adequate coverage for the entire area, so then that</p> <p>8 way, if there is just a rainstorm and people are called</p> <p>9 to an emergency, that they're exactly not running into</p> <p>10 the situation that you described where they're trying</p> <p>11 to, you know, scramble to a fire truck in inclement</p> <p>12 weather. So the goal is to have a covered area to</p> <p>13 allow, you know, as expeditiously as possible,</p> <p>14 individuals getting into those fire apparatus.</p> <p>15 MR. GALLON: Okay. I wanted to make sure</p> <p>16 that was on record, because I wanted to make sure that</p> <p>17 those guys are comfortable.</p> <p>18 CHAIR BURGESS: Thank you, Mr. Gallon.</p> <p>19 I have a question or two. First question,</p> <p>20 the new temporary location, is that going to affect the</p> <p>21 response time any for the firemen?</p> <p>22 MR. GAGNON: So there is a specified response</p> <p>23 time range that our Fire Department tries to stay</p> <p>24 within. I think the quickest answer I could provide is</p> <p>25 yes, relocating the Fire Station will provide a</p>
Page 14	Page 16
<p>1 allow us to move forward with the construction of the</p> <p>2 brand new Fire Station that hopefully will provide more</p> <p>3 than ample space for everybody.</p> <p>4 So the current proposed facilities, the</p> <p>5 temporary facilities will be suitable for our current</p> <p>6 needs. Again, it's not optimal, but it's just a needed</p> <p>7 step in order to get to our final construction phase of</p> <p>8 the new Fire Station.</p> <p>9 MR. GALLON: I don't have a problem with</p> <p>10 that. What I have an issue with is to make sure that</p> <p>11 our first responders are comfortable. No matter where</p> <p>12 they are, where you're going to put them, but they need</p> <p>13 to be comfortable.</p> <p>14 And, you know, how are they -- the trucks,</p> <p>15 where are they going to be located and stored until</p> <p>16 they are used? And the reason why I'm asking that, I</p> <p>17 notice that on Mr. Bailey's memorandum that he's going</p> <p>18 to have an aluminum canopy cover. Will that also be</p> <p>19 covering the trucks? You know, when these guys are</p> <p>20 running to go to the truck, are they going to have to</p> <p>21 run in the rain? Where are the trucks going to be</p> <p>22 located at?</p> <p>23 MR. GAGNON: That's a good question. So the</p> <p>24 concept now is to locate a trailer on the east side and</p> <p>25 also the south side of the existing structure, and that</p>	<p>1 different response time. I think though that depending</p> <p>2 on where the emergency location is though, it could</p> <p>3 impact it negatively or positively.</p> <p>4 For example, if the call is to one of the</p> <p>5 neighborhoods to the south, you know, the apparatus</p> <p>6 will now be closer. If it's on the north side of Blue</p> <p>7 Heron, it may be that a fire truck is deployed from a</p> <p>8 different location. If it's now within a closer range,</p> <p>9 if there's other vehicles that are on the road already,</p> <p>10 maybe they would be called out to respond.</p> <p>11 The one other thing that's worth noting, and</p> <p>12 I think I can demonstrate it on the larger aerial, on</p> <p>13 Avenue R there's a median on Blue Heron Boulevard. But</p> <p>14 what transpired was the City worked with FDOT, and the</p> <p>15 intersection at Avenue P and Blue Heron Boulevard no</p> <p>16 longer has a median in the center of the roadway, which</p> <p>17 would allow for emergency vehicles to exit and head</p> <p>18 westbound on Blue Heron.</p> <p>19 So it was something that's been thought</p> <p>20 through for a moment, and you know, again, to answer</p> <p>21 your question, yes, response time should be impacted.</p> <p>22 But would it be drastically impacted? No. And the</p> <p>23 Fire Chief feels comfortable with this location.</p> <p>24 CHAIR BURGESS: Okay, so that leads into my</p> <p>25 second question, the route, depending on where the call</p>

Page 17	Page 19
<p>1 comes from, because right now at the current location, 2 they have that -- the lights that stops the traffic. 3 So they're not going to have that anymore. If they're 4 going to a call that's north and they are going up 5 Avenue R or even Avenue P to get out on Blue Heron -- I 6 guess you would need it more for Avenue P -- you said 7 there's no median there, so they could go either way, 8 But there's not going to be a light, so -- 9 MR. GAGNON: That's correct. Yes, I think 10 the current Fire Station, because it sits mid block and 11 it's not at a defined intersection, it has the lights. 12 And then that way, if there was a need to get the fire 13 apparatus out very quickly, you'd be able to do so. So 14 because it's mid block, I think that's why the lights 15 are there versus if the exit point was at an 16 established intersection. 17 You know, the equipment would have sirens, a 18 horn, they would cautiously go into the intersection, 19 but would utilize those tools in order to make it a 20 safe turn onto Blue Heron. 21 CHAIR BURGESS: Yes, because that could, you 22 know, of course, impact the response time as well, 23 trying to get out into traffic, because sometimes 24 people don't hear, they don't pay attention, and you 25 know, just being able to get them to where they need to</p>	<p>1 isn't any blockage. But this is a different dynamic, 2 because it's in a residential community. 3 MR. GAGNON: You've asked multiple very good 4 questions. Let me see if I can respond. As far as 5 abandoned vehicles, trucks, things like this parked in 6 the roadway, to your point, it's not direct access to 7 Blue Heron Boulevard. You know, it is -- I would 8 consider it a secondary road off of Avenue R or Avenue 9 P. 10 It would really be a traffic enforcement 11 initiative to ensure that there is a clear passageway. 12 What I've seen in the past though is if first 13 responders need to get from point A to point B, there's 14 very few things that will deny that from happening. So 15 I guess overall it would be a law enforcement activity 16 as far as ensuring clean and clear rights of passage 17 within the right-of-way. 18 MS. CLARK: I mean if that's coordinated, I'm 19 okay with that. I'm just asking the question that it 20 should be coordinated, because again, it's not a clean 21 path the way Fire Station 88 is, and we already know 22 that we have a big problem with abandoned everything on 23 our residential area. And this is critical for 24 emergency, so they always have to have an audit and 25 make sure the area is constantly clean, for example.</p>
Page 18	Page 20
<p>1 be within a decent amount of time. So there's no -- 2 right now there's no plans to put any of those lights 3 up anywhere for them? 4 MR. GAGNON: Not at this time, no, ma'am. 5 CHAIR BURGESS: Okay, and it's like two years 6 without that? 7 MR. GAGNON: Correct. 8 CHAIR BURGESS: Okay. 9 MS. CLARK: Madam Chair. 10 CHAIR BURGESS: Yes, Ms. Harris -- Ms. Clark. 11 MS. CLARK: Since this is going to become a 12 two year initiative, what sort of signage will be 13 visible so that the community now knows that this is a 14 fire place that's temporary? 15 And also too, what kind of notifications will 16 be given to the residents so that they know that if in 17 the event an emergency happens, that these trucks are 18 coming out at different points on different roads? 19 And also too, that timeliness and response is 20 important, and how are they maintaining to make sure 21 there are not cars abandoned or some sort of garbage, 22 mounds, a heap -- currently we do have that problem -- 23 that would inhibit the Fire Department navigating 24 around that, because with Fire Station 88, it's pretty 25 much full rein to get to where they are going. There</p>	<p>1 MR. GAGNON: Yes, I think that makes a lot of 2 sense. I know there's other industry that uses that 3 area as well. But I think as part of the Planning and 4 Zoning Board's, you know, considerations and 5 recommendations to City Council, I think that that's a 6 comment that very well could be included as far as 7 ensuring that staff's put on notice. And perhaps 8 there's a plan that's developed that is coordinated 9 with Riviera Beach Police as well to patrol the area 10 and ensure that there are no instances of abandoned 11 vehicles. 12 MR. NCUBE: Madam Chair. 13 CHAIR BURGESS: You're acknowledged. 14 MR. NCUBE: Just adding onto her concerns, 15 were there any calculations done, because I would think 16 normally when you decide on a location, you might do 17 some analysis as far as response time, the expected 18 response times towards the -- around the city. So were 19 there any calculations done as far as like the impact 20 of moving it to this particular location? 21 MR. GAGNON: I was not provided with that 22 information. But I can say as part of the, I guess, 23 the need of utilizing this proposed site, there was, I 24 guess, significant lack of other options for the City, 25 whether that was, you know, not having other City</p>

Page 21	Page 23
<p>1 properties that could accommodate it, not having the 2 ability to go out and lease private space to 3 accommodate it. So what I can say is it's been 4 reviewed by the Fire Chief, and he feels comfortable 5 with it moving forward. But I don't have specific 6 numbers or analyses that have been provided to me. 7 MR. NCUBE: Okay, thank you. 8 MR. WYLY: Madam Chair. 9 CHAIR BURGESS: You're acknowledged, 10 Mr. Wyly. 11 MR. WYLY: Thank you, ma'am. 12 Over the years the property -- like I say, I 13 like the idea here. But I was wondering, the property 14 running north to Avenue R and also Avenue P, the 15 property that's across the street on the north side, 16 right, has been abandoned for 40, 50 years on both 17 sides of -- even on Australian, on that side behind the 18 gas station and that property from Avenue P coming back 19 towards, coming back towards Avenue R. That abandoned 20 property, does the City own that property? 21 Because I see that that would be a good area 22 to be able to place the Fire Department permanently if 23 that was our property to be able to, I guess, to 24 upgrade, because nothing is going -- I mean like I say, 25 it's been about 40, 50 years since anything. So do we</p>	<p>1 you can add stated recommendations for -- with the 2 motion. So at this time I'll ask: Is there a motion 3 for item A under new business? 4 MS. CLARK: A motion is just to approve the 5 temporary location site for Station 88? 6 CHAIR BURGESS: Yes, ma'am. 7 MS. CLARK: I make a motion that we approve 8 the temporary location for Fire Station 88. 9 MR. NCUBE: Second. 10 CHAIR BURGESS: Okay, roll call. 11 MS. DAVIDSON: James Gallon. 12 MR. GALLON: Yes. 13 MS. DAVIDSON: Anthony Brown. 14 MR. BROWN: Yes. 15 MS. DAVIDSON: William Wyly. 16 MR. WYLY: Yes. 17 MS. DAVIDSON: Evelyn Clark. 18 MS. CLARK: Yes. 19 MS. DAVIDSON: I'm sorry, Evelyn Harris 20 Clark. 21 MS. CLARK: Yes. 22 MS. DAVIDSON: Moeti Ncube. 23 MR. NCUBE: Yes. 24 MS. DAVIDSON: Rena Burgess. 25 CHAIR BURGESS: Yes.</p>
Page 22	Page 24
<p>1 own that property? 2 MR. GAGNON: So unfortunately, it's not City 3 owned property. The property to the north, actually we 4 do have an active site plan application that's in 5 review, so hopefully that comes before the Planning and 6 Zoning Board in the near future. 7 MR. WYLY: Right. 8 MR. GAGNON: What's currently being proposed 9 there is kind of a -- excuse me, not residential -- a 10 commercial type of use which seems like it will be a 11 really good fit for that area. So hopefully that comes 12 over the next, I'll say couple months to the Planning 13 and Zoning Board. 14 There's property that's further east that is 15 just north of our former Public Works site. That's 16 also privately owned. 17 So I think that when staff was looking at 18 other possible locations, unfortunately, the City just 19 doesn't have control of the property. And it was 20 difficult, because the market is up right now, to 21 really get access to any other private property. 22 MR. WYLY: Right, okay. Thank you. 23 CHAIR BURGESS: Okay, are there any other 24 Board comments before we move for a vote? Seeing none, 25 just remember when you make a motion or whatnot, that</p>	<p>1 MS. DAVIDSON: Unanimous vote. 2 CHAIR BURGESS: I would just add with that we 3 didn't include any recommendations, but you have our 4 notes, and we would ask that those notes are also 5 passed on to City Council, okay? 6 MR. GAGNON: Absolutely, Madam Chair. We 7 will be sure to provide the Planning and Zoning Board 8 minutes to the Council as well. 9 CHAIR BURGESS: Thank you. On to item nine, 10 workshop items. Do we have any workshop items? 11 MR. GAGNON: We do not. 12 CHAIR BURGESS: Okay. Item X, general 13 discussion. We don't have any public comments. If you 14 have correspondence, we can hear that. 15 MR. GAGNON: Yes, ma'am. 16 So under correspondence, we received a memo, 17 which is provided in the backup packet from the Police 18 Chief discussing newly proposed stop signs on Avenue S. 19 There is two proposals, both at the intersection of 20 West 33rd Street, as well as West 35th Street. 21 This was initiated after public comments 22 really associated with vehicles were speeding on Avenue 23 S. So there's been community input, and we just want 24 to be sure that the Planning and Zoning Board had the 25 opportunity to see this proposal really prior to any</p>

Page 25	Page 27
<p>1 action taking place. I believe we're going to provide 2 this to City Council as well, just to inform the public 3 of this action. 4 CHAIR BURGESS: Okay, are there any comments 5 about this correspondence? Anybody want to comment on? 6 No, I would say that intersection of Avenue S 7 and West 33rd, because that's right down the street 8 from me, I think that's a really good place for a stop 9 sign, because like I said, that's down the street from 10 my house, and you have a hard time looking for traffic 11 coming out of there. So I'm not quite as familiar with 12 35th, but I would assume it's probably about the same 13 thing. So I think that's a good cause. I'm in support 14 of that. 15 So we'll move on to item C, Planning and 16 Zoning Board comments. We'll do that first, and then 17 we'll go into project updates. Does anyone have any 18 comments? I'll start with Mr. Ncube. 19 MR. NCUBE: I do not. 20 CHAIR BURGESS: Ms. Clark? 21 MS. CLARK: Is that on the stop sign 22 comments? 23 CHAIR BURGESS: It could be. It could be on 24 anything at this point that you have for the Board. 25 MS. CLARK: I just have a question. How did</p>	<p>1 Beach? 2 MR. GAGNON: I believe there are currently 3 stop signs. I don't have them mapped out right now. I 4 know previously it may not have been a similar way of 5 getting to the stop signs, but I think there was 6 previous concerns, and that resulted in stop signs 7 being added. And I think this is a second phase or a 8 third phase of additional stop signs. 9 CHAIR BURGESS: I can answer that, Mr. Brown. 10 The next nearest stop sign would be down closest to the 11 park. I think that's your next one. 12 MR. GALLON: Where the school is. 13 CHAIR BURGESS: But that's the only stop sign 14 going -- 15 MR. BROWN: Going north. 16 CHAIR BURGESS: -- north of that area. So 17 after that stop sign, right there at the park, there's 18 no other stop signs all the way down until you get to 19 Silver Beach. 20 MR. BROWN: Thank you. 21 CHAIR BURGESS: Okay, Mr. Wylly. 22 MR. WYLY: This comment is on anything, 23 pretty much? 24 CHAIR BURGESS: Yes. This is just Board 25 comments. Board comments is anything that you want</p>
Page 26	Page 28
<p>1 the request for the stop sign come about? Did the 2 residents petition and get signatures and the whole 3 community agreed upon that, or was there some sort of 4 assessment, audit conducted to determine that usage of 5 stop signs would be the best option? 6 MR. GAGNON: So Ms. Clark, I don't believe 7 that there was a petition, but I believe that there 8 was, again based on the memo from the Chief the Police, 9 there was various complaints provided to the Police 10 Department. So I think that initiated a safety 11 assessment of the intersections. 12 So the Police Department I know is working 13 with our Public Works Department as well. And I 14 received correspondence from our Public Works Director 15 stating that all of the typical traffic regulations 16 would be met by adding these stop signs. 17 So I can't say it's at the level of a full 18 petition, however, we did, the Police Department did 19 receive specific complaints about those intersections, 20 and this is in response to those complaints. 21 MS. CLARK: Okay, thank you. 22 MR. GAGNON: You're welcome. 23 CHAIR BURGESS: Mr. Brown. 24 MR. BROWN: On the stop signs, are there 25 other stop signs along that route from 30th to Silver</p>	<p>1 to -- 2 MR. WYLY: Okay, one concern that I do have 3 throughout the years in my neighborhood in Federal 4 Gardens was that I know at one point in time we had 5 restrictions as far as the businesses, the trucks and 6 the sizes of the trucks coming through the neighborhood 7 of a residential area where kids are playing. 8 And a lot of the trucks, the oversized trucks 9 are coming through, and I thought that's what we had 10 a street, actually Martin Luther King Boulevard, 11 expanded to be your transportation back and forth for 12 the businesses. 13 And numerous trucks are taking, I guess, 14 shortcuts through the neighborhood, and sometimes it's 15 a little dangerous because sometimes they come through 16 there pretty fast because we don't have any speed 17 limits posted anywhere. And I definitely don't want 18 anything to happen to any of the children that's in the 19 neighborhood. 20 But I have noticed that a lot of, you know, a 21 lot of the trucks that actually in that area, 22 especially where we are locating to put the Fire 23 Department, in that area a lot of vehicles are coming 24 through at a pretty high speed sometimes. And I 25 understand. I managed Fed Ex for numerous years, and I</p>

7 (Pages 25 to 28)

Page 29	Page 31
<p>1 understand these guys work on a schedule, and I 2 understand that. But we don't want to put the public 3 safety in harm either. 4 So is it anything, because at one point they 5 put the sign up, and then about two months later they 6 took the sign down and then it started back again. And 7 I was confused over why that happened, given that that 8 was a residential ares. And now the trucks are now 9 coming back through again. At one point in time, an 18 10 wheeler came through there. And I was like, okay, that 11 was a little too much, all right. 12 And I was just wondering what was the plan on 13 that and possibly getting that set up, because I don't 14 see a big change between taking Australian to Martin 15 Luther King Boulevard and then back out to where they 16 have to go at just to take a shortcut through the city. 17 And then I think that's a little more dangerous, 18 especially when you're passing down by Suncoast to get 19 onto Congress. 20 So is there any way that we can get some -- 21 that we can kind of prohibit the vehicles, the 22 oversized vehicles from coming into that neighborhood? 23 MR. GAGNON: I remember having a meeting on 24 the same item. It was probably around a year ago now. 25 What we ended up discovering is the initial intent was</p>	<p>1 The other thing that I think it started 2 before and it was somewhat successful was really just 3 having open dialogue with a lot of the delivery 4 businesses -- 5 MR. WYLY: Right. 6 MR. GAGNON: -- that utilize that roadway and 7 simply just making the request, you know, if possible, 8 please utilize the main roadways, utilize Blue Heron if 9 you can, utilize, you know, Congress, Australian, just 10 not cutting through neighborhoods to get to those main 11 corridors. 12 MR. WYLY: Right. 13 MR. GAGNON: And that seemed to be somewhat 14 successful; maybe not 100 percent successful. But it 15 might be with turnover with delivery drivers that maybe 16 weren't a part of that conversation before, maybe it's 17 worthwhile having that conversation again. If not 18 having a true legal enforcement mechanism, maybe it's 19 just having a do what's best for the neighborhood type 20 of conversation and best business practice 21 conversation. 22 MR. WYLY: Well, it would be good just to 23 have some kind of deterrent just so, you know, it's not 24 a free-for-all for all the vehicles to go through. And 25 like I said, the biggest problem may be, just that like</p>
Page 30	Page 32
<p>1 to install signs that restricted truck access. Once we 2 looked into the actual enforcement mechanisms behind 3 it, the Police Department had difficulty enforcing 4 trucks not being able to go down the residential 5 streets. 6 MR. WYLY: Right. 7 MR. GAGNON: There is -- and I'm not an 8 expert on this. This is just what I'm recalling from 9 the meeting. But there was conversation of, you know, 10 if there was a bridge or something that had a certain 11 weight limit, that that would allow for signage that 12 would prelude certain larger vehicles from going over a 13 certain street because of the safety element associated 14 with a potential bridge collapse, something like that. 15 MR. WYLY: Right. 16 MR. GAGNON: But what the Police Department 17 found was there was difficulty in enforcing access 18 through those roadways just by putting up signage. So 19 I don't know if it's a statutory issue. 20 There's been other conversation as far as 21 maybe putting in speed humps or speed tables, things 22 that would deter vehicles from using it as a 23 shortcut -- 24 MR. WYLY: Right. 25 MR. GAGNON: -- basically.</p>	<p>1 you say, with turnover of the drivers, that they don't 2 know that they're not allowed to go through that area 3 and probably need to be reeducated on that. So you 4 have a good point on that. 5 But, yes, I think that's why I say the 6 signage would probably be something that would be good 7 just so they were cognizant of they're going into a 8 residential area and slow it down. We already have 9 speed bumps in our area coming around that corner for 10 13th Street. So I just don't want anybody to get 11 injured, or the kids, because the kids still play in 12 that area. 13 All right, thank you, Mr. Gagnon. 14 MR. GAGNON: You're welcome. 15 CHAIR BURGESS: All right, Mr. Gallon. 16 MR. GALLON: No comment. 17 CHAIR BURGESS: Okay, so we'll hear now 18 project updates and upcoming projects. 19 MR. GAGNON: I would like to ask the Board to 20 put that off to our next meeting, our next regular 21 meeting, and I will provide the full project update 22 that I promised during our last meeting. 23 CHAIR BURGESS: So noted. Hearing that, is 24 there a motion to adjourn? 25 MR. GALLON: So moved.</p>

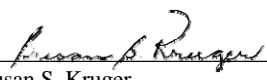
1 CHAIR BURGESS: Adjourned.
2 (Whereupon, at 7:14 p.m., the proceedings
3 were concluded.)
4

5
6 CERTIFICATE

7
8
9 THE STATE OF FLORIDA)
10)
11 COUNTY OF PALM BEACH)
12

13 I, Susan S. Kruger, do hereby certify that
14 I was authorized to and did report the foregoing
15 proceedings at the time and place herein stated, and
16 that the foregoing pages comprise a true and correct
17 transcription of my stenotype notes taken during the
18 proceedings.

19 IN WITNESS WHEREOF, I have hereunto set my
20 hand this 4th day of September, 2019.

21
22
23 
24 Susan S. Kruger
25





**CITY OF RIVIERA BEACH STAFF REPORT
CASE NUMBER AB-18-01
ABANDONMENT FOR OLD EAST 13th STREET
SEPTEMBER 12, 2019**

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF RIVIERA BEACH, PALM BEACH COUNTY, FLORIDA, ABANDONING A PORTION OF (OLD) EAST 13th STREET (FLAGLER AVENUE PER PLAT) AS SHOWN ON RIVIERA, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 2, PAGES 90 AND 91 OF THE PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA, SAID PORTION LYING BETWEEN BLOCK 2 AND BLOCK 14 OF SAID PLAT, BOUNDED ON THE EAST BY THE WEST RIGHT-OF-WAY LINE OF AVENUE C AND BOUNDED ON THE WEST BY THE EAST RIGHT-OF-WAY LINE OF BROADWAY (U.S. 1/STATE ROAD NO. 5) AND SAID LANDS LYING AND BEING IN SECTION 33, TOWNSHIP 42 SOUTH, RANGE 43 EAST, LOCATED WITHIN THE CITY OF RIVIERA BEACH, FLORIDA, CONTAINING 25,508 SQUARE FEET (0.5856 ACRE) MORE OR LESS; PROVIDING CONDITIONS; PROVIDING FOR SEVERABILITY AND CONFLICTS; AND PROVIDING FOR AN EFFECTIVE DATE.

- A. Applicants:** Riviera Beach Community Redevelopment Agency
Authorized Agent: Gentile Glas Holloway O'Mahoney & Associates, Inc.
- B. Request:** The applicant is requesting the abandonment of a portion of Old East 13th Street.
- C. Location:** The subject area is portions of Right of Way named Old East 13th Street, as depicted on Exhibit 'A'.
- D. Property Description and Uses:** The subject property description and uses are as follows:

<u>Parcel Control Numbers:</u>	N/A
<u>Area:</u>	0.5856 Acres (total combined)
<u>Existing Use:</u>	Right of Way (Old E. 13 th St.)
<u>Zoning:</u>	Downtown Core (DC) Zoning District
<u>Future Land Use:</u>	Downtown Mixed Uses (DMU) Future Land Use

E. Adjacent Property Description and Uses:

<u>North:</u>	Downtown Core (DC) Zoning District: Vacant Lots
<u>South:</u>	Downtown Core (DC) Zoning District: Vacant Lots
<u>East:</u>	Downtown Core (DC) Zoning District: Avenue C, City Marina
<u>West:</u>	Downtown Core (DC) Zoning District: Broadway Avenue, Commercial Development

F. Background:

The City Council approved the Marina District Master Plan in February of 2013 after the Planning and Zoning Board recommended approval. The abandonment of the existing Right of Way is necessary to allow for the reconfiguration of the Marina District Uplands and to allow for a replat of the Marina District, including a relocated roadway system. This is all in accordance with the Marina District Master Plan and the Site Plan approval request that will enable the implementation of specific elements within the Master Plan. These elements include, vacate and abandon rights of way throughout the development.

G. Staff Analysis:

Proposed Use: N/A

Zoning Regulations: Section 29-66 of the City's Code of Ordinance provides criteria to be reviewed and considered by the City Council in order to approve the requested abandonment. The Applicant has addressed all applicable elements.

Comprehensive Plan: The abandonment is consistent with the City's regulations. Additionally, it is consistent with the City's Comprehensive Plan, improving public space and facilities.

Levels of Service: Phase 1 marina development meets required levels of service. There will be an increased police presence, updated fire safety apparatuses on site, increased pedestrian and vehicular access to the Marina site upon completion compared to its current configuration.

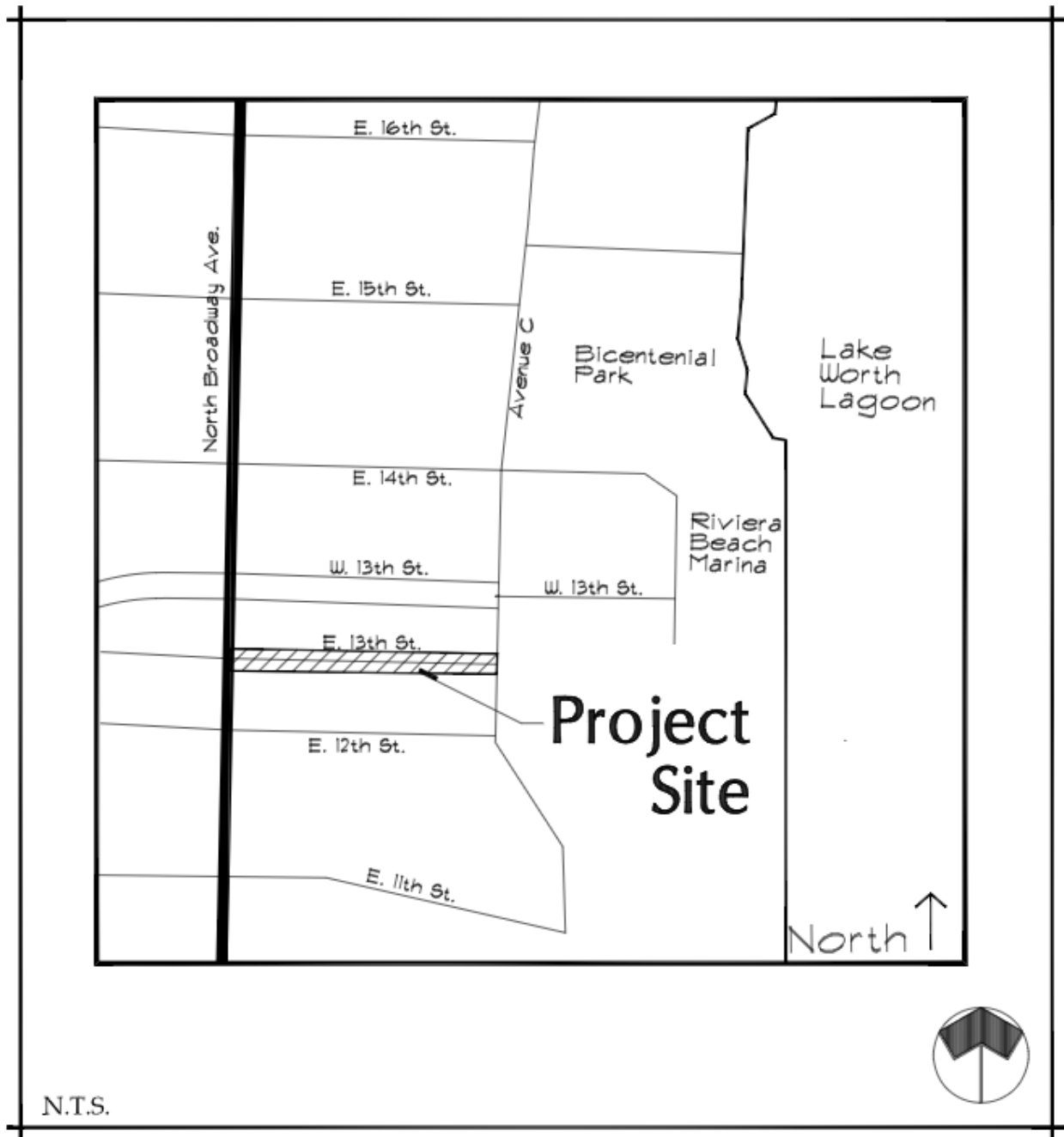
Landscaping: New landscaping is not required nor proposed with this abandonment request.

Parking/Traffic: A parking analysis of the site has been performed. Currently, there is adequate parking provided per the City's Code for the elements currently proposed, however as development occurs in the future, additional parking will be needed. This may include the construction of a parking garage, additional surface parking or active management strategies for our existing spaces.

H. Recommendation:

Staff recommends that the Planning and Zoning Board recommend approval of the abandonment proposal to the City Council.

Location Map



13th Street Abandonment

Legal Description

R/W ABANDONMENT – 13TH STREET

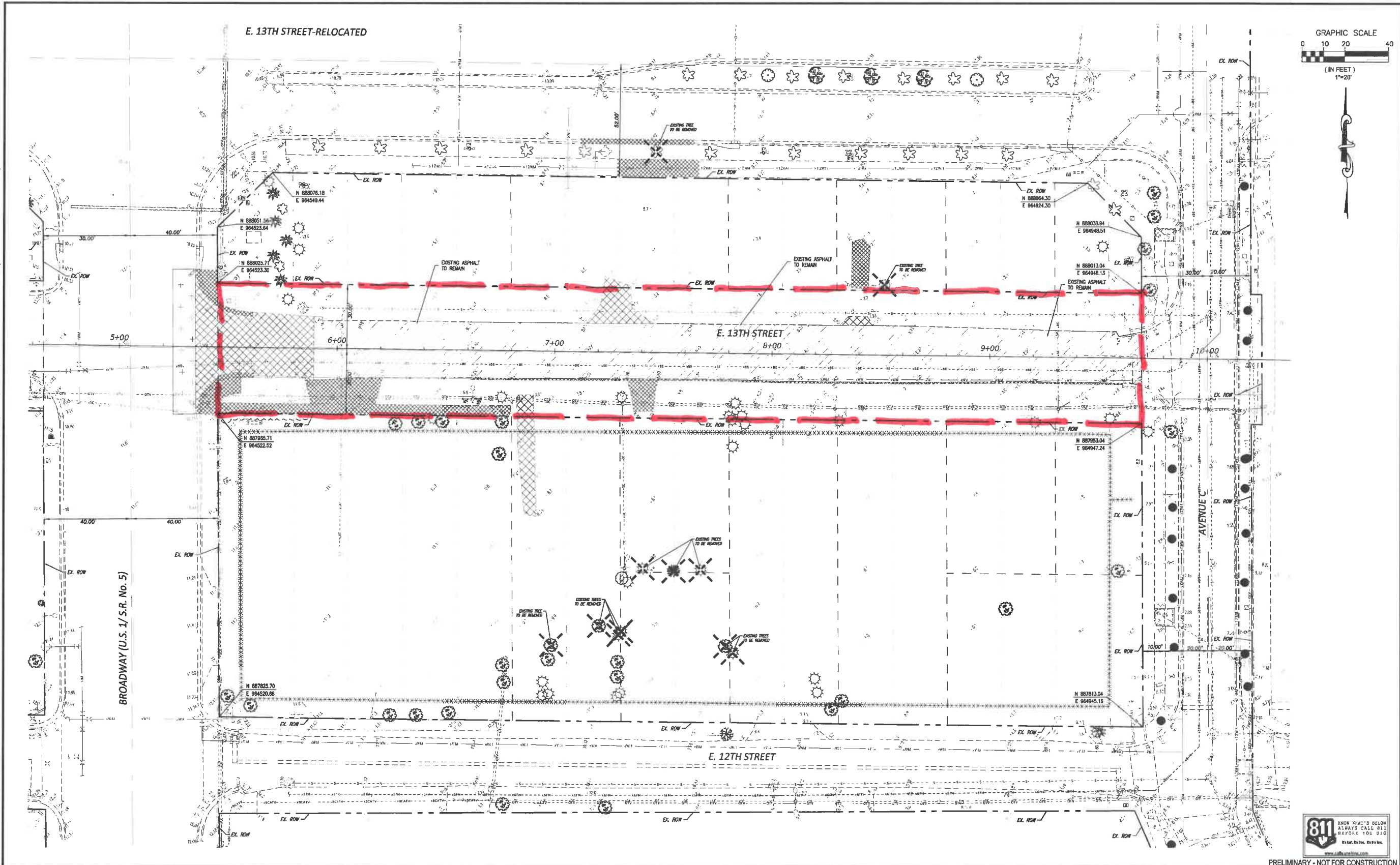
LEGAL DESCRIPTION:

A PORTION OF EAST 13th STREET (FLAGLER AVENUE PER PLAT) AS SHOWN ON RIVIERA, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 2, PAGES 90 AND 91 OF THE PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA, SAID PORTION LYING BETWEEN BLOCK 2 AND BLOCK 14 OF SAID PLAT, BOUNDED ON THE EAST BY THE WEST RIGHT-OF-WAY LINE OF AVENUE C AND BOUNDED ON THE WEST BY THE EAST RIGHT-OF-WAY LINE OF BROADWAY (U.S. 1/STATE ROAD No. 5) SAID PORTION BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE NORTHEAST CORNER OF SAID BLOCK 14; THENCE, ALONG THE EASTERLY EXTENSION OF THE NORTH LINE OF SAID BLOCK 14, NORTH 88°17'30" WEST A DISTANCE OF 10.00 FEET TO THE POINT OF BEGINNING ON THE WEST RIGHT-OF-WAY LINE OF AVENUE C; THENCE, CONTINUE ALONG SAID NORTH LINE OF BLOCK 14 AND DEPARTING SAID WEST RIGHT-OF-WAY LINE, NORTH 88°17'30" WEST A DISTANCE OF 425.29 FEET TO A POINT ON THE EAST RIGHT-OF-WAY LINE OF BROADWAY (U.S. 1/S.R. No. 5); THENCE, ALONG SAID EAST RIGHT-OF-WAY LINE, NORTH 00°48'59" EAST A DISTANCE OF 60.01 FEET TO A POINT OF INTERSECTION WITH THE NORTH LINE OF; THENCE ALONG THE SOUTH LINE OF SAID BLOCK 2, SOUTH 88°17'30" EAST A DISTANCE OF 424.97 FEET TO A POINT ON THE WEST RIGHT-OF-WAY LINE OF SAID AVENUE C; THENCE, ALONG SAID WEST RIGHT-OF-WAY LINE, SOUTH 00°30'23" WEST A DISTANCE OF 60.01 FEET TO THE POINT OF BEGINNING.

SAID LANDS LYING AND BEING IN SECTION 33, TOWNSHIP 42 SOUTH, RANGE 43 EAST, CITY OF RIVIERA BEACH, PALM BEACH COUNTY, FLORIDA, AND CONTAINING 25,508 SQUARE FEET (0.5856 ACRE) MORE OR LESS.

File Name: Z:\2017\179849 City of Riviera Beach - 13th St ROW Evacuation\179849-DEMOR001.dwg - (Plotted by: Lee Rowbottom on Wednesday, March 27, 2019 1:33:37 PM)



NO	DATE	REVISION	BY	NO	DATE	REVISION	BY



Calvin, Giordano & Associates, Inc.
EXCEPTIONAL SOLUTIONSSM
300 Village Boulevard - Suite 325 - West Palm Beach, FL 33409
Phone 561.684.6161 • Fax 561.684.6360
Certificate of Authorization 514

E 13TH STREET ABANDONMENT & PARKING
E 13TH ST TO E 12TH ST, BROADWAY TO AVE C
RIVIERA BEACH, FLORIDA

**EXISTING CONDITIONS
AND DEMOLITION PLAN**

DAVID STAMBAUGH, P.E.
STATE OF FLORIDA PROFESSIONAL ENGINEER
LICENSE No. 70757
DATE: 04-01-2019

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SCALE: 1" = 20'
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SHEET: 5
D-1
OF: 17

File Name: Z:\2017\179849 City Of Rivera Beach - 13th St. R\179849.2 Viking Developers E 13 ST ROW Evacuation\CAOD Files\Drawings\179849-LGNDRD01.dwg - (Plotted by: Lee Rowbottom on Monday, July 8, 2019 3:38:09 PM)

ABBREVIATION LEGEND		LINE TYPE LEGEND		PROPOSED SYMBOL LEGEND		EXISTING SYMBOL LEGEND		EXISTING TREE LEGEND	
ARV	AIR RELEASE VALVE		LOT LINE		BOLLARD		SPOT ELEVATION (FT)		ARECA PALM
BE	BURIED ELECTRIC		CENTER LINE		AIR RELEASE VALVE		BENCHMARK		AUSTRALIAN PINE TREE
BFP	BACK FLOW PREVENTOR		EASEMENT LINE		B.S.P. No.		BOLLARD		BLACK OLIVE TREE
BFV	BUTTERFLY VALVE		RIGHT-OF-WAY LINE		WATER METER		AT&T MANHOLE		CABBAGE PALM TREE
BM	BENCHMARK		PROPOSED RIGHT-OF-WAY LINE		FIRE HYDRANT		AT&T RISER		COCONUT PALM
BOP	BOTTOM OF PIPE		SECTION LINE		FIRE DEPARTMENT CONNECTION		AT&T HANDHOLE		FAN PALM
BSP	BACTERIOLOGICAL SAMPLING POINT		GUARDRAIL		SINGLE WATER SERVICE		AT&T FIBER OPTIC MARKER		GUMBO LIMBO TREE
CAP	CORRUGATED ALUMINUM PIPE		EXISTING CHAIN LINK FENCE		DOUBLE WATER SERVICE		CABLE TV MANHOLE		LIVE OAK TREE
CB	CATCH BASIN		EXISTING CHAIN LINK FENCE (TO BE REMOVED)		BACKFLOW PREVENTER		CABLE TV RISER		MAHOGANY
CI	CURB INLET		PROPOSED CHAIN LINK FENCE		DOUBLE DETECTOR CHECK VALVE		ELECTRIC HANDHOLE		MANGO TREE
CIP	CAST IRON PIPE		EXISTING WOOD FENCE		REDUCER		ELECTRIC METER		MELALEUCA
CLF	CHAIN LINK FENCE		EXISTING PICKET FENCE		GATE VALVE		FPL MANHOLE		SCHEFFLERA TREE
CMP	CORRUGATED METAL PIPE		EXISTING FORCE MAIN		90°, 45°, 22.5° & 11.25° BENDS		TRAFFIC CONTROL BOX		SEA GRAPE
CO	CLEAN OUT		PROPOSED FORCE MAIN		SANITARY FLOW DIRECTION		TRAFFIC PEDESTAL		SHRUB
CONC	CONCRETE		EXISTING SANITARY LATERAL		CLEAN OUT		TRAFFIC PULL BOX		UNKNOWN TREE
DE	DRAINAGE EASEMENT		PROPOSED SANITARY LATERAL		SANITARY LATERAL		CONCRETE UTILITY POLE		
DIP	DUCTILE IRON PIPE		EXISTING STORM SEWER		DOUBLE SANITARY LATERAL		GUY ANCHOR		
E	EAST		PROPOSED STORM SEWER		CONFLICT ID		POLE-MOUNTED LIGHT		
EL	ELEVATION		EXISTING WATER SERVICE		DRAINAGE FLOW		UTILITY POLE ID		
EDW	EDGE OF WATER		PROPOSED WATER SERVICE		SPOT GRADE		GAS MARKER		
EX	EXISTING		EXISTING WATER MAIN		SPOT GRADE (TOP OF CURB)		GAS VALVE		
EXIST	EXISTING		WATER MAIN TO BE DEMOLISHED		SIGN		UNDERGROUND PROPANE TANK		
EXFILT	EXFILTRATION		PROPOSED WATER MAIN		CATCH BASIN		SIGN		
FF EL	FINISHED FLOOR ELEVATION		EXISTING RECLAIMED WATER		STORM MANHOLE		FORCE MAIN AIR RELEASE VALVE		
FH	FIRE HYDRANT		EXISTING IRRIGATION		CLEANOUT		FORCE MAIN VALVE		
FM	FORCE MAIN		EXISTING FUEL LINE		SLOTTED DRAIN		SANITARY CLEANOUT		
GALV	GALVANIZED		EXISTING NATURAL GAS		STORM YARD DRAIN		SANITARY MANHOLE		
GV	GATE VALVE		EXISTING AERIAL FIBER OPTIC		P5 STORM INLET		CATCH BASIN		
HORZ	HORIZONTAL		EXISTING BURIED FIBER OPTIC		P6 STORM INLET		TYPE P5 INLET		
INV	INVERT		EXISTING AERIAL AT&T		P9 STORM INLET		TYPE P6 INLET		
JB	JUNCTION BOX		EXISTING BURIED AT&T		EXFILTRATION TRENCH		TYPE P9 INLET		
L.M.E.	LAKE MANAGEMENT EASEMENT		EXISTING AERIAL COMCAST		HEADWALL		STORM MANHOLE		
LF	LINEAR FEET		EXISTING BURIED COMCAST		MITERED END - RCP		YARD DRAIN		
MAX	MAXIMUM		EXISTING OVERHEAD ELECTRIC		MITERED END - HDPE		AIR RELEASE VALVE		
MH	MANHOLE		EXISTING UNDERGROUND ELECTRIC		SYNTHETIC BALES & FILTER FABRIC		FIRE DEPARTMENT CONNECTION (FDC)		
MIN	MINIMUM		EXISTING AERIAL PBC TRAFFIC CONDUIT		ROCK BAGS W/ SYNTHETIC BALES & FILTER FABRIC		FIRE HYDRANT		
MJ	MECHANICAL JOINT		EXISTING BURIED PBC TRAFFIC CONDUIT		SILT BARRIER FENCE		REDUCER		
N	NORTH		EXISTING OVERHEAD WIRE				WATER VALVE		
NTS	NOT TO SCALE						WATER VALVE (TRANSMISSION MAIN)		
NGVD	NATIONAL GEODETIC VERTICAL DATUM						WATER METER		
OE	OVERHEAD ELECTRIC						BACKFLOW PREVENTOR		
PCAP	PERFORATED CORRUGATED ALUMINUM PIPE						IRRIGATION VALVE		
PGL	PROFILE GRADE LINE						MONITORING WELL		
PRB	POLLUTION RETARDANT BAFFLE								
PROP	PROPOSED								
PSI	POUNDS PER SQUARE INCH								
PV	PLUG VALVE								
PVC	POLYVINYL CHLORIDE								
R	RADIUS								
RCP	REINFORCED CONCRETE PIPE								
RCW	RECLAIMED WATER								
RED	REDUCER								
ROW	RIGHT-OF-WAY								
R/W	RIGHT-OF-WAY								
S	SOUTH								
SAN	SANITARY								
SB	SOIL BORING								
STA	STATION								
TGB	TOP OF BANK								
TOE	TOE OF SLOPE								
TOP	TOP OF PIPE								
TYP	TYPICAL								
UE	UTILITY EASEMENT								
VCP	VITRIFIED CLAY PIPE								
VERT	VERTICAL								
W	WEST								
WM	WATER MAIN								

HATCHING LEGEND	
	EXISTING DETECTABLE WARNING
	EXISTING BUILDING (TO REMAIN)
	EXISTING ASPHALT TO BE REMOVED
	EXISTING CONCRETE TO BE REMOVED
	EXISTING PAVERS TO BE REMOVED
	EXISTING ASPHALT TO REMAIN
	DETECTABLE WARNING SURFACES
	CONCRETE CURB/CONCRETE CURB AND GUTTER
	4" THICK CONCRETE SIDEWALK
	6" THICK CONCRETE SIDEWALK/DRIVEWAY
	FULL-DEPTH RECONSTRUCTION
	MILLING AND RESURFACING
	STAMPED ASPHALT/PAVERS
	PLANTING AREA

NO	DATE	REVISION	BY	NO	DATE	REVISION	BY

Calvin, Giordano & Associates, Inc.
EXCEPTIONAL SOLUTIONS
500 Village Boulevard • Suite 325 • West Palm Beach, FL 33409
Phone: 561.684.6161 • Fax: 561.684.6360

Certificate of Authorization 514

E 13TH STREET ABANDONMENT
BROADWAY TO AVENUE C
RIVIERA BEACH, FLORIDA

ABBREVIATIONS AND LEGEND

DAVID STAMBAUGH, P.E.
STATE OF FLORIDA PROFESSIONAL ENGINEER
LICENSE No. 70757

DATE: 07-08-2019

SCALE
1" = 20'

PROJECT No
179849

SHEET: 2

G-2

OF: 7

PRELIMINARY - NOT FOR CONSTRUCTION



File Name: Z:\2017\79849 City Of Riviera Beach - 13th St. R\179849.2 Viking Developers E 13 ST ROW Evaluation\CA0D Files\Drawings\179849--GNTRD01.dwg I (Plotted by: Lee Rowbottom on Monday, July 8, 2019 3:41:28 PM)

I. APPLICABLE CODES

- A. GENERAL:
ALL CONSTRUCTION WITHIN LIMITS OF PUBLIC RIGHTS OF WAY UNDER THE CITY OF RIVIERA BEACH JURISDICTION SHALL CONFORM WITH THE CITY OF RIVIERA BEACH PUBLIC WORKS DEPARTMENT MINIMUM STANDARDS, LATEST EDITION.
- B. CONSTRUCTION SAFETY:
ALL CONSTRUCTION SHALL BE DONE IN A SAFE MANNER, SPECIFICALLY, THE RULES AND REGULATIONS OF THE OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) AND THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (M.U.T.C.D.) SHALL BE STRICTLY OBSERVED.
- C. SURVEY DATA:
ALL ELEVATIONS ON THE PLANS OR REFERENCED IN THE SPECIFICATIONS ARE BASED ON NATIONAL GEODETIC VERTICAL DATUM OF 1929 (NGVD).

II. PRECONSTRUCTION RESPONSIBILITY

- A. UPON THE RECEIPT OF THE "NOTICE TO PROCEED", THE CONTRACTOR SHALL CONTACT THE ENGINEER OF RECORD AND ARRANGE A PRECONSTRUCTION CONFERENCE TO INCLUDE ALL THE INVOLVED GOVERNMENTAL AGENCIES, UTILITY OWNERS, THE OWNER AND THE ENGINEER OF RECORD.
- B. THE CONTRACTOR SHALL OBTAIN A "SUNSHINE ONE CALL" CERTIFICATION NUMBER AT LEAST 48 HOURS PRIOR TO BEGINNING ANY EXCAVATION.
- C. CONTRACTOR IS REQUIRED TO OBTAIN A CONSTRUCTION PERMIT FROM THE CITY OF RIVIERA BEACH PRIOR TO START OF CONSTRUCTION.
- D. ALL APPLICABLE PERMITS SHALL BE OBTAINED BY THE CONTRACTOR PRIOR TO START OF CONSTRUCTION.
- E. PRIOR TO BEGINNING CONSTRUCTION, THE CONTRACTOR SHALL VERIFY THE SIZE, LOCATION, ELEVATION, AND MATERIAL OF ALL EXISTING UTILITIES WITHIN THE AREA OF CONSTRUCTION.
- F. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DAMAGE TO ANY EXISTING UTILITIES FOR WHICH HE FAILS TO REQUEST LOCATIONS FROM THE CITY OF RIVIERA BEACH UTILITIES DEPARTMENT.
- G. IF UPON EXCAVATION, AN EXISTING UTILITY IS FOUND TO BE IN CONFLICT WITH THE PROPOSED CONSTRUCTION OR TO BE OF A SIZE OR MATERIAL DIFFERENT FROM THAT SHOWN ON THE CONTRACTOR'S PLANS, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER, WHO WILL IN TURN NOTIFY THE CITY OF RIVIERA BEACH UTILITIES DEPARTMENT.
- H. CONTRACTOR SHALL TRANSFER ALL EXISTING WATER AND SEWER SERVICES TO PROPOSED WATER AND SEWER IMPROVEMENTS PRIOR TO ABANDONMENT OF EXISTING INFRASTRUCTURE. THE SHALL NOTIFY THE CITY OF ALL SERVICE CONNECTIONS TO NEW PROPOSED SYSTEM FROM EXISTING SYSTEM OF SERVICES PRIOR TO COMMENCEMENT OF WORK.
- I. THE CONTRACTOR SHALL REPAIR ANY UTILITY TO PRECONSTRUCTION CONDITION AT HIS COST SHOULD IT BE DAMAGED AS A RESULT OF CONSTRUCTION ACTIVITIES.
2. THE CONTRACTOR SHALL RESTORE OR REPLACE, WHEN AND AS DIRECTED BY THE ENGINEER OR THE CITY OF RIVIERA BEACH, ANY PUBLIC OR PRIVATE PROPERTY DAMAGED BY HIS WORK, EQUIPMENT, EMPLOYEES OR THOSE OF HIS SUBCONTRACTORS TO A CONDITION AT LEAST EQUAL TO THAT EXISTING IMMEDIATELY PRIOR TO THE BEGINNING OF OPERATIONS. TO THIS END, THE CONTRACTOR SHALL DO AS REQUIRED, ALL NECESSARY HIGHWAY OR DRIVEWAY, SIDEWALK AND LANDSCAPING WORK. SUITABLE MATERIALS AND METHODS SHALL BE USED FOR SUCH RESTORATION.
3. WHERE MATERIAL OR DEBRIS HAS WASHED OR FLOWED INTO OR BEEN PLACED IN WATER COURSES, GRAVITY SEWER, DITCHES, DRAINS, CATCH BASINS, OR ELSEWHERE AS A RESULT OF THE CONTRACTOR'S OPERATIONS, SUCH MATERIAL OR DEBRIS SHALL BE REMOVED AND SATISFACTORILY DISPOSED OF DURING PROGRESS OF THE WORK, AND THE AREA KEPT IN A CLEAN AND NEAT CONDITION.
4. WHEN WORKING IN AND AROUND EXISTING DRAINAGE CANALS, APPROPRIATE SILT BARRIERS SHALL BE INSTALLED AS REQUIRED BY LOCAL DRAINAGE DISTRICT.

B. PROJECT RECORD DOCUMENTS:

1. THE CONTRACTOR SHALL MAINTAIN ACCURATE AND COMPLETE RECORDS OF ALL WORK ITEMS COMPLETED.
2. ALL "AS-BUILT" INFORMATION SUBMITTED TO THE ENGINEER SHALL BE SUFFICIENTLY ACCURATE, CLEAR AND LEGIBLE TO SATISFY THE ENGINEER THAT THE INFORMATION PROVIDED A TRUE REPRESENTATION OF THE IMPROVEMENTS CONSTRUCTED.
3. UPON COMPLETION OF CONSTRUCTION, THE CONTRACTOR SHALL SUBMIT TO THE ENGINEER OF RECORD ONE COMPLETE SET OF "AS-BUILT" CONSTRUCTION DRAWINGS. THESE DRAWINGS SHALL BE MARKED TO SHOW "AS-BUILT" CONSTRUCTION CHANGES AND DIMENSIONED LOCATIONS AND ELEVATIONS OF ALL IMPROVEMENTS AND SHALL BE SIGNED BY THE CONTRACTOR.
4. ALL "AS-BUILT" INFORMATION ON ELEVATIONS OF SANITARY SEWAGE, PAVING, DRAINAGE AND UTILITY EASEMENT SHALL BE CERTIFIED BY A REGISTERED LAND SURVEYOR.
5. "AS-BUILT" INFORMATION ON THE WATER SYSTEM SHALL INCLUDE, BUT IS NOT LIMITED TO LOCATIONS OF ALL VALVES, FITTINGS, FIRE HYDRANTS AND WATER SERVICES AND TOP-OF-PIPE ELEVATION ON 100-FOOT INTERVALS AT A MINIMUM.
6. PRIOR TO A FINAL INSPECTION BY THE CITY OF RIVIERA BEACH, THE ENGINEER SHALL SUBMIT TWO (2) SETS OF BLUEPRINTS OF "AS-BUILT" CONSTRUCTION DRAWINGS.
7. UPON A FINAL INSPECTION BY THE CITY OF RIVIERA BEACH, THE ENGINEER SHALL SUBMIT TO THE CITY ONE (1) COMPLETE SET OF REPRODUCIBLE MYLARS AND THREE (3) SETS OF BLUEPRINTS OF "AS-BUILT" CONSTRUCTION DRAWINGS THAT HAVE BEEN CERTIFIED BY A REGISTERED LAND SURVEYOR AND THE ENGINEER OF RECORD.
- C. MONUMENTS:
ALL PROPERTY MONUMENTS OR PERMANENT REFERENCES, REMOVED OR DESTROYED BY THE CONTRACTOR DURING CONSTRUCTION SHALL BE RESTORED BY A STATE OF FLORIDA REGISTERED LAND SURVEYOR AT THE CONTRACTOR'S EXPENSE.
- D. UNPAVED SURFACES:
ALL UNPAVED SURFACES SHALL BE RESTORED TO A CONDITION EQUAL TO OR BETTER THAN THAT WHICH EXISTED BEFORE THE CONSTRUCTION.

VII. EARTHWORK AND COMPACTION

A. GENERAL:

1. NONE OF THE EXISTING MATERIAL IS TO BE INCORPORATED IN THE LIMEROCK BASE.
2. ALL SUBGRADE UNDER PAVED AREAS SHALL HAVE A MINIMUM LBR VALUE OF 40 AND SHALL BE COMPACTED TO 95% OF THE MAXIMUM DENSITY AS DETERMINED BY AASHTO T-180.
3. ALL FILL MATERIAL IN AREAS NOT TO BE PAVED SHALL BE COMPACTED TO 95% OF THE MAXIMUM DENSITY AS DETERMINED BY AASHTO T-180.
4. A 2" BLANKET OF TOP SOIL SHALL BE PLACED OVER ALL AREAS TO BE SODDED.
5. SOD SHALL BE ST. AUGUSTINE, BITTER BLUE OR FLORATAM AND SHALL BE PLACED ON THE GRADED TOP SOIL AND WATERED TO INSURE SATISFACTORY CONDITION UPON FINAL ACCEPTANCE OF THE PROJECT.
6. WHEN WORKING IN AND AROUND EXISTING DRAINAGE CANALS OR LAKES, APPROPRIATE SILT BARRIERS SHALL BE INSTALLED.

B. ON-SITE:

1. ALL ORGANIC AND OTHER UNSUITABLE MATERIAL WITHIN THE RIGHT-OF-WAY SHALL BE REMOVED.
2. SUITABLE BACKFILL SHALL BE MINIMUM LBR 40 MATERIAL COMPACTED TO 98% OF THE MAXIMUM DENSITY AS DETERMINED BY AASHTO T-180 FOR THREE (3) FEET BEYOND THE PERIMETER OF THE PAVING.

VIII. PAVING

A. GENERAL:

1. ALL UNDERGROUND UTILITIES SHALL BE COMPLETED PRIOR TO THE CONSTRUCTION OF LIMEROCK BASE AND PRIOR TO PLACEMENT OF THE PAVEMENT.
2. ALL EXISTING PAVEMENT CUT OR DAMAGED BY CONSTRUCTION SHALL BE PROPERLY RESTORED AT THE CONTRACTOR'S EXPENSE.
3. WHERE PROPOSED PAVEMENT IS TO BE CONNECTED TO EXISTING PAVEMENT, THE EXISTING EDGE OF PAVEMENT SHALL BE SAW CUT.

B. MATERIAL:

1. BASE COURSE SHALL BE CRUSHED LIMEROCK MIAMI OOLITE WITH A MINIMUM OF 70% CARBONATES OF CALCIUM AND MAGNESIUM (60% FOR LOCAL STREETS AND PARKING AREAS) AND A MINIMUM LIMEROCK BEARING RATIO 100.
2. PRIME COAT AND TACK COAT SHALL MEET F.D.O.T. STANDARDS.
3. SURFACE COURSE SHALL BE EQUAL TO F.D.O.T. TYPE S-3 ASPHALTIC.
4. REINFORCED CONCRETE SLABS SHALL BE CONSTRUCTED OF CLASS I CONCRETE WITH A MINIMUM STRENGTH OF 3,000 PSI AND SHALL BE REINFORCED WITH A 6" x 6" No. 6 GAUGE WIRE MESH.

C. INSTALLATION:

1. BASE COURSE MATERIAL FOR PAVED AREAS SHALL BE A MINIMUM OF 8 INCHES PLACED ON A SINGLE LAYER FOR STREETS. (6 INCHES FOR DRIVEWAYS, AND DESIGNATED PARKING AREAS.
2. BASE COURSE SHALL BE COMPACTED TO 98% OF THE MAXIMUM DENSITY AS PER AASHTO T-180-74.
3. LIMEROCK BASE MATERIAL SHALL BE PLACED IN MAXIMUM 6" LIFTS. BASES GREATER THAN 6" SHALL BE PLACED IN TWO OR MORE EQUAL LIFTS.

4. ASPHALTIC CONCRETE SHALL BE A MINIMUM OF 1½" THICK AND SHALL BE PLACED TWO ¾" LIFTS UNLESS OTHERWISE NOTED ON PLANS.

5. PRIME COAT SHALL BE PLACED ON ALL LIMEROCK BASES IN ACCORDANCE WITH F.D.O.T. STANDARDS.

6. TACK COAT SHALL BE PLACED AS REQUIRED IN ACCORDANCE WITH F.D.O.T. STANDARDS.

- D. TESTING:
ALL SUBGRADE, LIMEROCK AND ASPHALT TESTS REQUIRED SHALL BE TAKEN AT THE DIRECTION OF THE ENGINEER AND/OR THE CITY OF RIVIERA BEACH.

1. THE FINISHED SURFACE OF THE BASE COURSE AND THAT OF THE WEARING SURFACE SHALL NOT VARY MORE THAN ¾" FROM THE TEMPLATE. ANY IRREGULARITIES EXCEEDING THIS LIMIT SHALL BE CORRECTED.
2. DENSITY TESTS SHALL BE TAKEN BY AN INDEPENDENT TESTING LABORATORY, CERTIFIED BY THE STATE OF FLORIDA, WHERE DIRECTED BY THE ENGINEER.
3. ALL TESTING COSTS (PAVING) SHALL BE PAID FOR BY THE OWNER EXCEPT THOSE TESTS FAILING TO MEET THE SPECIFIED REQUIREMENTS, WHICH ARE TO BE PAID BY THE CONTRACTOR.

IX. WATER DISTRIBUTION AND/OR SEWAGE FORCE MAIN SYSTEM

A. GENERAL:

1. THE CONTRACTOR SHALL NOTIFY THE CITY OF RIVIERA BEACH UTILITIES DEPARTMENT AND THE ENGINEER OF RECORD NO LATER 24 HOUR PRIOR TO MAKING CONNECTIONS TO EXISTING SYSTEMS. A CITY OF RIVIERA BEACH UTILITY DEPT. REPRESENTATIVE AND THE ENGINEER OF RECORD MUST BE PRESENT.

2. SEPARATION OF WATER AND SEWER MAINS:

- a. PARALLEL WATER AND SEWER MAINS SHALL HAVE A MINIMUM 10 FEET HORIZONTAL SEPARATION. WHERE THIS IS NOT POSSIBLE, THE SEWER MAIN SHALL BE IN A SEPARATE TRENCH AND BE AT LEAST 18 INCHES BELOW THE WATER MAIN OR BOTH MAINS SHALL BE DUCTILE IRON WITH A MINIMUM 6" CLEARANCE, PER PRESSURE PIPE SPECIFICATIONS.
- b. THE SEWER MAIN SHALL CROSS BELOW ALL WATER MAINS WITH A MINIMUM OF 18 INCHES VERTICAL CLEARANCE. WHERE THE CLEARANCE IS LESS THAN 18 INCHES, THE SEWER MAIN AND THE WATER MAIN SHALL BE DUCTILE IRON PIPE WITH A MINIMUM 6" CLEARANCE, FOR 20 FEET CENTERED ON THE POINT OF CROSSING. ALL JOINTS ON THE WATER MAIN WITHIN 20 FEET OF THE CROSSING SHALL BE MECHANICALLY RESTRAINED.
- c. IF A SEWER MAIN MUST CROSS ABOVE A WATER MAIN, REGARDLESS OF VERTICAL CLEARANCE, THE PRECAUTION IN ITEM (b.) ABOVE SHALL BE TAKEN.
3. NO CONNECTIONS TO THE EXISTING LINES SHALL BE MADE UNTIL PRESSURE TESTS FOR THE WATER MAINS AND SEWER FORCE MAINS, AND BACTERIOLOGICAL TESTS HAVE BEEN PERFORMED AND THE SYSTEM IS ACCEPTABLE TO THE CITY OF RIVIERA BEACH AND THE PALM BEACH COUNTY PUBLIC HEALTH UNIT.
4. CLEANING OF NEWLY INSTALLED PIPING SYSTEMS SHALL BE ACCOMPLISHED USING PIPE PIGGING METHODS. OPEN FLUSHING SHALL NOT BE ALLOWED WITHOUT PRIOR APPROVAL OF THE UTILITIES DEPARTMENT. ALL WATER WILL BE ACCOUNTED FOR.
5. ALL EFFORTS SHALL BE MADE SO THAT WATER AND FORCE MAINS CROSS ABOVE DRAINAGE LINES WITH ADEQUATE COVER AND SEPARATION. IF THIS IS NOT POSSIBLE, IT SHALL BE INDICATED ON THE PLANS.
6. A THREE (3) FEET LATERAL SEPARATION SHALL BE MAINTAINED BETWEEN WATER/SEWER LINES AND OBSTRUCTIONS (I.E., CATCH BASINS, CONCRETE POLES, ETC.), FIVE (5) FEET FROM TREES.
7. BEDDING AND INITIAL BACKFILL FOR MAINS SHALL BE SAND WITH NO ROCKS LARGER THAN 1" IN DIAMETER.
8. USE "DETECTOR" TAPE ON ALL P.V.C. MAINS.
9. 3M MARKERS/PEG SHALL BE INSTALLED ON EACH FITTING, SERVICE TAP AND SERVICE END IF METER IS NOT SET. USE BLUE FOR WATER AND GREEN FOR SEWER WITH FREQUENCY DETERMINED BY THE CITY.

B. MATERIAL:

1. PIPE:
THE WATER MAIN AND/OR SEWAGE FORCE MAIN SHALL BE EITHER POLYVINYL CHLORIDE (PVC) OR DUCTILE IRON PIPE (DIP).
- a. PVC PIPE SHALL BE ASTM 1120 PRESSURE PIPE WITH IRON O.D., CLASS 150 (DR 18), CONFORMING TO ANSI/AWWA C900-97 OR C905-97 OR LATEST REVISION, AND SHALL HAVE PUSH RUBBER GASKET JOINTS.
- b. DIP SHALL BE CLASS 350 WALL THICKNESS (UP TO 12"), CLASS 300 (14"-18"), CLASS 250 (20" OR GREATER) WITH INTERIOR CEMENT LINING AND EXTERIOR COAL TAR COATING CONFORMING TO ANSI/AWWA C153/A21.53-00, OR LATEST REVISION. SEWAGE PIPE SHALL BE EITHER DOUBLE CEMENT CONFORMING TO ANSI/AWWA C104/A21.4-95 LATEST REVISION, OR POLYETHYLENE LINED CONFORMING TO ANSI/AWWA C105/A21.5-99 LATEST REVISION, OR APPROVED EQUAL. THE PIPE SHALL WITHSTAND A WORKING PRESSURE OF 350 PSI. THE JOINTS SHALL BE BELL AND SPIGOT PUSH ON TYPE, MECHANICAL JOINT OR FLANGED. FLANGED PIPE SHALL CONFORM WITH THE PHYSICAL AND CHEMICAL REQUIREMENTS AS SET FORTH IN THE HANDBOOK OF DUCTILE IRON PIPE OF THE CAST IRON PIPE RESEARCH ASSOCIATION. DIP INSTALLED IN NON PAVED AREAS, SHALL BE CLASS 50, CLASS 52 IN PAVED AREAS.
- c. MINIMUM SIZE OF WATER MAIN SHALL BE 6" INCHES.

2. FITTINGS:

- FITTINGS SHALL BE DUCTILE IRON COMPACT MECHANICAL JOINT AND SHALL BE CLASS 350 THROUGH 24" CONFORMING TO ANSI/AWWA C153/A21.53-00, OR LATEST REVISION, AND CLASS 250 IN SIZES 24" AND LARGER, CONFORMING TO ANSI/AWWA C110/A21.10-98, OR LATEST REVISION, COMPLETE WITH GLANDS, GASKETS, BOLTS AND NUTS. ALL FITTINGS SHALL BE CEMENT LINED AND SEAL COATED WITH THE SAME AS PIPE.

3. VALVES:

- a. VALVES SHALL BE GATE VALVES FOR WATER LESS THAN 12" AND BUTTERFLY VALVE FOR WATER 12" AND LARGER OR PLUG VALVE FOR FORCE MAIN UNLESS OTHERWISE INDICATED.
- I. GATE VALVES 4" AND LARGER SHALL BE IRON BODY, FULLY ENCAPSULATED RESILIENT SEAT, BRONZE MOUNTED NON-RISING STEM, DOUBLE DISC, RATED AT 200 PSI AND CONFORMING TO ANSI/AWWA C509-94 OR LATEST REVISION. EXPOSED VALVES SHALL BE OUTSIDE SCREW AND YOKE TYPE. GATE VALVES SHALL BE AMERICAN DARLING (LINE 80), CLOW F6100 OR APPROVED EQUAL. GATE VALVES 3" OR LESS SHALL BE NIBCO T-133 OR T-136 WITH MALLEABLE HAND WHEELS. NO SUBSTITUTION ALLOWED.
- II. BUTTERFLY VALVES AND OPERATORS SHALL CONFORM TO ANSI/AWWA C504-00 STANDARD FOR RUBBER SEATED BUTTERFLY VALVES, OR LATEST REVISIONS. VALVES SHALL BE CLASS 150 A OR B AND SHALL BE MUELLER, PRATT OR APPROVED EQUAL.

- III. PLUG VALVES SHALL BE SEMI-STEEL BODY, NON-LUBRICATED, ECCENTRIC TYPE, WITH RESILIENT FACED PLUGS, AND CAPABLE OF DRIP-TIGHT SHUT OFF AT THE RATED PRESSURE IF APPLIED AT EITHER PORT. VALVES ARE TO BE EQUIPPED WITH ACTUATING NUTS, CAST IRON HAND WHEELS OR CHAIN OPERATORS, WITH GALVANIZED STEEL CHAINS AS APPROPRIATE FOR THE INSTALLATION AND TYPE OF OPERATOR. VALVES SHALL BE DEZURIK CORP. SERIES 100, CLOW FUL-FLOW MODEL F5413 OR APPROVED EQUAL.

- IV. AIR RELEASE VALVE BODY AND COVER SHALL BE OF CAST IRON CONSTRUCTION, ASTM A126-B, AND ALL INTERNAL WORKING PARTS SHALL BE OF STAINLESS STEEL ASTM A240, TYPE 303 AND 304 AND SHALL MEET OR EXCEED ANSI/AWWA C512-99 OR LATEST REVISION. THE VENTING ORIFICE SHALL BE INCH IN DIAMETER WITH STAINLESS STEEL SEAT. THE INLET OPENING SHALL BE STANDARD 2 INCH NPT SCREWED CONNECTION. THE VALVE SHALL BE FULLY CAPABLE OF OPERATION IN THE SEWAGE FORCE MAIN AND SHALL INCLUDE A BACK-FLUSHING FEATURE FOR PERIODIC CLEANING OF INTERNAL MECHANISM. THE OVERALL HEIGHT OF THE VALVE BODY SHALL NOT EXCEED 13". VALVES SHALL BE MANUFACTURED BY VAL-MATIC CORP. APCO OR APPROVED EQUAL.

- b. A REFLECTIVE PAVEMENT MARKER SHALL BE INSTALLED IN THE CENTER OF THE NEAREST LANE OF ROAD PAVEMENT ADJACENT TO ALL VALVE LOCATIONS OUTSIDE THE ROAD PAVEMENT. WATER MARKERS SHALL BE WHITE, SEWER MARKERS SHALL BE GREEN.

4. FIRE HYDRANTS:

- a. FIRE HYDRANTS SHALL HAVE A MINIMUM 5½" VALVE OPENING AND SHALL OPEN AGAINST THE PRESSURE AND CLOSE WITH THE FLOW. HYDRANTS SHALL BE MUELLER CENTURION, MODEL NUMBER A-423, CLOW MEDALLION 2500, AMERICAN DARLING B-84B, KENNEDY GUARDIAN K-81 OR US PIPE METROPOLITAN 250 OR APPROVED EQUAL. HYDRANTS SHALL MEET OR EXCEED ANSI/AWWA C502-94, C503-97 OR LATEST REVISION, AND SHALL COMPLY WITH FACTORY MUTUAL RESEARCH CORPORATION AND UNDERWRITERS LABORATORIES UL246 STANDARD. ALL HYDRANTS TO BE INSTALLED WITH ANCHORING TEE AND CONTROL VALVE. PUMPER NOZZLE TO BE 18" FROM FINISH GRADE.
- b. A BLUE REFLECTIVE PAVEMENT MARKER SHALL BE PROVIDED IN THE CENTER OF THE NEAREST LANES OF ROAD PAVEMENT ADJACENT TO ALL FIRE HYDRANT LOCATIONS.
5. DETECTOR TAPE FOR PVC MAINS:
DETECTOR TAPE SHALL BE 3" WIDE BLUE TAPE FOR WATER MAIN AND BROWN TAPE FOR FORCE MAINS WITH A METALLIZED FOIL CORE LAMINATED BETWEEN 2 LAYERS OF PLASTIC FILM. THE WORDS "CAUTION WATER LINE BURIED BELOW" OR "CAUTION FORCE MAIN BURIED BELOW" SHALL BE PRINTED AT 30" INTERVALS ALONG THE TAPE. TAPE SHALL BE PLACED 18" BELOW GRADE ABOVE ALL PVC MAINS AND SERVICES OR AS RECOMMENDED BY MANUFACTURER.

6. SERVICE CONNECTIONS:

- a. SERVICE SADDLES SHALL BE DUCTILE IRON EPOXY OR NYLON COATED WITH DOUBLE STAINLESS STEEL STRAPS OR SINGLE WIDE STRAP. SADDLES SHALL CONFORM TO ANSI/AWWA C111/21.11-00 AND ASTM A-588 OR LATEST REVISION.
- b. SERVICE LINES SHALL BE BLUE POLYETHYLENE (PE) TUBING AS DESCRIBED IN ANSI/AWWA C901-96 OR LATEST REVISION, WITH A WORKING PRESSURE OF 160 PSI (OR 9) PIPE JOINTS SHALL BE OF THE COMPRESSION TYPE TOTALLY CONFINED GRIP SEAL AND COUPLING NUT. POLYETHYLENE SHALL BE EXTRUDED FROM PE 3408 HIGH MOLECULAR WEIGHT MATERIAL AND MUST CONFORM TO ASTM D-2737. STAINLESS STEEL TUBE STIFFENER INSERTS SHALL BE USED.
- c. CORPORATION STOPS SHALL BE MANUFACTURED OF BRASS ALLOY IN ACCORDANCE WITH ASTM B-62 WITH THREADED ENDS AS MANUFACTURED BY FORD.
- d. CURB STOPS SHALL BE FORD.
- e. METER STOPS SHALL BE THE 90 DEGREE LOCKWING TYPE AND SHALL BE OF BRONZE CONSTRUCTION IN ACCORDANCE WITH ASTM B-62. METER STOPS SHALL BE CLOSED BUTTON DESIGNED AGAINST EXTERNAL LEAKAGE. RING SEALED AGAINST EXTERNAL LEAKAGE AT THE TOP. STOPS SHALL BE EQUIPPED WITH A METER COUPLING NUT ON THE OUTLET SIDES. METER STOP SHALL BE MANUFACTURED BY FORD.
- f. METER AND METER BOXES 2" OR LESS ARE SUPPLIED BY THE CITY OF RIVIERA BEACH AT THE CITY'S EXPENSE.

7. TAPPING SLEEVES:

- TAPPING SLEEVES SHALL BE CAST IRON, MECHANICAL JOINT, CLOW MODEL F5207, MUELLER H615 OR APPROVED EQUAL.

8. VALVE BOXES:

- a. VALVE BOXES FOR WATER MAINS AND SEWER FORCE MAINS SHALL BE U.S. FOUNDRY MODEL 7500, MARKED "WATER" OR "SEWER", OR APPROVED EQUAL.
- b. VALVE BOXES FOR BLOW-OFF ASSEMBLY SHALL BE U.S. FOUNDRY MODEL 7630, OR APPROVED EQUAL.
9. RETAINER GLANDS:
RETAINER GLANDS SHALL CONFORM TO ANSI/AWWA C111/221.11-00 OR LATEST REVISION. ALL GLANDS SHALL BE MANUFACTURED FROM DUCTILE IRON LISTED BY UNDERWRITERS LABORATORIES FOR 250 PSI MINIMUM WATER PRESSURE RATING. CLOW CORPORATION MODEL F-1058, TYLER, EBAA IRON, OR APPROVED EQUAL. FOR PVC PIPE, GLANDS SHALL BE MEGA LUG SERIES 200

10. DOUBLE CHECK VALVE BACKFLOW PREVENTION ASSEMBLY:
THE ASSEMBLY SHALL CONFORM TO ANSI/AWWA C510-97, OR LATEST REVISION, AND CAPABLE OF WITHSTANDING A WORKING PRESSURE OF AT LEAST 150 PSI WITHOUT DAMAGE TO WORKING PARTS OR IMPAIRMENT OF FUNCTION. IT SHALL CONSIST OF TWO INTERNALLY LOADED, INDEPENDENTLY OPERATING CHECK VALVES, LOCATED BETWEEN TWO TIGHTLY CLOSING, RESILIENT-SEATED SHUT OFF VALVES, WITH FOUR PROPERLY PLACED RESILIENT-SEATED TEST COCKS.

C. INSTALLATION:

1. GENERAL:
CONNECTION OF ALL NEW SYSTEMS TO EXISTING MAINS SHALL BE DONE USING ONE OF THE THREE FOLLOWING METHODS:

- a. METHOD "A" PER PALM BEACH COUNTY PUBLIC HEALTH UNIT STANDARDS, WHICH INVOLVES A REDUCED SIZE TEMPORARY CONNECTION BETWEEN THE EXISTING MAIN AND THE NEW MAIN.
- b. METHOD "B" PER PALM BEACH COUNTY PUBLIC HEALTH UNIT STANDARDS, WHICH INVOLVES A DIRECT CONNECTION BETWEEN THE NEW AND EXISTING MAINS USING TWO GATE VALVES SEPARATED BY A SLEEVE WITH A VENT PIPE.
- c. METHOD "C" APPROVED BY THE PALM BEACH COUNTY PUBLIC HEALTH UNIT, WHICH INVOLVES A TAP WITH ONE GATE VALVE REQUIRING DISINFECTION OF THE NEW SYSTEM PRIOR TO CONDUCTING THE PRESSURE TEST.
2. BEDDING:
BEDDING AND INITIAL BACKFILL (12 INCHES ABOVE PIPE) FOR ALL PIPES SHALL BE SAND WITH NO ROCK LARGER THAN 1" IN DIAMETER. PEA ROCK OR ¾" WASHED ROCK WILL BE USED IN WATER OR WHERE UNSUITABLE BEDDING EXISTS AT THE DISCRETION OF THE CITY OF RIVIERA BEACH. ALL OTHER FILL SHALL NOT HAVE ROCK LARGER THAN 6" IN DIAMETER.

PRELIMINARY - NOT FOR CONSTRUCTION

GENERAL NOTES

DAVID STAMBAUGH, P.E.
STATE OF FLORIDA PROFESSIONAL ENGINEER
LICENSE NO. 70757

SCALE

N.T.S.

SHEET: 3

PROJECT No.

179849

G-3

OF: 7

DATE: 07-08-2019

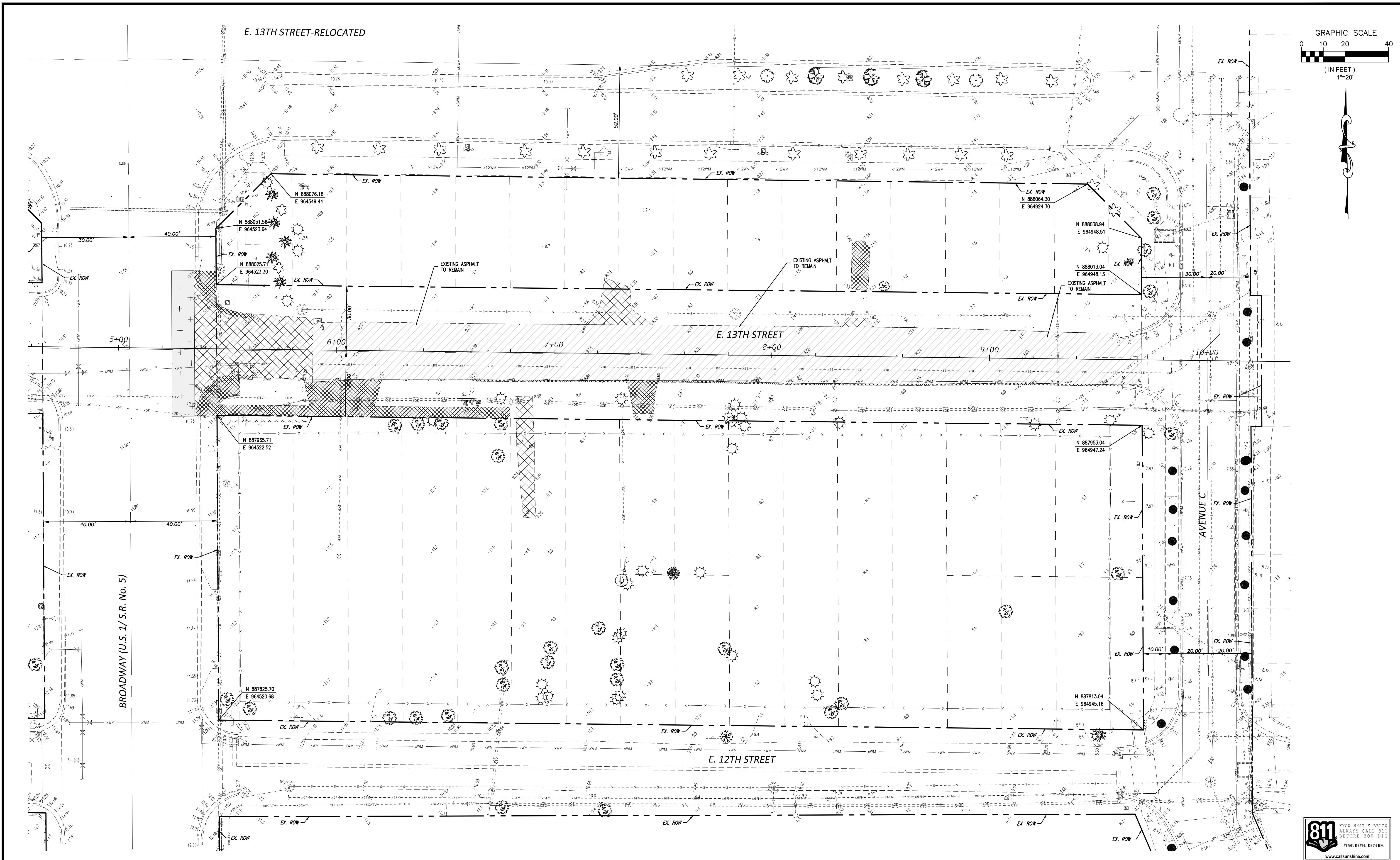


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Certificate of Authorization 514

E 13TH STREET ABANDONMENT
BROADWAY TO AVENUE C
RIVIERA BEACH, FLORIDA

- ### 3. PVC PIPE:

File Name: Z:\2017\179849 City Of Rivera Beach - 13th St ROW Evacuation\179849-DEMOR01.dwg - (Plotted by: Lee Rowbottom on Monday, July 8, 2019 4:36:32 PM)



NO	DATE	REVISION	BY	NO	DATE	REVISION	BY

 **Calvin, Giordano & Associates, Inc.**
EXCEPTIONAL SOLUTIONS
580 Village Boulevard - Suite 325 - West Palm Beach, FL 33409
Phone: 561.684.6161 • Fax: 561.684.6360
Certificate of Authorization 514

E 13TH STREET ABANDONMENT
BROADWAY TO AVENUE C
RIVIERA BEACH, FLORIDA

**EXISTING CONDITIONS
AND DEMOLITION PLAN**

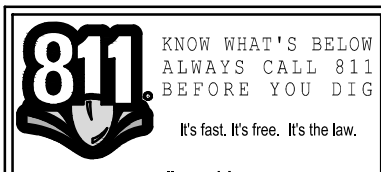
DAVID STAMBAUGH, P.E.
STATE OF FLORIDA PROFESSIONAL ENGINEER
LICENSE No. 70757
DATE: 07-08-2019

SCALE
1" = 20'

PROJECT No
179849

PRELIMINARY - NOT FOR CONSTRUCTION

SHEET: 5
D-1
OF: 7





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DATE: 07-08-2019

SCALE

PROJECT No

•

OF: 7

For Staff Use Only

City of Riviera Beach Community Development Department 600 W. Blue Heron Boulevard Riviera Beach, Florida 33404 Phone: (561) 845-4060 Fax : (561) 845-4038	Date:	Case Number:
	Project Title:	
	Fee Paid:	Notices Mailed:
	1st Hearing:	2nd Hearing:
	Publication Dates (if required)	

UNIFORM LAND USE APPLICATION

*(Please attach separate sheet of paper for required additional information)
 Complete appropriate sections of Application and sign.*

APPLICANT	Name of Property Owner(s): Riviera Beach CRA
	Mailing Address: 1610 Broadway Avenue, Riviera Beach, FL 33404/ 2001 Broadway Ave, Suite 300
	Property Address: 13th Street R.O.W.
	Name of Applicant (if other than owner):
	Home: () Work: (561) 844-3408 Fax: ()
	E-mail Address: sevans@rbcr.com

PLEASE ATTACH LEGAL DESCRIPTION

PROPERTY	Future Land Use Map Designation: R.O.W. Current Zoning Classification: R.O.W.
	Square footage of site: 25,497.70 sf Property Control Number (PCN): N/A
	Type and gross area of any existing non residential uses on site: R.O.W.
	Gross area of any proposed structure: No structures proposed
	Is there a current or recent use of the property that is/was in violation of City Ordinance? [] Yes [✓] No
	If yes, please describe: NA
	Have there been any land use applications concerning all or part of this property in the last 18 months? [] Yes [✓] No
	If yes, indicate date, nature and applicant's name: NA
	Briefly describe use of adjoining property: North: Vacant Downtown Core
	South: Vacant Downtown Core
East: Ave. C. R.O.W.	
West: Broadway R.O.W.	

REZONE	Requested Zoning Classification: N/A
	Is the requested zoning classification contiguous with existing?
	Is a Special Exception necessary for your intended use? [] Yes [] No
	Is a Variance necessary for your intended use? [] Yes [] No

FUTURE LAND USE	Existing Use: R.O.W.	Proposed Use: R.O.W.
	Land Use Designation: NA	Requested Land Use: NA
	Adjacent Land Uses: North: DMU	South: DMU
	East: DMU	West: DMU
	Size of Property Requesting Land Use Change: NA	

SPECIAL EXCEPTION	Describe the intended use requiring a Special Exception: NA
	Provide specific LDR ordinance section number and page number:
	How does intended use meet the standards in the Land Development Code?
	Demonstrate that proposed location and site is appropriate for requested use:
	Demonstrate how site and proposed building(s) have been designed so they are compatible with adjacent uses and neighborhoods:
	Demonstrate any landscaping techniques to visually screen use from adjacent uses:
	Demonstrate what is proposed to reduce the impact of any potential hazards, problems, public nuisances generated by use:
	Demonstrate how utilities and other service requirements of the use can be met:
	Demonstrate how the impact of traffic generated will be handled:
	On-site:
Off-Site:	
Other:	

VARIANCE	Describe the Variance sought: NA
	Demonstrate that the Variance is needed to overcome a hardship caused by the unique physical conditions of the site:
	Specify the minimum Variance requirements including: height, lot area, size of structure, size of yard, setback, buffer or open space:
	Other:

R.O.W. ABANDONMENT

SITE PLAN

Describe proposed development:

Right-of-way abandonment for Old 13th Street

Demonstrate that proposed use is appropriate to site:

No new use is proposed.

Demonstrate how drainage and paving requirement will be met:

See Civil Plans

Demonstrate any landscaping techniques to visually screen use from adjacent uses:

N/A

Demonstrate what is proposed to reduce the impact of any potential hazards, problems, public nuisances generated by use:

There will not be any potential hazard generated by this request.

Demonstrate how utilities and other service requirements of the use can be met:

There is existing infrastructure for the provision of services.

Demonstrate how the impact of traffic generated will be handled:

On-site: **NA**

Off-site: **NA**

COMMUNICATION TOWER CO-LOCATION REQUIREMENTS:

- Three sets of signed and sealed Construction documents, elevations and all equipment shelters, cabinets, Coax, telephone and power conduits identified. These plans will then be used to obtain the Building Permit.
- Antenna manufacture cut sheets including antenna size and shape.
- Zoning map of area with site clearly marked.
- Photos of existing building or tower and surrounding uses.
- Letter of non-interference and FCC compliance from applicant's Radio Frequency Professional.
- Map of surrounding carrier existing locations in all directions with type i.e. Guyed, Self-Support, Monopole, Rooftop.
- Letter of structural capacity and building code compliance.
- Notes on plan or letter demonstrating floor area coverage not in excess of restrictions
- Provide Photo Enhancements of proposal.
- Statement that proposal is in compliance with Environmental Regulations prior to permit issue.

Confirmation of Information Accuracy

I hereby certify that the information on this application is correct. The information included in this application is for use by the City of Riviera Beach in processing my request. False or misleading information may be punishable by a fine of up to five hundred dollars (\$500.00) and imprisonment of up to thirty (30) days and may result in the summary denial of this application.



Signature

7-8-19

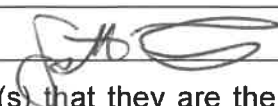
Date

AGENT AUTHORIZATION FORM

Owner(s) of Record: Riviera Beach CRA

STATE OF FLORIDA
COUNTY OF PALM BEACH

BEFORE ME, the undersigned authority personally appeared Scott Evans, Interim Executive Director


who, being first duly sworn upon oath and personal knowledge say(s) that they are the owner(s) of record of the following described real property:

the street address of which is: see attached sheet

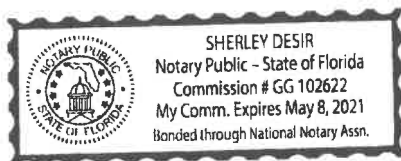
and that we hereby appoint:

Name: George G. Gentile and 2GHO

Address: 1907 Commerce Lane Suite, 101
Jupiter, FL 33458

Telephone: 561-575-9557

as our authorized agent, to file applications and papers with the City of Riviera Beach, and to represent me (us) at any Hearing regarding my (our) interest.

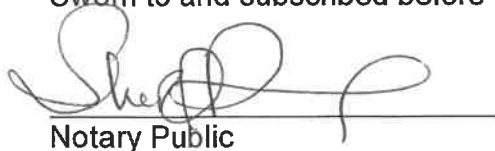


(Seal)

(Seal)

(Seal)

Sworn to and subscribed before me this 11th day of April, 2019.


Notary Public



**Old 13th Street Abandonment
City of Riviera Beach
Justification Statement
May 14, 2019
Revised: July 8, 2019**

Introduction:

On behalf of the Applicant's; Riviera Beach CRA, Gerald Properties, LLC, and Courtney Elizabeth Properties, LLC, Gentile Glas Holloway O'Mahoney & Associates, Inc, respectfully request approval of the submitted civil plans and application material that will allow for the abandonment of Old 13th Street. This request, is a collaborative effort between the Riviera Beach CRA and Viking Yachts in order to facilitate future development as the City of Riviera Beach continues to progress towards the improving of the Broadway Avenue Corridor. The project site is ±0.59 acres.

Project History:

This application was originally submitted in 2018. After the initial round of review comments which were issued on July 13, 2018, the owner's and project team have worked to address staff's comments, by providing the FDOT permit, and a site plan and landscape plan depicting the proposal. In July of 2019 staff retracted the request for site and landscape plans limiting the request back to the original right-of-way abandonment application only.

Surrounding Land Use and Zoning:

As the current use of the property is an existing asphalt paved right-of-way that provides access to unpermitted and unimproved overflow parking used by the adjacent city marina. Abandonment of the right-of-way will allow for better and more comprehensive future development in keeping with the City's future plans.

	Existing Land Use	Zoning
Subject Property Existing asphalt roadway with utilities.	Right-of-Way	Right-of-Way
North Vacant/Unimproved Parking	Downtown Mixed Use	DC; Downtown Core
South Vacant/Unimproved Parking	Downtown Mixed Use	DC; Downtown Core
East Avenue C/Vacant	Right-of-Way	Right-of-Way
West Broadway/Vacant	Right-of-Way	Right-of-Way

Old 13th Street Abandonment
Site Plan Approval
May 7th, 2019
Revised: July 8, 2019

Proposed Modifications:

The only proposed modifications to the right-of-way will be at the connection to Broadway. The Florida Department of Transportation (FDOT) has issued a construction permit to close off, build the curb and sidewalk across the Old 13th Street connection. Zoning Staff required acquisition of a permit from FDOT for this work and it has been provided in the previous submittal. The FDOT permit number is: # **2019-A-496-00029**

Conclusion:

As the Broadway Avenue corridor continues to undergo improvements, this request will further the intent of the end goal of the City of Riviera Beach & the Riviera Beach CRA. As the request will not impact public, health, safety, and welfare, Gentile Glas Holloway O'Mahoney & Associates, Inc., respectfully request approval of the submitted application.



July 8, 2019

Andrea Harper, Principal Planner
City of Riviera Beach
600 West Blue Heron Blvd.
Riviera Beach, FL 33404

RE: City Staff Review of Abandonment Application for Old East 13th Street AB-18-01

Dear Ms. Harper:

Pursuant to comments received from staff on June 28, 2019 based on a submittal of May 13, 2019 please accept this letter as a written response. Also, included with this letter are the revised plans, which address the comments where applicable. For your convenience we have prepared our responses in **bold italics**.

Planning and Zoning Comments

1. The Justification Statement: Revise justification statement to delete any request for a temporary surface parking or site plan. This is not a request for a site plan, but only for the abandonment of Old East 13th Street.

Response: Comment acknowledged. The justification statement has been revised accordingly.

2. Provide location map without aerial.

Response: Comment acknowledged. A line location map has been provided with this submittal.

Fire Prevention Bureau Comments

1. Construction, Alteration, and Demolition Operations, shall comply with NFPA 241. All fire safety equipment shall remain in-service during all phases of construction. Included fire hydrants, emergency access roads.

Response: Comment acknowledged.

2. NFPA 1-16.1.4: Fire department access roads provided in accordance with 18.2.3 shall be provided at the start of a project and shall be maintained throughout construction.

Response: Comment acknowledged.

3. NFPA 1-16.5.2: Demolition operations involving the use of cutting and welding shall be done in accordance with Chapter NFPA 1-41 and NFPA 51B.

Response: Comment acknowledged.

4. NFPA 1-16.5.4: Wherein the opinion of the AHJ the demolition site is of a hazardous nature, qualified personnel shall serve as an on-site fire watch.

Response: Comment acknowledged.

5. NFPA 1-18.3.4: Fire hydrants and connections to other approved water supplies shall be accessible to the fire department.

Response: Comment acknowledged.

6. NFPA 1-18.2.3.4.1.1: Fire department access roads shall have an unobstructed width of not less than 20 ft (6.1 m). Height 13'-6".

Response: Comment acknowledged.

7. NFP A 241-8.5.2.3: All modifications to existing gas piping systems shall be performed with the gas turned off, unless otherwise permitted by 8.5.2.4.

Response: Comment acknowledged.

Utilities Comments

1. Utility District accepts the application contingent upon the pending construction drawings show how the existing potable water mains and sanitary sewer mains will be properly abandoned, etc.

Response: Construction drawings will be submitted pursuant to the requirements of the Building Department Division.

2. Roadway abandonment approved, engineering staff not approving access off of 13th Street as shown on the Sheet C1. All access to the proposed area shall come off of Avenue C.

Response: Comment acknowledged. See attached revised sheet C1 where no new access points have been identified.

Should you have any questions regarding the resubmittal please do not hesitate to contact me at 561-575-9557 or email me at dan@2gho.com.

Respectfully,

Gentile Glas Holloway O'Mahoney & Associates, Inc.



Daniel Siemsen
Associate/Sr. Landscape Architect

CC: Jeff Gagnon, AICP, Acting Development Services Department Director



**CITY OF RIVIERA BEACH STAFF REPORT
CASE NUMBER SP-18-22, NEWMAN WINDOWS & DOORS
PLANNING AND ZONING BOARD - SEPTEMBER 12, 2019**

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF RIVIERA BEACH, PALM BEACH COUNTY, FLORIDA, APPROVING SITE PLAN APPLICATION (SP-18-22) TO RECONFIGURE THE EXISTING WAREHOUSE (OFFICE AND SHOWROOM) INTERIOR SPACE AND PARKING, FOR NEWMAN WINDOWS AND DOORS, LOCATED AT 1649 AVENUE L, ASSOCIATED WITH PARCEL CONTROL NUMBERS 56434229110160031; 56434228310160031 HAVING AN INDUSTRIAL FUTURE LAND USE DESIGNATION AND A GENERAL INDUSTRIAL (IG) ZONING DESIGNATION; AND PROVIDING FOR AN EFFECTIVE DATE.

- A. Applicants:** Tad Newman, 1649 Avenue L LLC - Owner
Jordan Sperling, Schmidt Nichols – Agent
- B. Request:** The applicant is requesting approval to reconfigure the existing warehouse (Office and Showroom) interior space, and parking.
- C. Location:** The subject property is located at the southwest corner of West 17th Street and Avenue L, with postal address 1649 Avenue L, identified by Parcel Control numbers: 56-43-42-29-11-016-0031; 56-43-42-28-31-016-0031. This parcel is located within the City's municipal boundary as depicted on Exhibit A, Location Map (below).

D. Property Description and Uses: The subject property description and uses are as follows:

<u>Parcel Control Numbers:</u>	56-43-42-29-11-016-0031; 56-43-42-28-31-016-0031
<u>Parcel Size:</u>	2.41 Acres (total combined)
<u>Existing Use:</u>	Wholesale Warehouse for Impact Resistant Windows and Doors
<u>Zoning:</u>	General Industrial (IG) Zoning District
<u>Future Land Use:</u>	Industrial

E. Adjacent Property Description and Uses:

<u>North:</u>	General Industrial (IG) Zoning District: Industrial Uses
<u>South:</u>	General Industrial (IG) Zoning District: Industrial Uses, FEC Railway
<u>East:</u>	General Industrial (IG) Zoning District: Industrial Uses, Avenue L Right-Of-Way
<u>West:</u>	General Industrial (IG) Zoning District: Industrial Uses

F. Background:

City staff received a Uniform Land Use Applicant and supplement documentation from the Applicant on November 9, 2018. Please refer to the Applicant's Justification Statement for additional information. The proposal would result in the reconfiguration of interior space of Building - A (21,998 square feet). The site has always been utilized as industrial. Please note that this property has an Industrial Future Land Use designation and an Industrial Zoning designation, which is consistent with the current use onsite. In addition, this application is being reviewed concurrently with Plat application (PA-18-03), which will be coming to the Planning and Zoning Board in the near future once all staff comments, are resolved and or in satisfactory status. That application is to re-plat the two existing parcel into one.

This site plan application if approved by Council will cause this site plan to be the controlling document to remain on record and must be adhere to or amended for any future redevelopment beyond 5% as allowed by code.

The site plan application for the subject property is scheduled to be heard by the Planning and Zoning Board on Thursday, September 12, 2019 at 06:30 P.M.

G. Staff Analysis:

Proposed Use: Same as current (Storage and Wholesaling)

Zoning Regulations: The General Industrial (IG) Zoning District highlights the requirements for developments / redevelopment within the District. The proposed interior Office and showroom reconfiguration of Building A is contained within the site, away from any required setbacks and does not affect existing surrounding buffers.

Comprehensive Plan: The proposal is consistent with the City's Comprehensive Plan and the Industrial Future Land Use category as it currently exist.

Uses: The site is currently being used as a wholesale warehouse (with accessory office) for impact resistant windows and doors, which is a permitted use per the IG Zoning District code section 31-382, and is consistent with the development patterns of the area. Thus, no other use is proposed by this application.

Levels of Service: Customary services such as water, sewer, roads and garbage collection are available to the site.

Landscaping: New landscaping will be installed according to the landscape plan consistent with the City's landscape code requirements.

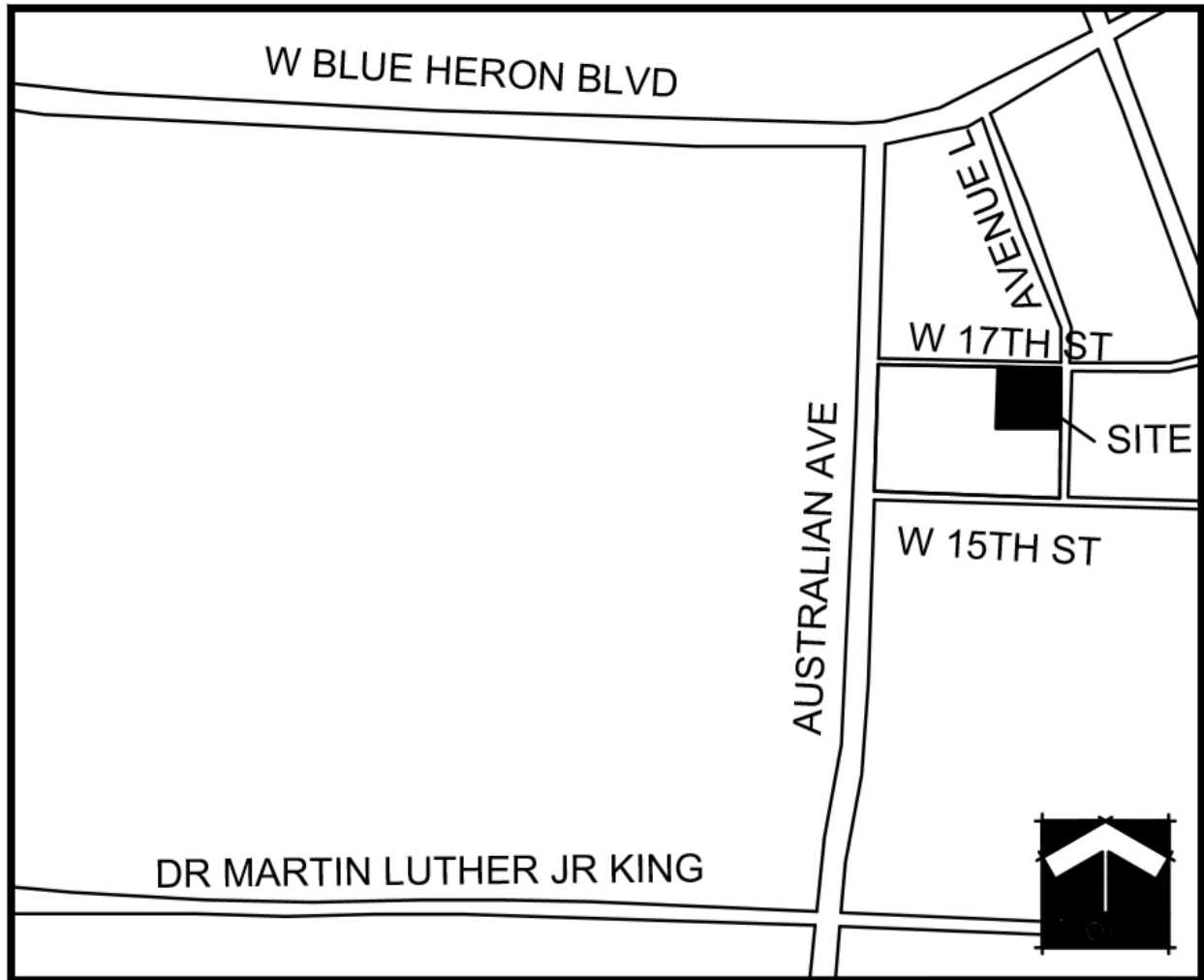
Parking/Traffic: Parking calculations has been reviewed as part of the Site Plan application in accordance to the parking section of the Zoning Code for wholesale warehouse use. A total of 46 parking spaces (30 spaces for wholesale warehouse + 16 spaces for the accessory office) required. The applicant is providing a total of 49 parking spaces as shown on the site plan.

H. Recommendation:

Staff recommends approval of the subject application (SP-18-22) to reconfigure the existing warehouse (Office and Showroom) interior space, and parking. For Newman Windows and Doors, located at 1649 avenue L, associated with parcel control numbers 56434229110160031; 56434228310160031, with the following conditions of approval:

1. A two-year landscaping performance bond for 110% of the value of landscaping and irrigation shall be required before a Certificate of Occupancy or Certificate of Completion is issued for the Addition.
2. Construction and landscaping improvements must be initiated within 18 months of the effective date of this Resolution in accordance with Section 31-60(b), of the City Code of Ordinances. Demolition, site preparation and/or land clearing shall not be considered construction. Building permit application and associated plans and documents shall be submitted in its entirety and shall not be accepted by City staff in a partial or incomplete manner.
3. City council authorizes City staff to approve future amendments to this site plan administratively so long as the site plan does not deviate greater than 5% from the originally approved site plan.
4. This development must receive final Certificate of Occupancy from the City for all buildings and units approved within five years of the approval of the adopting resolution or the adopting resolution shall be considered null and void, requiring the applicant to resubmit application for site plan and special exception approval and re-initiate the site plan approval process.
5. All future advertising must state that the development is located in the City of Riviera Beach. Fees and penalties in accordance with City Code Sec. 31-554 will be levied against the property owner and/or business for violation of this condition.
6. Once approved, this resolution shall supersede any previous site plan approval resolutions associated with this property, causing previous site plan approval resolutions to be null and void.

Location Map



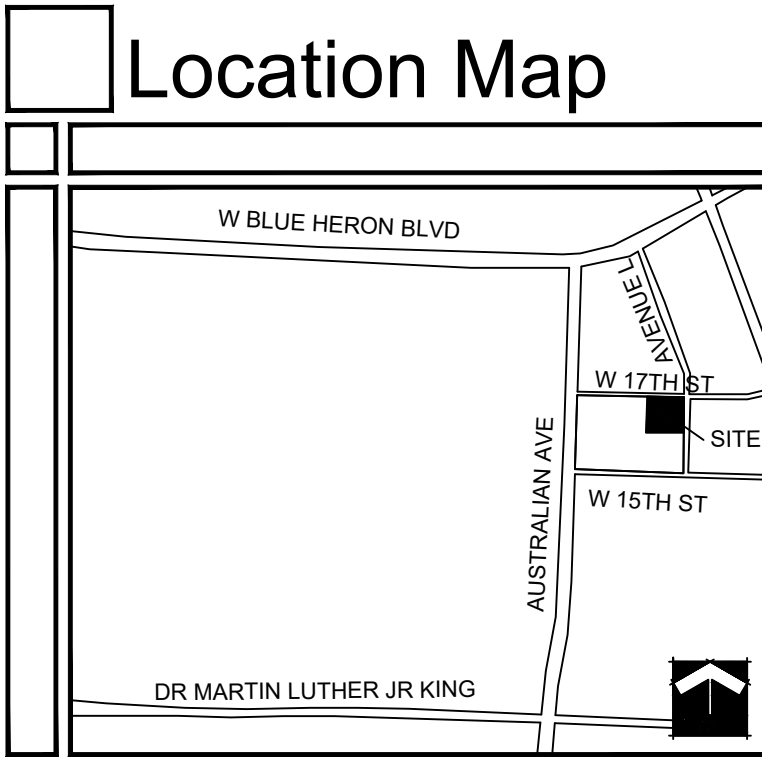
Legal Description

BEING A REPLAT OF THE EAST 50 FEET OF LOT 3 AND ALL OF LOT 4, BLOCK P, OF PLAT NO. 1 LEWIS TERMINALS ACCORDING TO PLAT THEREOF RECORDED IN PLAT BOOK 25, PAGE 63

AND

THE EAST 50 FEET OF LOT 3, BLOCK P, OF REPLAT OF PLAT NO. 1 LEWIS TERMINALS, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 27, PAGES 39, OF THE PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA.
LYING AND BEING IN SECTION 32, TOWNSHIP 42 SOUTH, RANGE 43 EAST, PALM BEACH COUNTY, THE CITY OF RIVIERA BEACH, FLORIDA

SHEET 1 OF 2



Site Data

Application Name	Newman Windows & Doors
Application Number	SP-18-22
Existing Future Land Use Designation	IND
Existing Zoning District	IG
Property Control Number(s)	56-43-42-29-11-016-0031 56-43-42-28-31-016-0031
Section, Township, Range	29/42/43 28/42/43
Existing Use	Warehouse/Distribution
Proposed Use	Warehouse/Distribution
Total Number Of Bay Doors	7
Total Site Area	2.41 acres (104,966 s.f.)
Total Gross Floor Area	34,897 s.f.
Building A	
1st Floor Office	4,764 s.f.
Warehouse/Wholesale/Showroom	27,293 s.f.
Building B	
Warehouse	2,361 s.f.
Concurrency Approval*	
Office	4,764 s.f.
Warehouse/Wholesale/Showroom	30,133 s.f.
*Concurrency is approved for the above uses and amounts shown on this plan.	
Total Floor Area Ratio	.33
Total Building Coverage (including canopy of 7,357 s.f.)	40%
Max. Impervious Area	85%
Impervious Area	84%
Buildings (34,418 s.f.)	
Pavement/Walks (53,401 s.f.)	
Pervious Area	16%
Open Space (17,147 s.f.)	
Building Height	max. 50'
Building A Height - 21'	
Building B Height - 18'	
Number of Stories	1
Parking Required	46 SPACES
Office - 1 Space / 300 s.f. @ 4,764 s.f. = 16 Spaces	
Warehouse/Wholesale/Showroom/Mezzanine - 1 Space / 1,000 s.f. @ 30,133 s.f. = 30 Spaces	
Proposed Parking	49 SPACES
Handicap Spaces Required	2
Handicap Spaces Proposed	2
Loading Required (12' x 30' Min.)	3
Loading Provided	3
Traffic Analysis Zone	136

Development Regulations

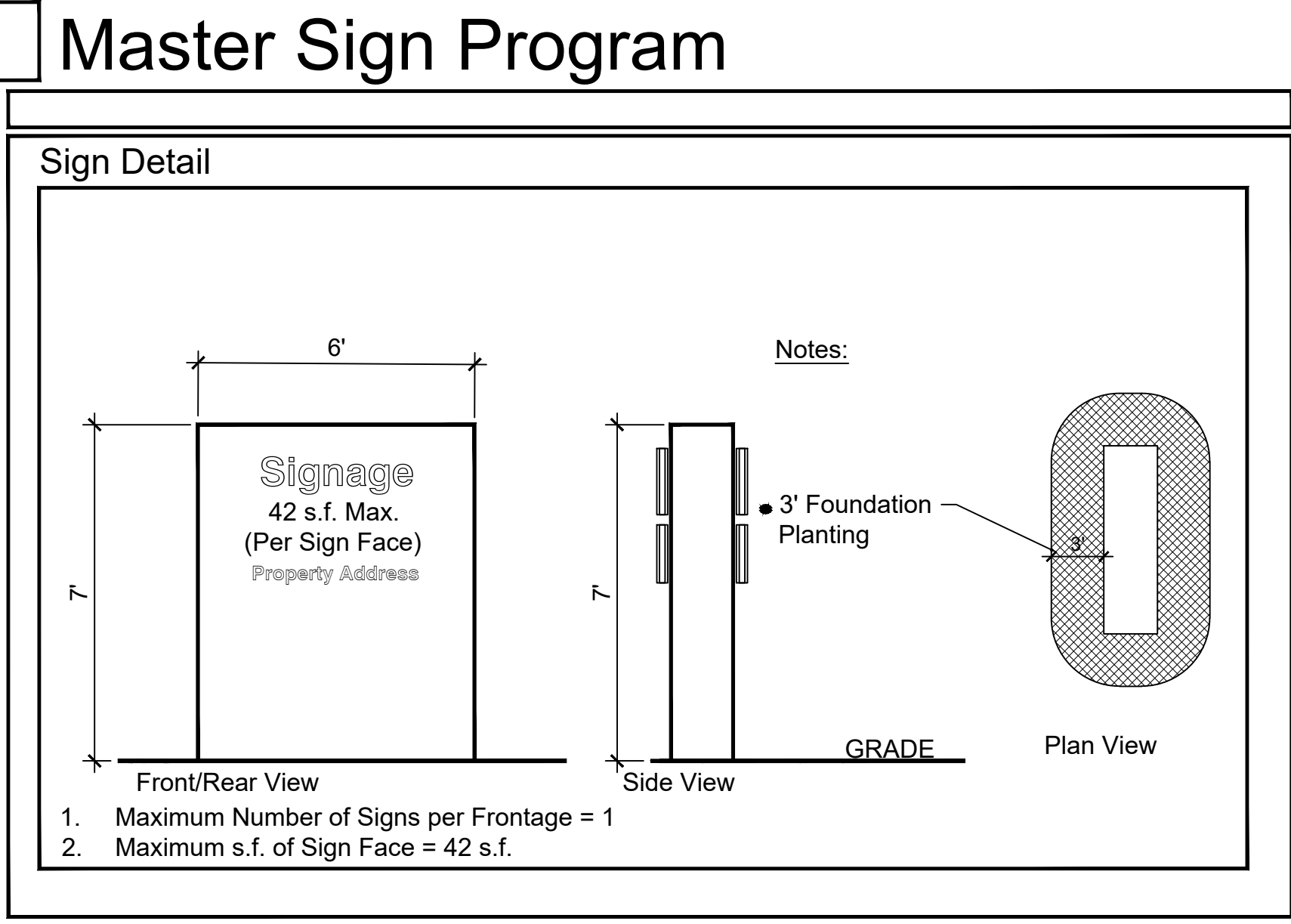
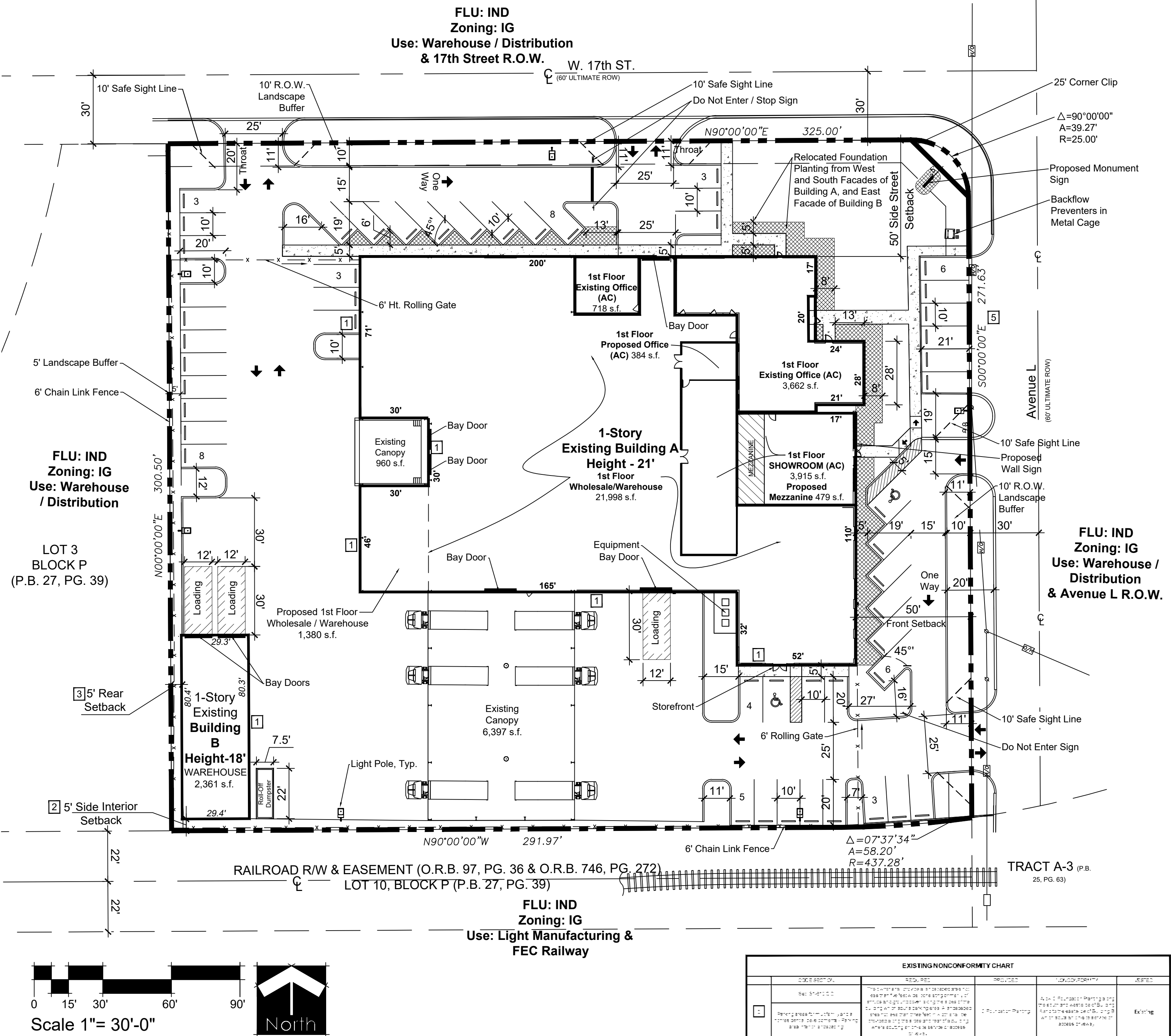
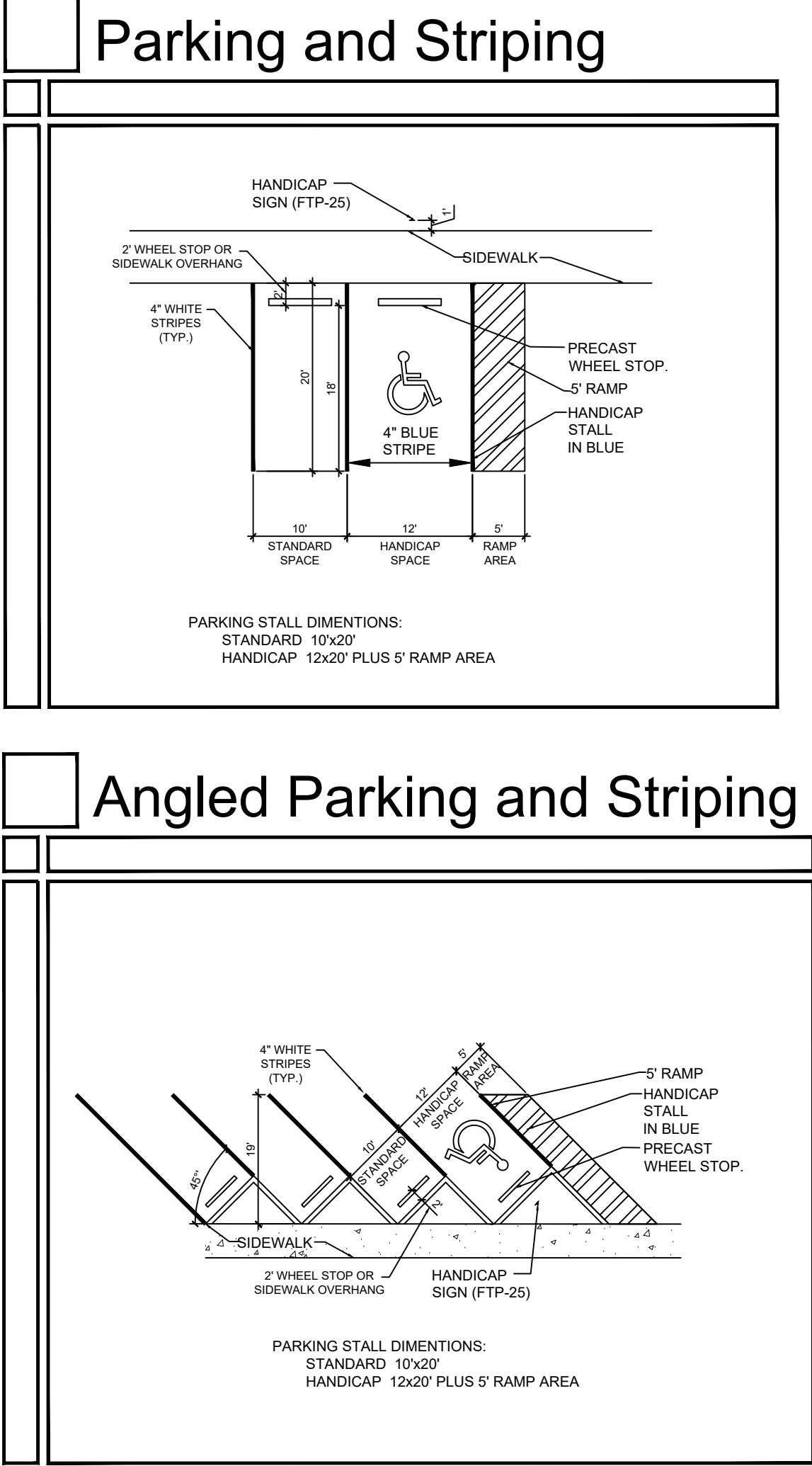
IG PROPERTY DEVELOPMENT REQUIREMENTS															
ZONING DISTRICT	MINIMUM LOT DIMENSIONS				MAX. FAR	MAX. BLDG. COVER	MIN. PERVIOUS	MAX. IMPERVIOUS	SETBACKS/SEPARATIONS						
	SIZE	WIDTH	FRONTAGE	DEPTH					FRONT	SIDE INTERIOR	SIDE STREET	REAR			
IG	1 AC.	--	--	--	1.15	45%	20%	85%	40'	15'	15'	20'			
IG	2.41 AC.	301'	271'	291'	.33	40%	16%	4	84%	50'	5'	2	50'	5'	3

Development Team

DEVELOPER:	NEWMAN WINDOWS & DOORS 2257 VISTA PARKWAY, SUITE 24 WEST PALM BEACH, FLORIDA 33411 (561) 640-1092
ARCHITECT:	ACI 2475 MERCER AVENUE WEST PALM BEACH, FLORIDA 33401 (561) 655-0674
CIVIL ENGINEER:	McLEOD, McCARTHY & ASSOCIATES, P.A. 1655 PALM BEACH LAKES BLVD WEST PALM BEACH, FLORIDA 33407 (561) 689-9500
TRAFFIC ENGINEER:	PINDER TROUTMAN CONSULTING, INC. 2005 VISTA PARKWAY, SUITE 111 WEST PALM BEACH, FLORIDA 33411 (561) 296-9698
PLANNER:	SCHMIDT NICHOLS 1551 N. FLAGLER DRIVE SUITE 102 WEST PALM BEACH, FLORIDA 33401 (561) 684-6141
SURVEYOR:	WALLACE SURVEYING, CORP. 5563 VILLAGE BOULEVARD WEST PALM BEACH, FLORIDA 33407 (561) 640-4551

Notes

° BASE INFORMATION FOR THIS PROJECT WAS OBTAINED FROM A SURVEY PREPARED BY WALLACE SURVEYING, DATED 4/24/18
THE EAST 50 FEET OF LOT 3 AND ALL OF LOT 4, BLOCK P OF PLAT NO. 1 LEWIS TERMINALS, ACCORDING TO THE PLAT THEREOF AS RECORD IN PLAT BOOK 25, PAGES(S) 63, 64 AND 65, OF THE PUBLIC RECORDS OF PALM BEACH COUNTY FLORIDA
AND
THE EAST 50 FEET OF LOT 3, BLOCK P OF REPLAT OF PLAT NO. 1 LEWIS TERMINALS, ACCORDING TO THE PLAT THEREOF AS RECORD IN PLAT BOOK 27 PAGES(S) 39, 40 AND 41, OF THE PUBLIC RECORDS OF PALM BEACH COUNTY FLORIDA

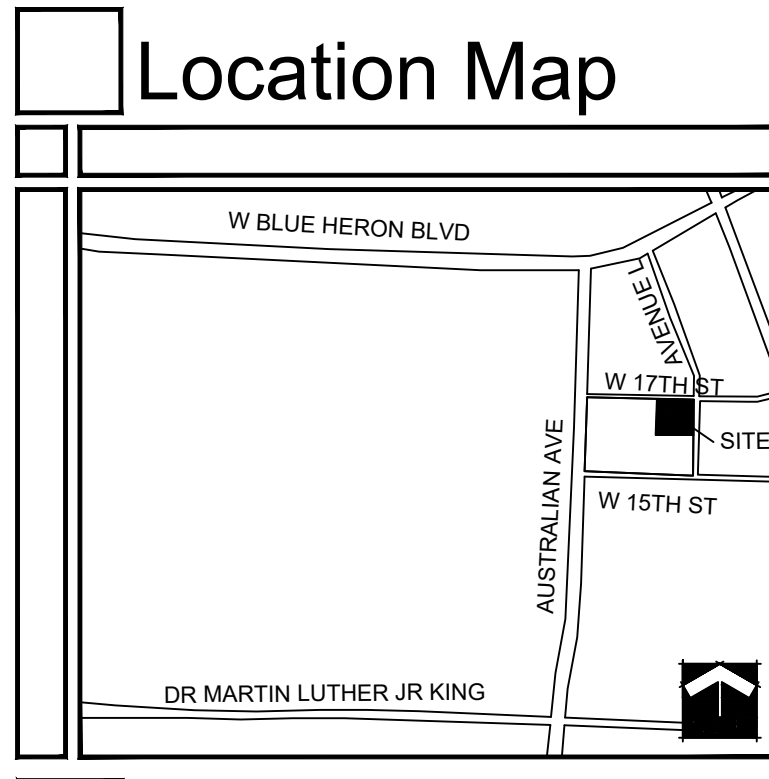


Amendment Stamp

Zoning Stamp

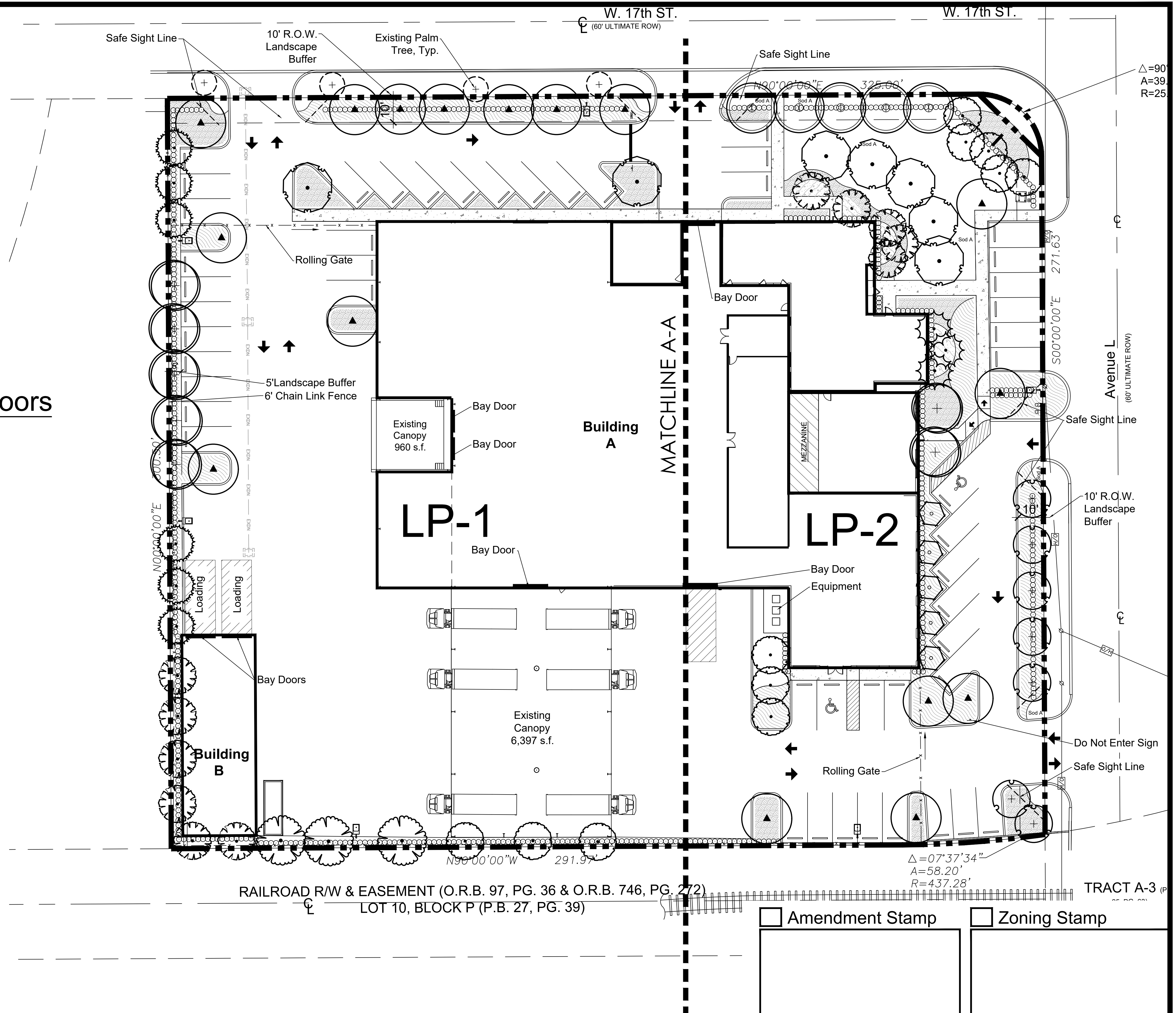
Site Plan

SP-1 of 1



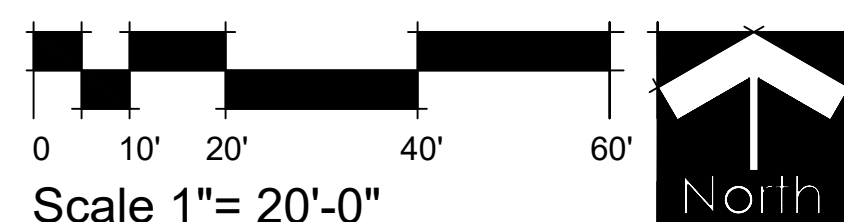
Newman Windows and Doors

- LI-1 Landscape Index
- LP-1 Landscape Plan
- LP-2 Landscape Plan
- LP-3 Area Exhibit
- LP-4 Landscape Specifications



☐ Amendment Stamp

☐ Zoning Stamp



**SCHMIDT
NICHOLS**

LANDSCAPE ARCHITECTURE
AND URBAN PLANNING

1551 N. Flagler Dr, Ste 102
West Palm Beach, FL 33401
Phone: 561.684.6141
Email: info@snlandplan.com
Website: www.snlandplan.com
License No: LC26000232

Newman Windows & Doors 1649 Avenue L Riviera Beach, Florida ,33404

Date: 11/09/18
Scale: 1" = 20'-0"
Design By: JS
Drawn By: BMC
Checked By: JS
File No: 603.02
Job No: 18-86

REVISIONS / SUBMISSIONS

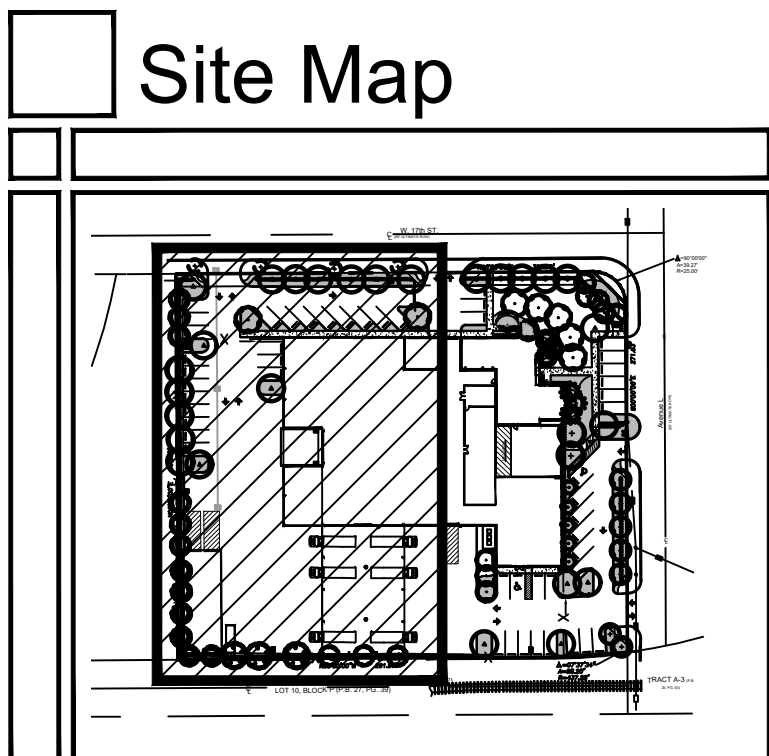
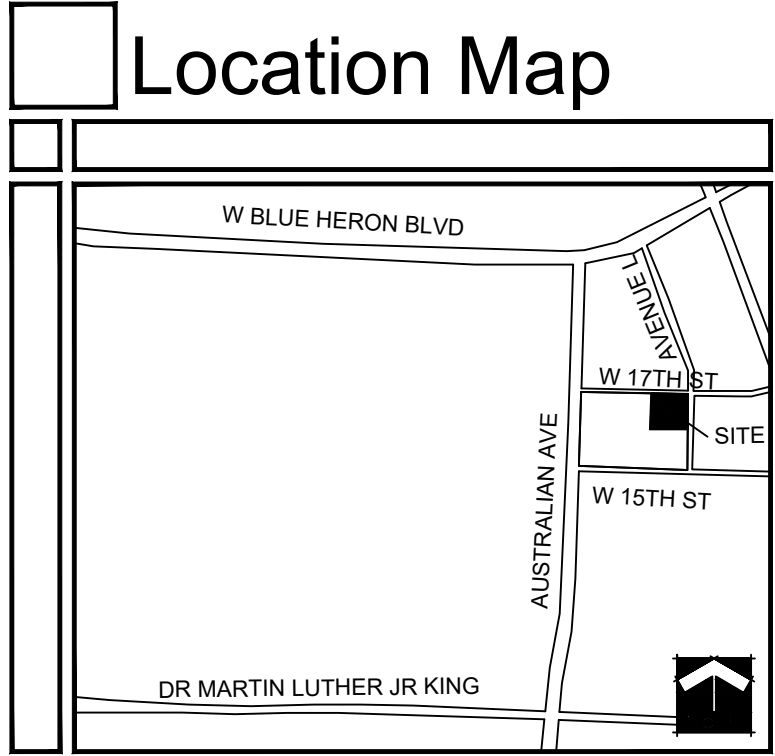
02/13/19	Resubmittal
04/15/19	Resubmittal
07/16/19	Resubmittal
08/20/19	Resubmittal

NOT VALID WITHOUT THE SIGNATURE AND ORIGINAL RAISED SEAL OF A FLORIDA LICENSED LANDSCAPE ARCHITECT.

Printed name:
FLORIDA REGISTRATION NO. LA 0001638

**Landscape
Index**

LI-1 of 1



Plant List

ACCENT TREES	CODE	QTY	BOTANICAL / COMMON NAME	CALIPER	HEIGHT	SPREAD	CLEAR TRUNK
	CS	11	Conocarpus erectus sericeus / Silver Button Wood+ Single Straight Trunk., 6" CT Min.	1.5" DBH	10'	5'	5' Min.
	IE	5	Ilex x attenuata 'East Palatka' / East Palatka Holly+ Full to Base, Matched	1.5" Cal.	10'	5'	Full to Base
	LI	7	Lagerstroemia indica 'Tuscarora' / Crape Myrtle Multi-Trunk+ Multi-Trunk	1.5" DBH	10'	5'	5' Min.
PALM TREES	CODE	QTY	BOTANICAL / COMMON NAME	CALIPER	HEIGHT	SPREAD	CLEAR TRUNK
	VM	11	Veitchia montgomeryana / Montgomery Palm+ Single Trunk, No Scarred Trunks, Matched	N/A	8' CT	5'	8' CT
	VM2	3	Veitchia montgomeryana / Montgomery Palm 'Double Trunk' + Double Trunk, No Scarred Trunks, Matched	N/A	8' CT	5'	8' CT
SHADE TREES	CODE	QTY	BOTANICAL / COMMON NAME	CALIPER	HEIGHT	SPREAD	CLEAR TRUNK
	BB	7	Bucida buceras 'Shady Lady' / Shady Lady Black Olive+ Single Straight Trunk, Min 6" CT, No Low Crotch.	2" DBH	12'	5'	6' Min.
	BS	7	Bursera simaruba / Gumbo Limbo+ Single Straight Trunk, Min 6" CT	2" DBH	12'	5'	6' Min.
	CE	16	Conocarpus erectus / Green Buttonwood+ Single Straight Trunk, No Low Crotch	2" DBH	12'	5'	6' Min.
	PI	6	Pinus elliotti var. Densa / South Florida Slash Pine+ Single Straight Trunk	2" DBH	14' OA	6'	6' Min.
	QV	5	Quercus virginiana / Southern Live Oak+ Single Straight Trunk, Min. 6" CT.	2" DBH	12'	5'	6' Min.
	SM	3	Swietenia mahagoni / Mahogany+ Single Straight Trunk, Min. 6" CT.	2" DBH	12'	5'	6'
SHRUBS	CODE	QTY	BOTANICAL / COMMON NAME	HEIGHT	SPREAD	SPACING	
	CHI	596	Chrysobalanus icaco / Coco Plum+ Full To Base, Small Shrubs	18"	18"	24" O.C.	
GROUND COVERS	CODE	QTY	BOTANICAL / COMMON NAME	HEIGHT	SPREAD	SPACING	
	FMG	1,256	Ficus microcarpa 'Green Island' / Green Island Ficus+ Full to Base	12"	12"	18" O.C.	
	SOD A	5,204 sf	Stenotaphrum secundatum / St. Augustine Grass Solid Sod, Stagger Seams, Field Verify Sod Areas Prior To Bid, Sod All Disturbed Areas	N/A	N/A	N/A	
	TAM	3,022	Trachelospermum asiaticum 'Minima' / Minima Jasmine+ Trailing	4"	6"	14" O.C.	
	TRF	95	Tripsacum floridanum / Dwarf Fakahatchee Grass+ Full To Base	24"	24"	24" O.C.	

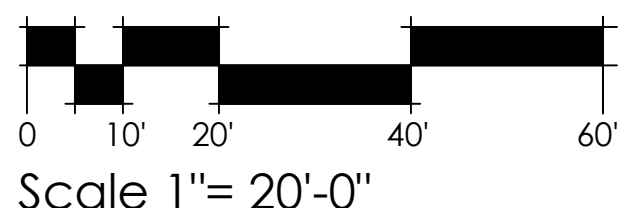
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Landscape Notes

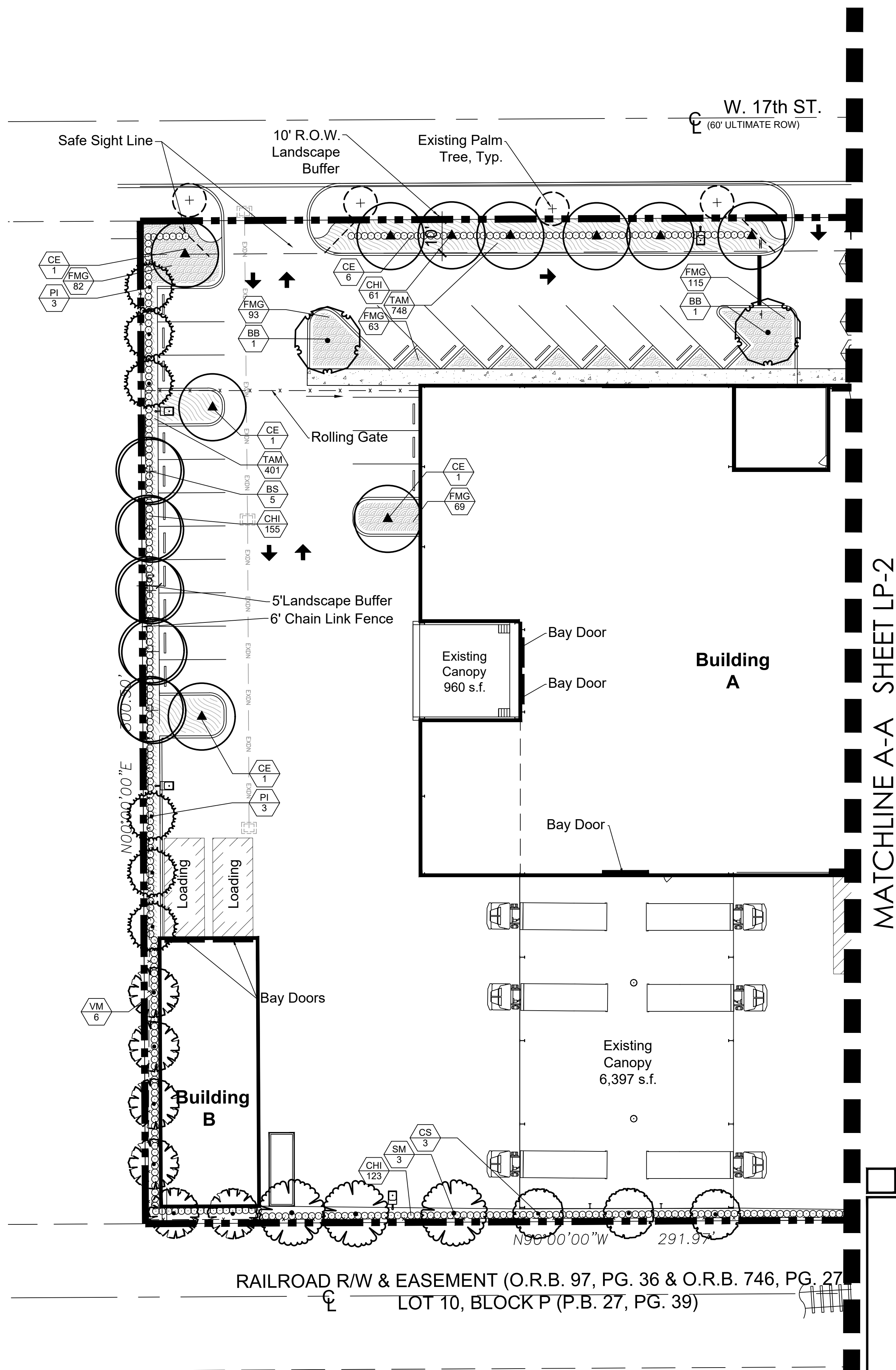
- Easements shall not encroach landscape buffers more than 5 feet.
- Landscape in right-of-way buffers shall be installed on the exterior side of walls or fences.
- Walls & fences shall be setback a min. of 10' from the ultimate R.O.W.
- FDOT Type D or F curb shall be provided along the perimeter of all landscape, open space, drainage and grassed areas adjacent to paved vehicular use areas, except where wheel stops are provided.
- Safe sight triangles shall be maintained clear of vegetation to provide unobstructed visibility between 30' and 8' above crown of road.
- Light poles, fire hydrants, electrical/mechanical equipment, signs, drainage structures, etc. shall not interfere with landscaping in terminal islands, parking islands, medians, buffers or other landscaped areas.
- All plant material is to be installed at the height, spread and DBH/Caliper shown in the Plant List, container sizes are given as a suggestion only.
- No muck-grown sod shall be utilized in detention areas.
- All landscape areas (including sod) shall be irrigated with an underground automatic sprinkler system providing min. 150% coverage.
- Trees shown on this plan are for graphic representation only. Tree spacing is based on design requirements and the trees shown on these plans attempt to accomplish that spacing while maintaining the required setbacks from utilities. Trees may be field adjusted to avoid conflicts with driveways and underground utilities. In any case the trees shall be located in the field in accordance with the planting details shown hereon.
- Trees are to be installed with a ten foot (10') separation from any water or sewer main and/or service, hydrants, and lift stations. If a ten foot (10') separation cannot be achieved, the tree can be installed with a root barrier system. Refer to the "Root Barrier" detail for installation requirements. However, in no case shall a tree encroach into a PBCUE without prior PBCWUD approval and only sod can be installed within 7.5' of a fire hydrant unless otherwise approved by the Fire Marshal.
- All planters shall be excavated to a minimum depth of the native soil on site and back-filled with a suitable soil consisting of fifty percent (50%) composted organic matter, well-mixed with native soil. Backfill material shall be free from rock, construction debris, or other extraneous material.



Know what's below.
Call before you dig.



Scale 1"= 20'-0"



Landscape Requirements

Category	Requirement	No. Required	No. Provided
Perimeter			
Trees:			
North Property Line	325'	20 I.F.	16
East Property Line	251'*	13	13
West Property Line	300'	20 I.F.	15
TOTAL BUFFER TREES		44	44
Hedge:			
North Property Line	325'	Hedge	Hedge
East Property Line	251'*	Hedge	Hedge
West Property Line	300'	Hedge	Hedge
TOTAL HEDGE			
Groundcover:			
North Property Line	325'	25%	81'
East Property Line	251'*	25%	63'
West Property Line	300'	25%	75'
TOTAL GROUNDCOVER		307'	961'

Category	Requirement	No. Required	No. Provided
Landscape Area (Site: 104,966 sf)	20% Site	20,993 sf	17,147 sf
Sod Area (17,147 sf Landscape Area)	45% Max.	7,736 sf Max	5,205 sf

Category	Requirement	No. Required	No. Provided
Interior Landscape Area (Total Provided: 17,147 sf)	50% of Required	8,596 sf	11,012 sf
TOTAL INTERIOR LANDSCAPE AREA		8,596 sf	11,012 sf

Category	Requirement	No. Required	No. Provided
Terminal Island Trees (16 Islands)	1/Island	16	16
TOTAL INTERIOR TREES		16	20

Category	Requirement	No. Required	No. Provided
Overall Site Trees (Net Site: 104,966 sf) (INCLUDES TREES COUNTED FOR BUFFER AND INTERIOR)	1/1500 sf	70	71

* Less 60' of Parking

Category	Requirement	No. Required	No. Provided
Native Shade Trees (70 Total Required)	60%	42	44
Native Accent Trees (70 Total Required)	10%	7	16
Palm Trees (70 Total Required)	20% Max.	14	14
Shade Tree Species Mix (70 Total Required)	6 species	6	6

Amendment Stamp

Zoning Stamp



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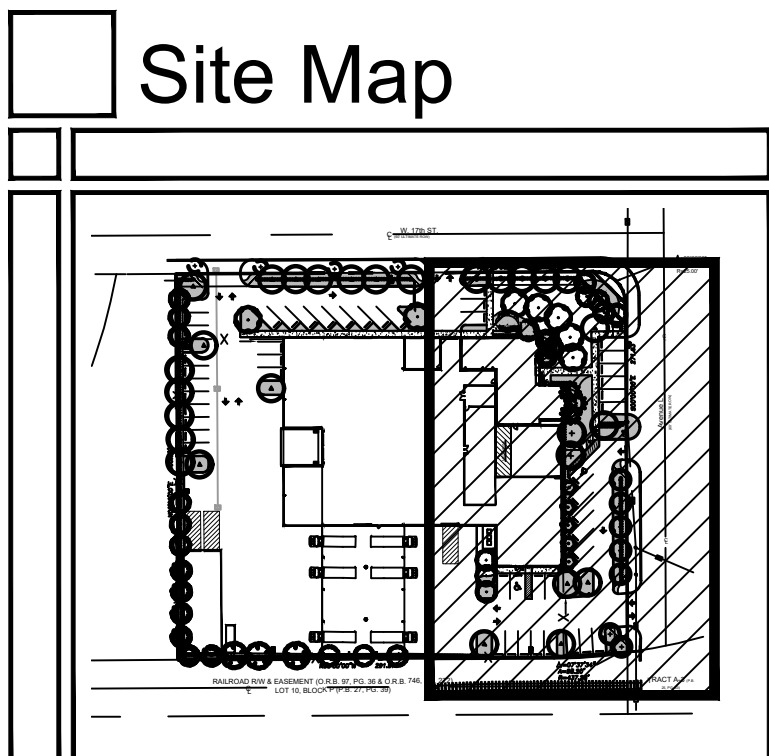
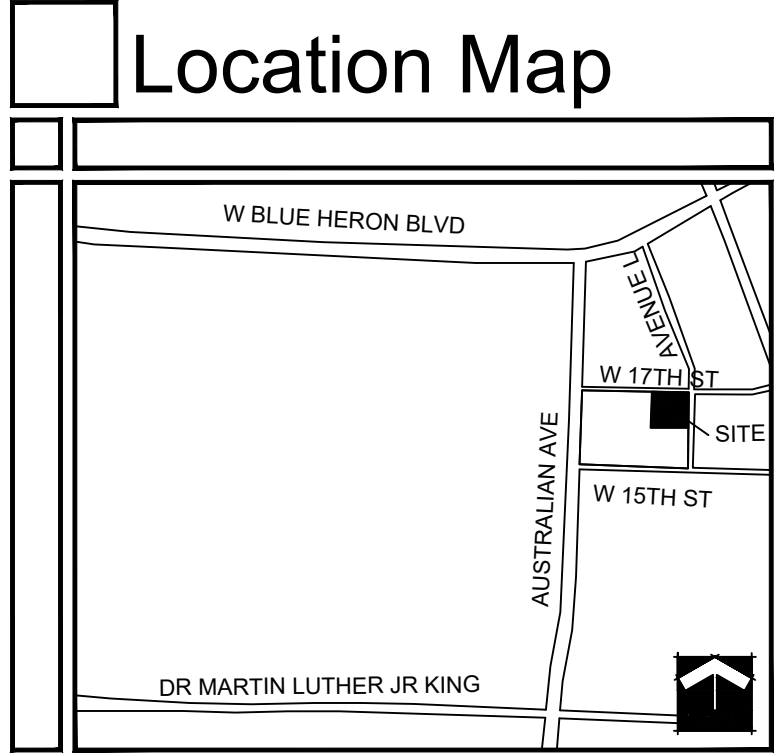
Date: 11/09/18
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Drawn By: BMC
Checked By: JS
File No. 603.02
Job No. 18-86

REVISIONS / SUBMISSIONS

02/13/19 Resubmittal
04/15/19 Resubmittal
07/16/19 Resubmittal
08/20/19 Resubmittal

Landscape
Plan

LP-1 of 4



Plant List

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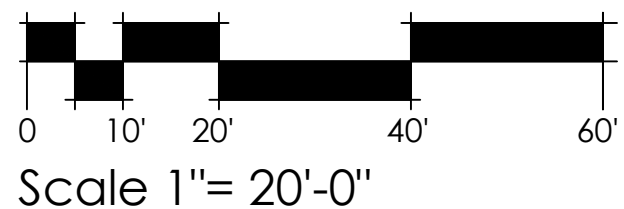
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Landscape Notes

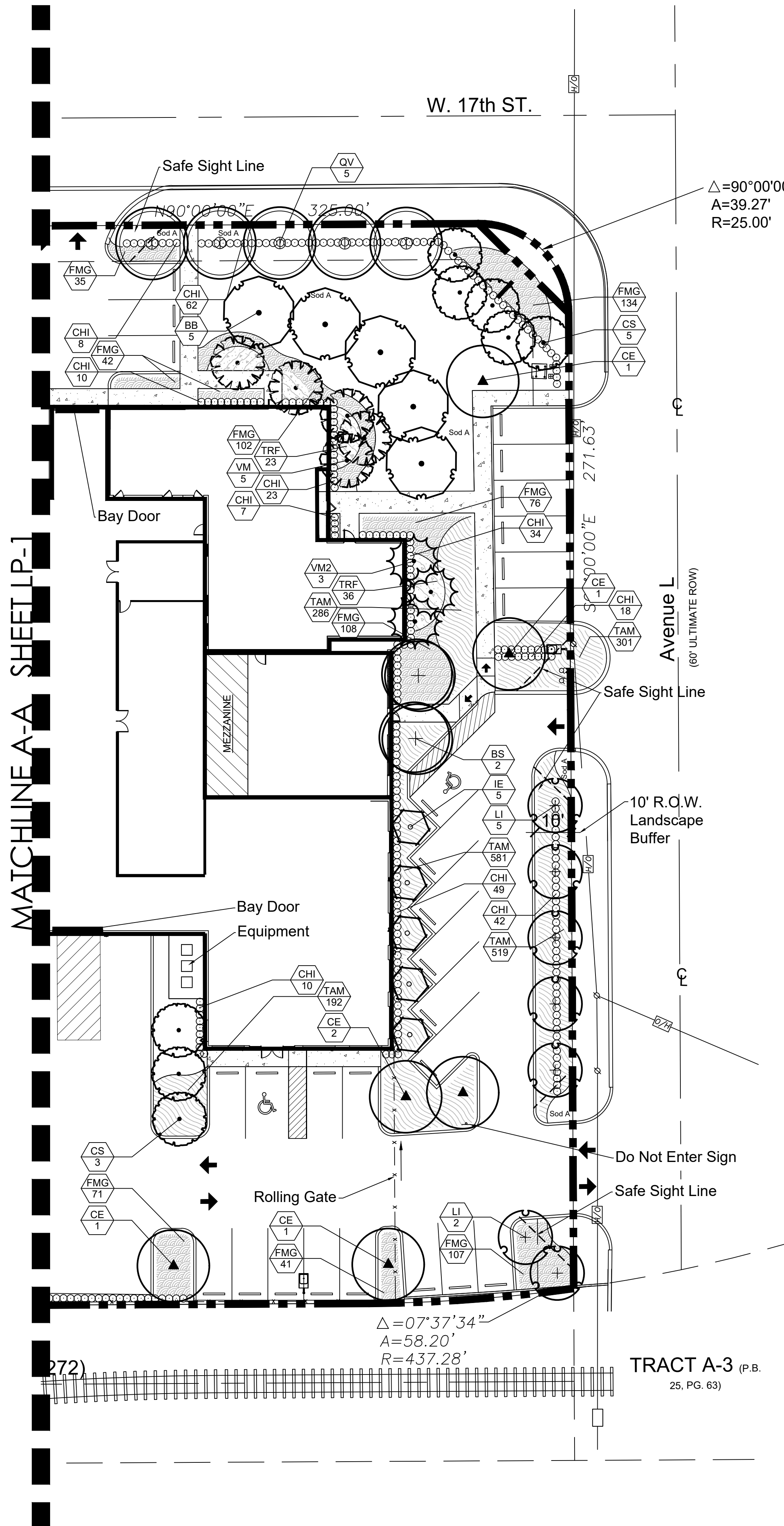
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Amendment Stamp

Zoning Stamp



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Date: 11/09/18
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REVISIONS / SUBMISSIONS

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LP-2 of 4



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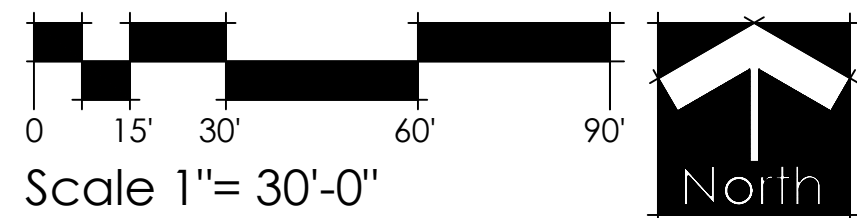
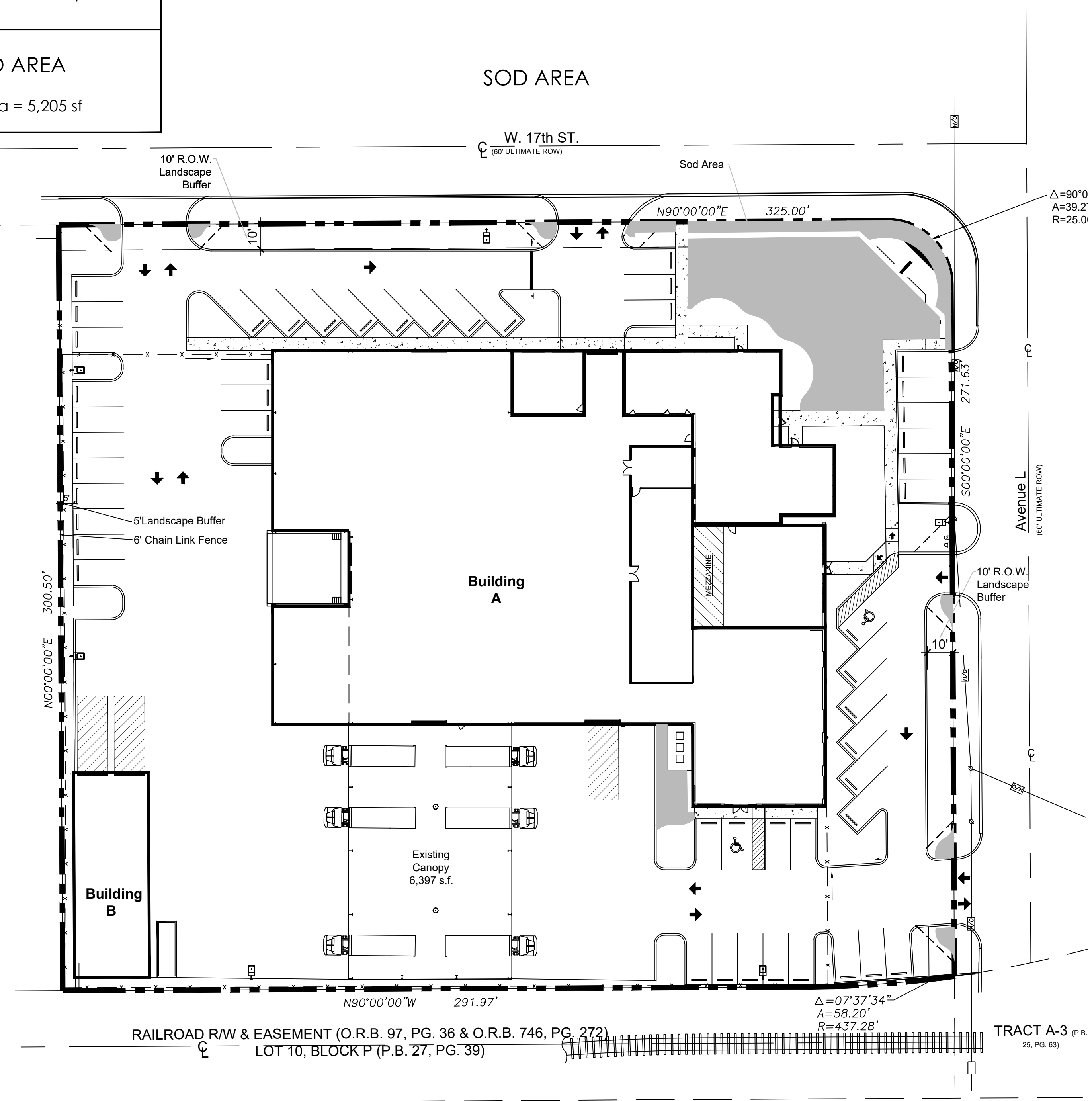
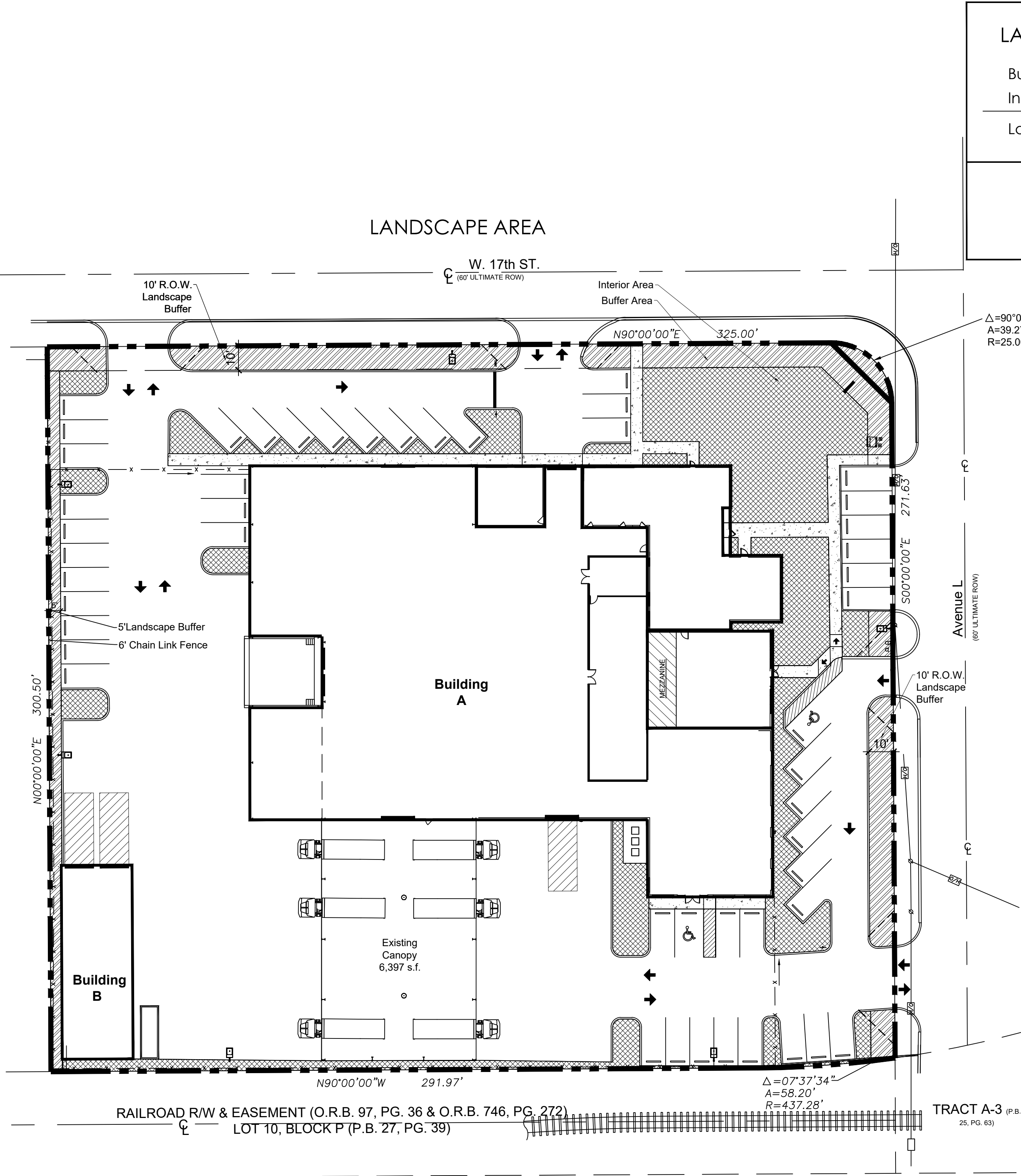
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LANDSCAPE AREA

Buffer Area = 6,179 sf
Interior Area = 10,968 sf
Landscape Area = 17,147 sf

SOD AREA

Sod Area = 5,205 sf



☐ Amendment Stamp ☐ Zoning Stamp

PART 1 GENERAL

1.01 WORK INCLUDED

- A. The scope of the work for the landscape contractor for the project shall include the provision of all labor, materials and equipment required to complete all tasks associated with the landscape and irrigation installation as shown on the drawings or noted herein. The landscape contractor is responsible for coordinating with the general contractor reasonable access to power and potable water sources as required to ensure plant survivability and delivery of a completed project that meets all the required specifications to the Landscape Architect in writing within this period. No substitution shall be permitted without prior written approval from the Landscape Architect. The contractor is responsible for exhausting all means possible to obtain the materials as specified prior to requesting substitution.
- B. Subgrade Elevations: Excavation, filling and grading required to establish elevations 4" lower than elevations and contours shown on drawings are not specified in this Section.
- C. Finish Grade Elevations: 1 inch below top of pathway edging.

1.02 QUALITY ASSURANCE

- A. Subcontract landscape work to a single firm specializing in landscape work.
- B. The landscape contractor shall be responsible for ensuring all work (including delivery, storage and disposal of their materials) is performed in compliance with applicable jurisdictional codes.
- C. The landscape contractor shall be responsible for familiarizing themselves with project plans and scopes of work related to associated trades to be performed by others in order to identify key coordination items including, but not limited to, site access, material storage, and scheduling and sequencing of work. The landscape contractor is responsible for coordinating all site issues with the general contractor.
- D. The plant quantities shown on the landscape contract documents are for the convenience of the landscape contractor. The landscape contractor is responsible for verifying all quantities and reporting any discrepancies to the Landscape Architect for clarification prior to contract award and at commencement of work. Contractor is responsible for confirming sod quantities and certifying such to the Owner or his representative.
- E. The landscape contractor shall be responsible for the protection of all adjacent work, materials and equipment from damage due to their activities. The landscape contractor shall be solely responsible for any damage or injury to person or property that may occur as a result of the execution of their work.
- F. Landscape Contractor to notify the Owner or his representative, or Landscape Architect at least three (3) working days prior to beginning any stage of work.
- G. Owner or Landscape Architect to be immediately notified of any discrepancies found in field.
- H. The Owner or his representative, or Landscape Architect reserve the right to field adjust plant material on-site to avoid conflicts or discrepancies not anticipated in the planning process.

- I. Source Quality Control
- Ship landscape materials with certificates of inspection required by governing authorities. Comply with regulations applicable to landscape materials.
 - Do not make substitutions. If specified landscape material is not obtainable, submit to Landscape Architect proof of non-availability and proposal for use of equivalent material. When authorized, adjustment of contract amount will be made. The contractor is responsible for exhausting all means possible to obtain the materials as specified prior to requesting substitution.
 - Analysis and Standards: Package standard products with manufacturer's certified analysis. For other materials, provide analysis by recognized laboratory made in accordance with methods established by the Association of Official Agricultural Chemists, where applicable.
 - Trees, Palms and Shrubs: Provide trees, palms and shrubs grown in a recognized nursery in accordance with good horticultural practice. Provide healthy, vigorous stock free of disease, insects, eggs, larvae, and defects such as decay, knots, sun-scald, injuries, abrasions, and disfigurement. Root systems shall be vigorous and fibrous, filling the container but shall not be root bound or exhibit spiraling roots. Verification of the health and vigor of all plant material is the sole responsibility of the landscape contractor.
- A. Provide trees, palms and shrubs for grade Florida No. 1 as outlined under the current edition of the Grades and Standards for Nursery Plants, Florida Department of Agriculture, unless otherwise noted.
- B. Sizes: Provide trees and shrubs of sizes shown or specified. Trees, palms and shrubs of larger size may be used if acceptable to Landscape Architect, and if sizes of roots or balls are increased proportionately.
- C. Inspection: Landscape Architect reserves right to inspect trees, palms and shrubs either at place of growth or at site before planting, for compliance with requirements for name, variety, size and quality.

1.03 SUBMITTALS

- A. Certification: Submit certificates of inspections as required by governmental authorities, and manufacturers' or vendor's certified analysis for soil amendments and fertilizer materials. Submit other data substantiating that materials comply with specified requirements.
- B. Submit seed vendor's certified statement for each grass seed mixture required, stating botanical and common name, percentage by weight, and percentage of purity, germination, and weed seed for each grass seed species.
- C. Planting Schedule: Submit planting schedule showing schedule dates for type of planting in each area of site.
- D. Maintenance Instructions: Submit procedures for maintenance of landscape work.

1.04 DELIVERY, STORAGE AND HANDLING

- A. Packaged Materials: Deliver packaged materials in original containers showing weight analysis and name of manufacturer. Protect materials from deterioration during delivery, and while stored at site.
- B. Sod: Time delivery so that sod will be placed within 24 hours after stripping. Protect sod against drying and breaking of rolled strips.
- C. Trees, palms and shrubs: Provide freshly dug trees, palms and shrubs. Do not prune prior to delivery. Do not bend or bind trees or shrubs in such a manner to damage bark, break branches or destroy natural shape. Provide protective covering during delivery.
- D. Deliver trees, palms and shrubs after preparations for planting have been completed and plant immediately. If planting is delayed more than 6 hours after delivery, set trees and shrubs in shade, protect from weather and mechanical damage, and keep roots moist.
- E. Do not remove container grown stock from containers until planting time.

1.05 JOB CONDITIONS

- A. Proceed with and complete landscape work as rapidly as portions of site become available.
- B. Utilities: Determine location of underground utilities and perform work in a manner which will avoid possible damage. Hand excavate, as required. Maintain grade stakes set by others until removal is mutually agreed upon by parties concerned.
- C. Excavation: When conditions detrimental to plant growth are encountered, such as rubble fill, adverse drainage conditions, or obstructions, notify Landscape Architect before planting.
- D. Planting Schedule: Where applicable, prepare a proposed planting schedule. Schedule dates to establish a logical sequence for completing each type of landscape work to avoid damage to other landscape work and work performed by other discipline. Correlate with specified maintenance periods to provide maintenance from date of substantial completion. Once accepted, revise dates only as approved in writing, after documentation of reasons for delay.
- E. Coordination with Lawns: Plant trees, palms and shrubs after final grades are established and prior to planting of lawns, unless otherwise acceptable to Landscape Architect. If planting of trees, palms and shrubs occurs after lawn work, protect lawn areas and promptly repair damage to lawns resulting from planting operations.

1.06 SPECIAL PROJECT WARRANTY

- A. Warrant lawns through specified maintenance period, and until final acceptance. The required period is for one full year following installation of lawn areas.
- B. Warrant trees for a period of one year after date of substantial completion against defects and unsatisfactory growth, except for defects resulting from neglect by Owner, abuse or damage by others, or unusual phenomena or incidents which are beyond Landscape Contractor's control.
- C. Warrant shrubs for 1 full year after date of substantial completion.
- D. It is understood that the warranty is to be inclusive of all labor, materials and equipment necessary for the replacement of any plant materials required.
- E. Should the landscape contractor be required to replace any damaged, diseased, dying or dead plant material it is understood that the replacement material is to be of the same species, size and quality as that originally specified on the Landscape Plan. The contractor will be responsible for the removal of all materials and leaving the impacted area clean following any remedial action.
- F. Remove and replace trees, shrubs or other plants found to be dead or in unhealthy condition during warranty period. Make replacements during growing season following end of warranty period. Replace trees and shrubs which are in doubtful condition at end of warranty period; unless, in opinion of the Landscape Architect, it is advisable to extend warranty period for a full growing season or for one full year.
- Another inspection will be conducted at end of extended warranty period to determine acceptance or rejection. Only one replacement will be required at end of warranty period, except for losses or replacements due to failure to comply with specified requirements.

PART 2 PRODUCTS

2.01 TOPSOIL

- A. If topsoil is not available on site it must be furnished as specified. Throughout all parts of site where finish grades and contour lines differ from existing contour lines, bring to finish grade contours shown on "Grading Plan."
- B. Topsoil shall be friable fertile soil with representative characteristics of area soils. It should be free of heavy clay, silt, stone, extraneous lime, plant roots and other foreign matter greater than 1 1/2" diameter. It shall not contain noxious plant growth (such as bermuda or nut grass). It shall test in neutral Ph range of 5.0 to 6.75 and contain no toxic substances that can be deemed to impede plant growth. The contractor shall be prepared to have soil lab-tested at his expense by the Landscape Architect or Owner. Topsoil shall comply with the following quantitative analysis.

COMPONENTS	VOLUME MEASURE	PARTICLE SIZE
Organic Matter	3 - 5%	
Silt	10 - 30%	0.05 to 0.002 MM
Sand	25 - 75%	0.2 to 0.05 MM
Clay	5 - 25%	0.002 MM and below

2.02 SOIL AMENDMENTS

- A. If necessary to bring soil into above specified limits:
- B. Lime: Natural limestone (Dolomite) containing not less than 85% of total carbonates, ground so that not less than 90% passes a 10-mesh sieve and not less than 50% passes a 100-mesh sieve.
- C. Peat Humus or Peat Moss: Texture, moisture and pH range suitable for intended use.
- D. Humus Soil Conditioner: Consisting of yard trimmings and peat moss, or similar organic materials, as specified.
- E. Commercial Fertilizer: Complete fertilizer of neutral character, with 40% - 50% of the total nitrogen in a water insoluble form. It shall be uniform in composition, dry and free flowing.
- For trees, palms and shrubs, provide fertilizer with not less than 6% available phosphoric acid, 6% nitrogen and 6% soluble potash.
 - For lawns, provide fertilizer with not less than 6% phosphoric acid, and 6% potassium, and percentage of nitrogen required to provide not less than 1 lb. of actual nitrogen per 1000 square feet of lawn area. Provide nitrogen in a form that will be available to lawn during initial period of growth.

2.03 PLANT MATERIAL

- A. Plant list/schedule is part of this specification section.
- B. Quality: Trees, palms, shrubs and other plants shall conform to the standards for Florida No. 1 or better as given in the latest edition of Grades and Standards for Nursery Plants, Florida Department of Agriculture.
- C. Conspicuous Trees: Provide trees of height, spread, and caliper listed or shown and with the branching configuration for Florida No. 1 graded trees in Grades and Standard for Nursery Plants type and species required. Provide single stem trees except where special forms are shown or listed. Ball condition variable.
- D. Balled and burlap trees should be dug and prepared for shipment in a manner that will not damage roots, branches, shape and future development after planting. The product received on-site should have a firm ball with natural soils. Dried, cracked or broken rootballs will not be accepted.

- E. Coniferous and Broad-leaved Evergreens: Provide evergreens of size shown or listed Dimensions indicate minimum height, spread, and caliper. Provide specified quality well-balanced form complying with requirements for other size relationships to the primary dimension shown and branching configuration for Florida No. 1 graded trees in Grades and Standard for Nursery Plants for type and species required.
- F. The landscape contractor is responsible for confirming the availability of all the specified plant materials within four (4) weeks of project award. All requests for substitution must be made to the Landscape Architect in writing within this period. No substitution shall be permitted without prior written approval from the Landscape Architect. The contractor is responsible for exhausting all means possible to obtain the materials as specified prior to requesting substitution.
- G. Root suckers on Live Oaks are not acceptable.
- H. No double or multi-trunk trees unless otherwise specified.

2.04 GRASS MATERIALS

- A. Grass Seed: Provide fresh, clean, new-crop seed complying with established tolerance for purity and germination. Provide seed of grass species, proportions and minimum percentages of purity, germination, and maximum percentage of weed seed, as specified. Attach a schedule of requirements.
- B. Sod: Provide strongly rooted sod free of weeds and undesirable native grasses, capable of growth and development when planted.
- C. No muck-grown sod shall be utilized in detention areas.

2.05 MISCELLANEOUS LANDSCAPE MATERIALS

- A. Ground Cover: Provide plants established and well-rooted in removable containers or internal peat pots and with not less than minimum number and length of runners specified.
- B. Anti-Erosion Mulch: Provide clean, dry, mulching hay or straw of coastal bermuda, pangola or bahia grass. Only underseeded mulch shall be acceptable.
- C. Mulch: Melaleuca or equal. The use of cypress mulch is prohibited.
- D. Stakes and Guys: When required provide stakes and deadmen of sound new hardwood or treated softwood free of knots holes and other defects. Provide wire ties and guys of 2-strand, twisted, pliable galvanized iron wire not lighter than 12 ga. with zinc-coated turnbuckles. Provide not less than 12" hose, cut to required lengths to protect tree trunks from damage by wires.

PART 3 EXECUTION

3.01 LAYOUT

- A. Layout individual trees and shrub locations and areas for multiple plantings. Stake locations and outline areas and secure Landscape Architect's acceptance before start of planting work. Make adjustments as maybe required.

3.02 PREPARATION OF PLANTING SOIL

- A. The landscape contractor is responsible for the preparation of soils within all planting areas inclusive of providing all imported soil materials, soil amendments, soil conditions and fertilizers as required.
- B. Before mixing, clean topsoil of roots, plants, sods, stones, clay lumps, and other extraneous materials harmful or toxic to plant growth.
- C. Mix specified soil amendments and fertilizers with topsoil at rates specified. Delay mixing of fertilizer if planting will not follow placing of planting soil within a few days.
- D. For planting beds, mix planting soil either prior to planting or apply on surface of topsoil and mix thoroughly before planting.
- Mix lime with dry soil prior to mixing of fertilizer.
 - Prevent lime from contacting roots of seed-living plants.
- E. Remove all shellrock encountered and backfill with clean sand or sand/silt mix.

3.03 PREPARATION FOR ALL PLANTING AREAS

- A. Eradicate weeds within the limits of all planting areas prior to beginning landscape installation. Perennial weeds and grasses to be removed include, but are not limited to, nut grass, puncture vine, morning glory, dog fennel, torpeda grass, Bermuda grass, Bahia grass, kikuyu grass, crab grass, carpet grass, sedge and other noxious and/or invasive weeds. The site is to be maintained weed free throughout planting operations.
- B. Existing plant material to be removed, except where noted on the Landscape or Tree Disposition Plans.
- C. Pre-fill to scanty soils in all planting areas to a minimum depth of 4". Densely compacted areas between 85% and 90% are to be cross ripped to a minimum of 8" depth. In the process of filling remove unacceptable materials including, but not limited to, foreign debris, construction waste, roots, concrete, asphalt and rocks greater than 1/2" diameter on average. In areas to receive sod till in fertilizer to a depth of 2" at a rate of 12 pounds per cubic ft.
- D. All planters shall be excavated to a minimum depth to reach native soil and back-filled with a suitable soil consisting of fifty percent (50%) composted organic matter, well-mixed with native soil. Backfill material shall be free from rock, construction debris, or other extraneous material.
- E. Remove sod, rock, concrete, asphalt and other non-native material to be removed from all planting areas prior to landscape installation.
- F. Spread a layer of 2 to 3 inches of humus soil conditioner over the entire planting areas. Planting areas shall include all new sod areas, shrub areas and tree areas. These areas shall be as large as 3 times the diameter of the beds of the plants, except where confined by hardscape features such as paved parking areas, paved walk ways, structures, etc. Overlapping areas shall be considered to be one large planting area for the entire mass. The humus soil conditioner shall then be uniformly disked, tilled or aerified into the existing soil to a depth of 6 to 8 inches with the following exception: no rototilling shall occur closer to the trunks of established plants than one half the distance to the dripline of the existing plant canopy. All plants, including hedges and ground cover shall be planted in individually dug holes and the material dug from the holes shall then be further mixed with the prepared site soil prior to backfilling of the planting holes around the rootballs.
- G. All landscape beds, including sod areas, shall be leveled and raked smooth prior to any planting.

3.04 PREPARATION FOR PLANTING LAWNS

- A. Preparation of Unchanged Grades: Where lawns are to be planted in areas that have not been altered or disturbed by excavating, grading, or stripping operations, prepare soil for lawn planting as follows: Till to a depth of not less than 6", apply soil amendments and initial fertilizers, remove high areas and fill in depressions; till soil to a homogeneous mixture of fine texture, free of lumps, clods, stones, roots, and other extraneous matter.
- Prior to preparation of unchanged areas, remove existing grass, vegetation and turf. Dispose of such material outside of Owner's property; do not return over into soil being prepared for lawn.
- B. Elsewhere: Loosen subgrade of lawn areas to a minimum depth of 4". Remove stones over 1 1/2" in any dimension and sticks, roots, rubbish and other extraneous matter. Limit preparation to areas which will be planted promptly after preparation.
- C. Spread planting soil mixture to minimum depth required to meet lines, grades and elevations shown, after light rolling and natural settlement.
- D. Place approximately 1/2 of total amount of planting soil required. Work into top of loosened subgrade to create a transition layer and then place remainder of planting soil.
- E. Allow for soil thickness in areas to be sodded.
- F. Grade lawn areas to smooth, even surface with loose, uniformly fine texture. Roll and rake and remove ridges and fill depressions, as required to meet finish grades. Limit fine grading to areas which can be planted immediately after grading.
- G. Moistened prepared lawn areas before planting if soil is dry. Water thoroughly and allow surface moisture to dry before planting lawns. Do not create a muddy soil condition.
- H. Restore lawn areas to specified condition if eroded or otherwise disturbed after fine grading and prior to planting.

3.05 PREPARATION OF PLANTING BEDS

- A. Loosen subgrade of planting bed areas to a minimum depth of 12" using a cultimulcher or similar equipment. Remove stones over 1 1/2" in any dimension, and sticks, stones, rubbish and other extraneous matter. Spread planting soil mixture to minimum depth required to meet lines, grades and elevations shown, after light rolling and natural settlement. Place approximately 1/2 of total amount of planting soil required. Work into top of loosened subgrade to create a transition layer, then place remainder of the planting soil. Add soil amendment.
- B. Excavation for Trees and Shrubs: Excavate pits, beds and trenches with vertical sides and with bottom of excavation slightly raised at center to provide proper drainage. Loosen hard subsoil in bottom of excavation.
- For balled and burlapped (B & B trees and shrubs), make excavations at least half again as wide as the ball diameter and equal to the ball depth.
 - For container grown stocks, excavate as specified for balled and burlapped stock, adjusted to size of container width and depth.
- C. Dispose of subsoil removed from landscape excavations. Do not mix with planting soil or use as backfill. Fill excavations for trees and shrubs with water and allow to percolate into surrounding soil before planting.

3.06 PLANTING TREES, PALMS AND SHRUBS

- A. Lay out individual trees, palm and shrub locations and areas for multiple plantings where required. Stake locations and outline areas and secure Landscape Architect's acceptance before start of planting work. Make adjustments as may be required upon approval.
- B. Set balled and burlapped (B&B) stock on layer of compacted planting soil mixture, plumb and center of pit or trench with top of ball at same elevation as adjacent finished landscape grade. Remove burlap from sides of balls; retain on bottoms. When set, place additional backfill free from rocks and debris around base and sides of ball and work each layer to settle backfill and eliminate voids and air pockets. When excavation is approximately 2/3 full, water thoroughly before placing remainder of backfill. Repeat watering until no more is absorbed. Water again after placing final layer of backfill.
- C. Balled and burlapped trees with natural burlap: pull back or remove at a minimum, the top 1/3 of the burlap from the root ball. Synthetic/plastic burlap and all other non-biodegradable materials must be removed completely from the root ball and disposed of.
- D. Trees in baskets: Remove wire baskets to a depth of 18" min. All synthetic strapping and other non-biodegradable materials must be completely removed and disposed of. Any burlap must be pulled back or removed from the top of the rootball.
- E. If trees are to be containerized, root ball will be shaved at the periphery to remove all circling roots.
- F. Set container grown stock as specified for balled and burlapped stock, except cut cans on 2 sides with an approved can cutter; remove bottoms of wooden boxes after partial backfilling so as not to damage root balls.
- G. Top-most root shall be visible within the top 2" of the root ball.
- H. All proposed trees shall be installed either entirely in or entirely out of planting beds. Planting bed outlines shall not be obstructed and shall be smooth level flooring. If trees are located outside planting beds in grass areas, maintain a minimum three feet 3" wide offset to allow for mowers to mow freely.
- I. Face of trees and palms to be located a minimum of 2'-0" off all sidewalks/bike paths or other paved surfaces, unless otherwise noted on plans.
- J. Groundcover and shrubs to be laid out in a uniform and consistent pattern.
- K. Dish top of backfill to allow for mulching.
- L. Mulch pits, trenches and planting areas. Provide not less than 3" thickness of mulch and work into top of backfill and finish level with adjacent finish grades. Not more than 2" mulch shall be placed over the rootball of the trees. At the base of the plant, 2" must be maintained free of mulch.
- M. Guy and stake trees immediately after planting, as indicated.
- N. The landscape contractor shall install plant materials using the best horticultural practices:
- Protect plant material from damage during delivery, staging and installation. Do not begin installation of shrub and groundcover materials prior to completion of irrigation installation and finish grading.
 - Do not install plant materials in winds in excess of 30 miles per hour.
 - Do not install plant materials if deep freezing will impede the ability of plant material to thrive without notifying the Landscape Architect of concerns prior to installation.
 - Perform all work in accordance with all applicable laws, codes and regulations inclusive of all permits and inspections required by federal, state and local jurisdictions.
 - The use of cables and chains for the lifting of trees is prohibited. Trees are to be lifted using nylon straps a minimum of 4" in width. Wrap trunks to protect from scraping and scarring.
 - The 'choke' strapping method for lifting trees is prohibited.
 - Do not drop plant material.
 - Limit the amount of plants to be installed per day to those that can adequately be watered in the same day.
 - Carefully remove containerized plants from their cans to avoid breaking the rootball. Containers should only be removed immediately prior to installation and plants should be immediately watered after placement.
 - Remove burlap and cut steel backfill from at least the top third of the rootball for all B&B material. Remove wire baskets to a minimum depth of 18".
 - Plant material must be installed at correct elevation in relation to finish grade as indicated on the planting details after setting. Plants set at incorrect elevations will need to be raised or lowered accordingly at no additional cost to the owner.
 - Planting pits for trees and shrubs must be excavated to the dimensions specified on the planting details. Following planting area immediately surrounding plant is to be tamped firm and use water jet technique to remove all air pockets repeating as required.
 - Apply re-wetting agent to the surface of all plant pits for trees and shrubs per manufacturer's recommendations.
 - Apply shredded hardwood mulch in even layer to a 3" depth. Mulch must be pulled off the base of all plant material.
 - Continuously monitor status of installed materials and make modifications, clean-ups and replacements as required.

3.07 PRESERVED PLANT MATERIALS

- A. The contractor is responsible for protecting and maintaining all plant material to remain within the limits of construction as indicated on the plans. Existing trees to remain shall be undisturbed and protected by barricades. Barricades are to be installed prior to any construction or earthwork takes place on the site. Barricades shall remain in place through the duration of all construction activity and not removed until authorization has been received by the Landscape Architect and governing municipality.
- B. No vehicle shall traverse this area for any storage of materials or equipment be permitted within this protected area.
- C. The contractor shall bear the sole responsibility of replacement for any damage to protected materials caused by construction activity without additional costs to the owner.

3.08 TRANSPLANTED PLANT MATERIALS

- A. Root prune all large canopy trees to be relocated prior relocation one half of the root system at a time and allow of adequate harden off time.
- B. Transplanted Sabal Palms shall be hurricane cut and rootballs shall be wrapped in burlap or plastic if not being planted within a 24 hour period.
- C. Palms of other species shall have their fronds tied together to prevent leaf damage and facilitate handling.
- D. Planting hole for transplanted material should measure two times the diameter of the root ball.
- E. Trees shall be planted at the same depth as it was in the field.
- F. The landscape contractor shall be responsible for providing supplemental irrigation through hand watering or other means (including temporary drip, water wands and soaker hoses) to help establish all transplanted trees. The contractor should continue to monitor the moisture content for all transplanted trees and adjust supplemental irrigation as needed.
- G. All relocated trees shall be staked accordingly.
- H. The contractor shall bear the sole responsibility of replacement for any damage to transplanted materials caused by construction activity, deficient irrigation, or poor transplant procedure without additional costs to the owner.

3.09 PRUNING

- A. All pruning shall be done on the site before planting as directed by Landscape Architect. Pruning shall follow modern horticultural practices (Grades and Standards for Nursery Plants) and shall be done with approved tools designed for the purpose intended. Lopping, topping, or shearing of trees or shrubs will be grounds for rejecting the plants as unsuitable and not meeting requirements. Damaged, scamed, frayed, split, or skinned branches, limbs or roots shall be pruned back to live wood nearest to the next sound outside lateral bud, branch, limb or root. The terminal leader or bud in all trees or shrubs shall be left intact and not removed unless damaged.
- B. Prune, thin out and shape trees and shrubs. Prune trees to retain required height and spread. Unless otherwise directed by Landscape Architect, do not cut tree leaders, and remove only injured or dead branches from flowering trees, if any. Prune shrubs to retain natural character.

3.10 SODDING NEW LAWNS

- A. Lay sod within 24 hours from time of stripping.
- B. Lay sod to form a solid mass with tightly fitted joints. Butt ends and sides of sod strips; do not overlap. Stagger strips to offset joints in adjacent courses. Work from boards to avoid damage to subgrade or sod. Tamp or roll tightly to ensure contact with subgrade. Work silted soil into minor cracks between pieces of sod; remove excess to avoid smothering of adjacent grass.
- C. There shall be no gaps greater than 1/2" between pieces of sod.
- D. Water sod thoroughly with a fine spray immediately after planting. Newly sodded areas shall be kept moist for the first week after planting after which a minimum watering rate of 2" per week, including rainfall shall be applied.
- E. No muck-grown sod shall be utilized in detention areas.
- F. Landscape Contractor is responsible for replacing any damaged sod.

3.11 MAINTENANCE

- A. The landscape contractor shall be responsible for the maintenance of all plant materials and the planting areas immediately after planting and until final acceptance but the owner, Landscape Architect, and governing municipality.
- B. Maintain trees, palms, shrubs and other plants until final acceptance but in no case less than following period: 30 days after substantial completion of planting.
- C. Maintain trees, palms, shrubs and other plants by pruning, cultivating and weeding as required for healthy growth. Restore planting saucers. Tighten and repair stake and guy supports and reset trees and shrubs to proper grades or vertical position as required. Restore or replace damaged wrappings. Spray as required to keep trees and shrubs free of insects and diseases.
- D. Remove and replace excessively pruned or malformed stock resulting from improper pruning.
- E. Maintain lawns for not less than the period stated below, and longer as required to establish an acceptable lawn.
- Sodded lawns, not less than 30 days after substantial completion.
 - Seeded lawns, not less than 60 days after substantial completion.
- F. Maintain lawns by watering, fertilizing, weeding, mowing, trimming, and other operations such as rolling, regrading and replanting as required to establish a smooth, acceptable lawn, free of eroded or bare areas.
- G. Landscape Contractor is responsible for watering all sod and plant materials from day of installation through final acceptance even if irrigation is not in place, unless this responsibility is assumed in writing by another party.
- H. Contractor is responsible for returning to the site after a period of (1) one year to remove the staking from the trees and palms.

3.12 CLEANUP AND PROTECTION

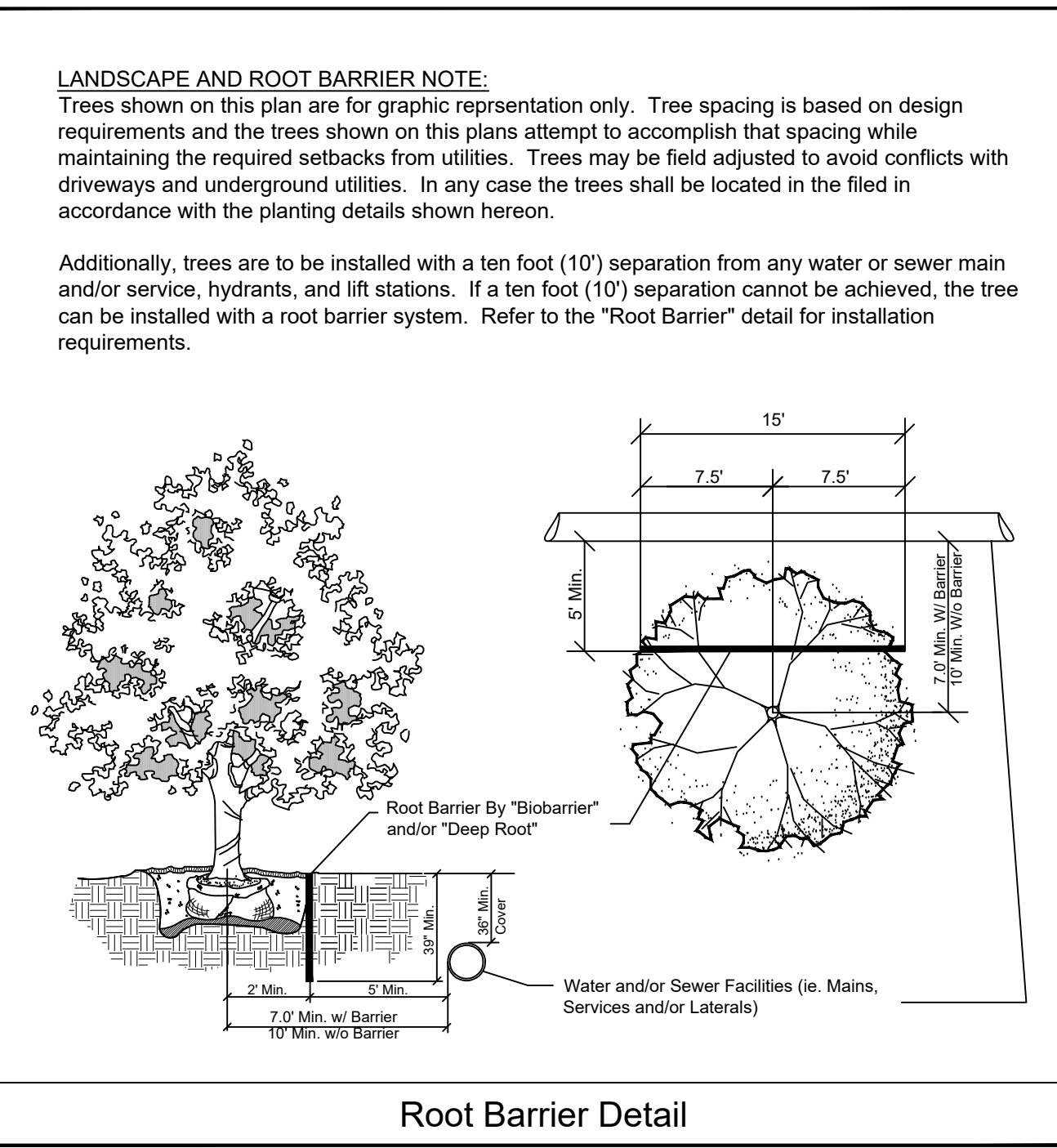
- A. During landscape work, keep pavement clean and work area in an orderly condition.
- B. Protect landscape work and materials from damage due to landscape operations, operations by other contractors and trades and trespassers. Maintain protection during installation and maintenance periods. Treat, repair or replace damaged landscape work as directed.

3.13 INSPECTION AND ACCEPTANCE

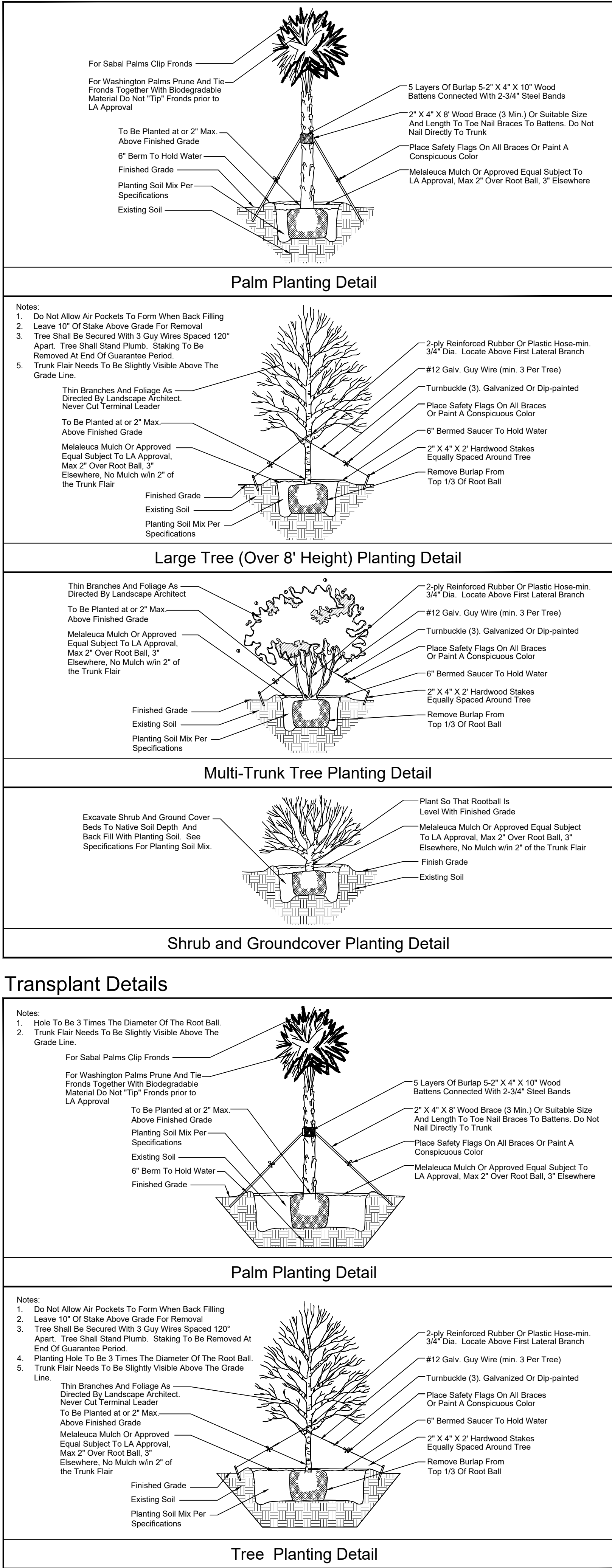
- A. When landscape work is completed, including maintenance, Landscape Architect will, upon request, make an inspection to determine acceptability. Landscape work may be inspected for acceptance in parts agreeable to Landscape Architect, provided work offered for inspection is complete, including maintenance.
- B. Sodded lawns will be acceptable provided requirements, including maintenance, have been complied with, and healthy, uniform close stand of specified grass established, free of weeds, bare spots and surface irregularities (95% coverage required for acceptance).
- C. Sodded lawns will be acceptable provided requirements, including maintenance, have been complied with, and healthy, well-rooted, even-colored, viable lawn is established, free of weeds, open joints and bare areas (95% coverage required for acceptance). Where inspected landscape work does not comply with requirements, replace rejected work and continue specified maintenance until re-inspected by Landscape Architect and found to be acceptable. Remove rejected plants and materials promptly from project site.

3.14 IRRIGATION

- A. An automatic irrigation system providing 100% coverage with 50% minimum overlap is to be designed and installed to maintain an established landscape.
- B. Bubbblers shall be provided on all trees.
- C. The landscape contractor shall be responsible for providing supplemental irrigation through hand watering or other means (including temporary drip, water wands and soaker hoses) to help establish the new and salvaged material. The contractor should continue to monitor the moisture content for all trees and shrubs.
- D. The landscape contractor is responsible for obtaining all necessary permits prior to installation.
- E. Provide an as built drawing of the irrigation system to the Landscape Architect.
- F. A rain sensor is required on all irrigation systems.



Planting Details



SCHMIDT NICHOLS

LANDSCAPE ARCHITECTURE AND URBAN PLANNING

1551 N. Flagler Dr, Ste 102
West Palm Beach, FL 33401
Phone: 561.684.6141
Email: info@snlandplan.com
Website: www.snlandplan.com
License No: LC26000232

Newman Windows & Doors

1649 Avenue L

Rivera Beach, Florida ,33404

Date:	11/09/18
Scale:	1" = 20'-0"
Design By:	JS
Drawn By:	BMC
Checked By:	JS
File No.	603.02
Job No.	18-86

REVISIONS / SUBMISSIONS
02/13/19 Resubmittal
04/15/19 Resubmittal
07/16/19 Resubmittal
08/20/19 Resubmittal

Landscape Specs

LP-4 of 4

NEWMAN
WINDOWS &
DOORS

1649 AVENUE L
RIVIERA BEACH, FL

CONTRACTOR AND ALL SUBCONTRACTORS
PERFORMING ANY WORK ON THIS
PROJECT ARE TO VISIT THE SITE AND
VERIFY ALL MEASUREMENTS INCLUDING
BUT NOT LIMITED TO BUILDING HEIGHTS,
ROOF SLOPES, ROOM DIMENSIONS ETC.
TO CONFIRM ALL EXISTING CONDITIONS
BEFORE ORDERING OR FABRICATING ANY
MATERIALS. CONTRACTOR SHALL REPORT
ANY INCONSISTENCIES WITH THE
CONSTRUCTION DOCUMENTS TO THE
ARCHITECT BEFORE CONTINUING WORK.

REV #	DATE	DESCRIPTION
SEAL		

ROGER HANSROTE, ARCHITECT
FLAR # 14300

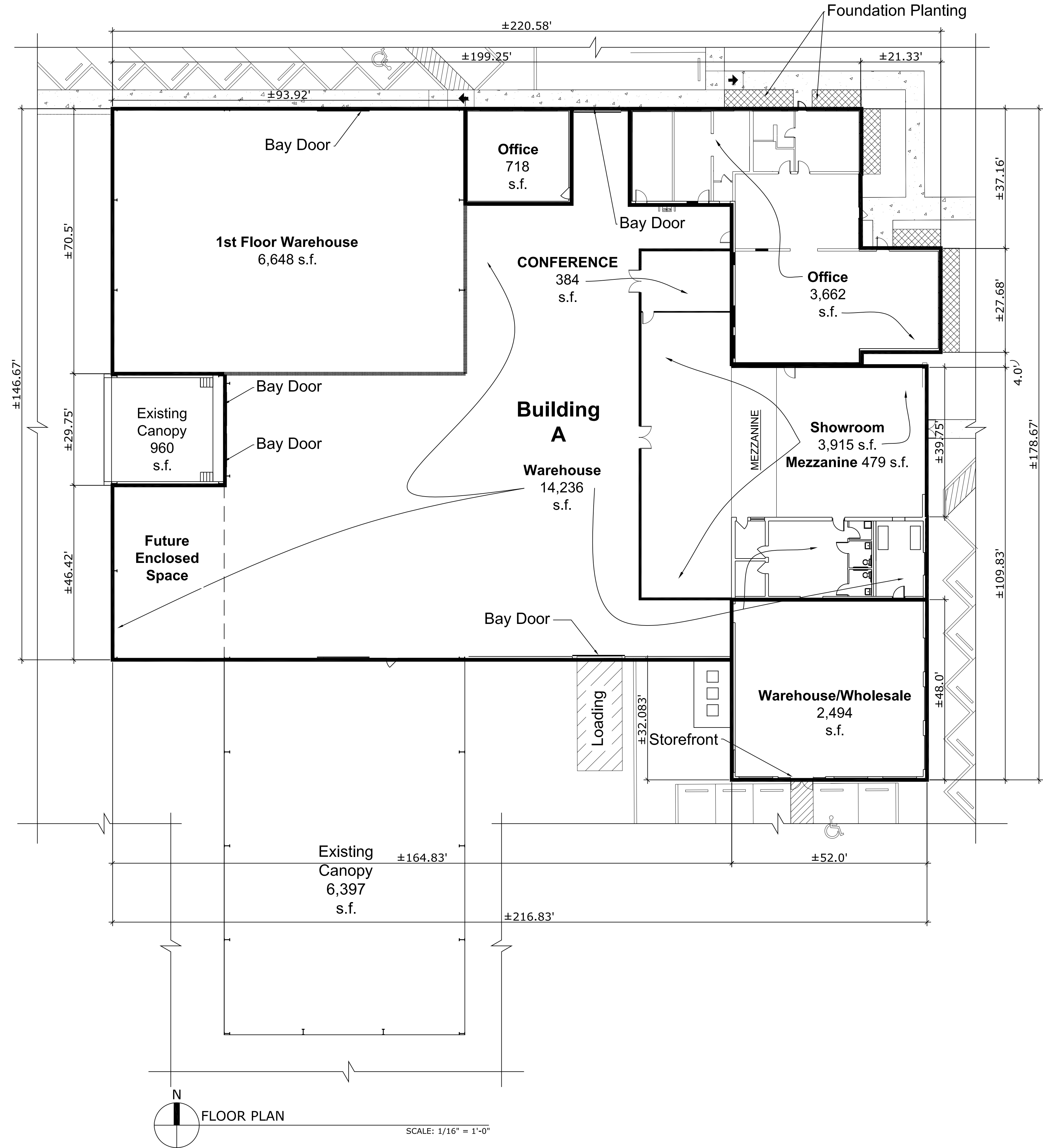
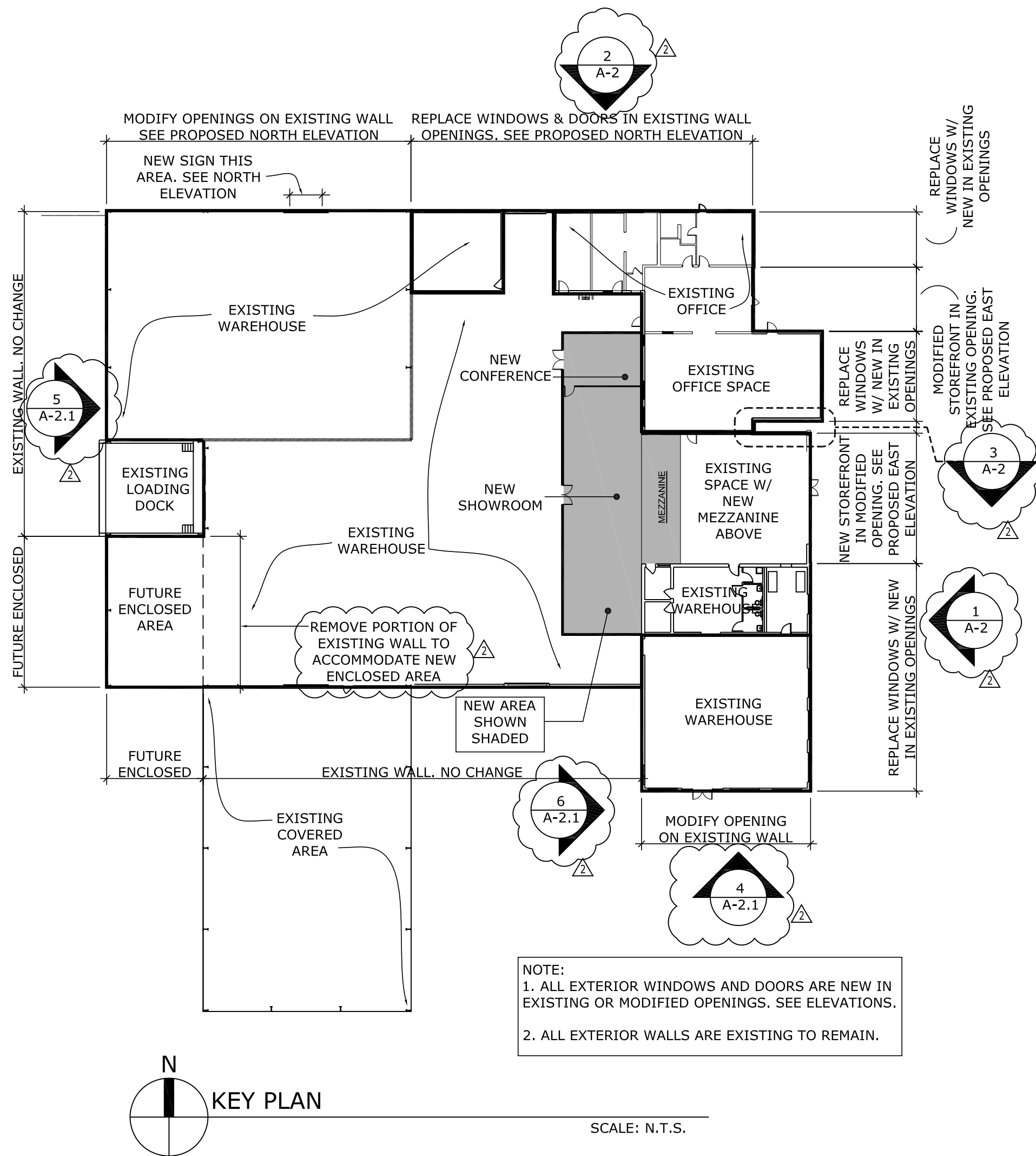
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DATE: 11-08-2018
DRAWN BY: MG/JP
APPROVED BY: RH

SHEET TITLE

FLOOR PLAN

SHEET NUMBER

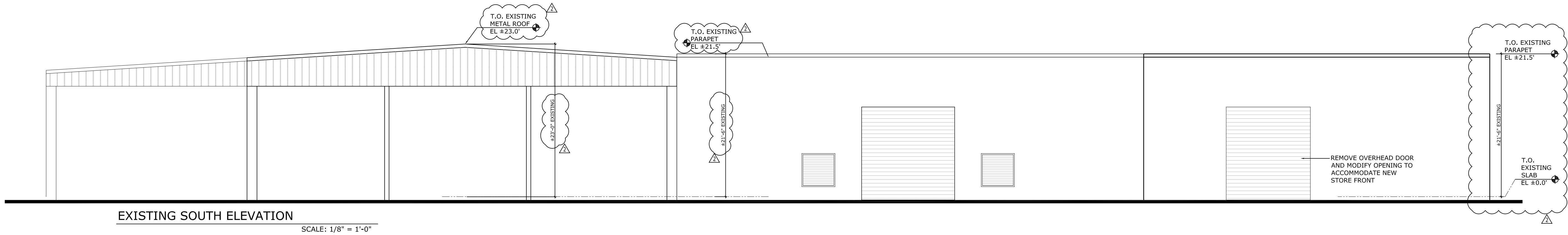
A-1



NEWMAN
WINDOWS &
DOORS

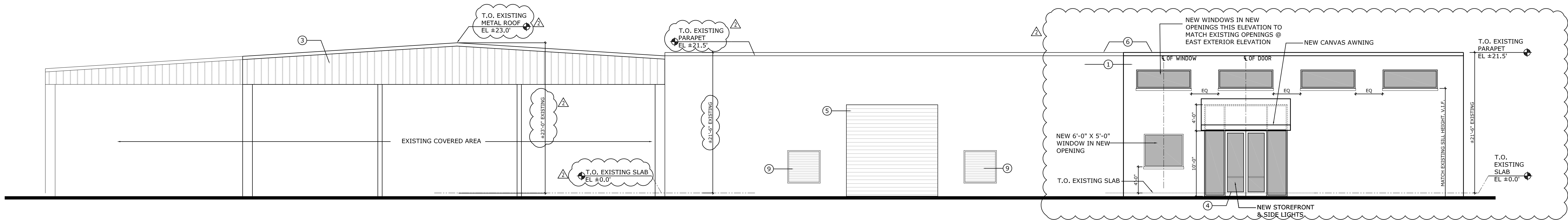
1649 AVENUE L
RIVIERA BEACH, FL

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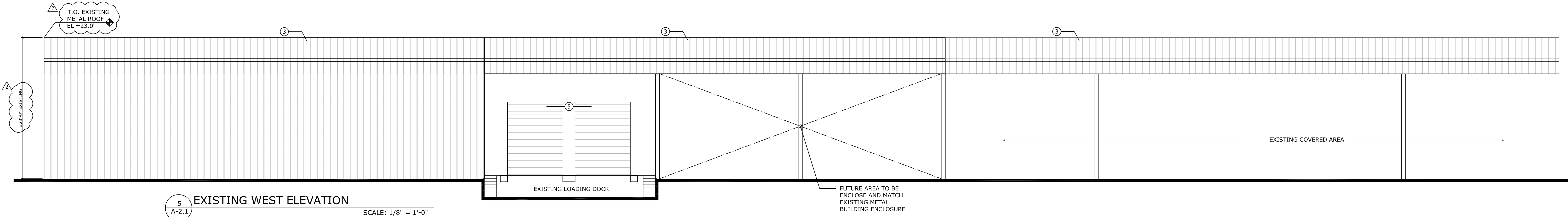
EXISTING SOUTH ELEVATION

SCALE: 1/8" = 1'-0"



PROPOSED SOUTH ELEVATION

SCALE: 1/8" = 1'-0"



EXISTING WEST ELEVATION

SCALE: 1/8" = 1'-0"

REV #	DATE	DESCRIPTION
		SEAL

ROGER HANSROTE, ARCHITECT
FLAR # 14300

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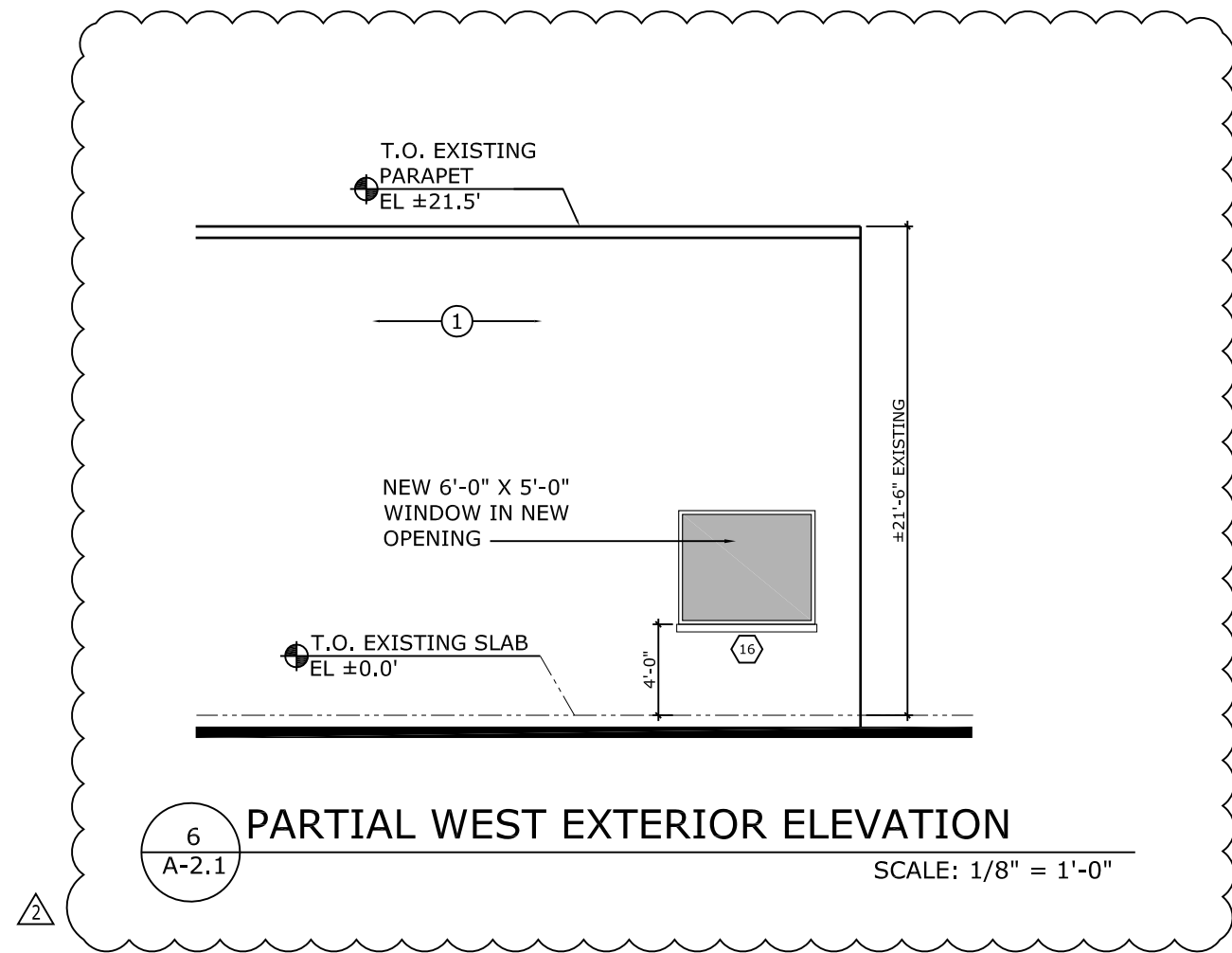
SHEET TITLE

EXTERIOR
ELEVATIONS

SHEET NUMBER

- MATERIAL KEY NOTES
- EXISTING STUCCO. PAINT FINISH TO MATCH EXISTING. TYP.
 - NEW ALUMINUM WINDOW W/ IMPACT RESISTANT GLAZING. FINISH TO MATCH EXISTING. TYP.
 - EXISTING METAL BUILDING. PAINT FINISH TO MATCH EXISTING.
 - ALUMINUM STOREFRONT W/ IMPACT RESISTANT GLAZING FINISH TO MATCH EXISTING.
 - EXISTING OVERHEAD DOOR TO REMAIN.
 - EXISTING METAL FLASHING.
 - EXISTING EYEBROW/OVERHANG TO REMAIN.
 - NEW FLUSHED H.M. DOOR AND FRAME. TO MATCH BUILDING COLOR
 - EXISTING LOUVER TO REMAIN.

NOTE: ALL WINDOWS AND DOORS ARE NEW IN EXISTING OR MODIFY OPENINGS.
UNLESS NOTED OTHERWISE.



PARTIAL WEST EXTERIOR ELEVATION

SCALE: 1/8" = 1'-0"

NEWMAN
WINDOWS &
DOORS

1649 AVENUE L
RIVIERA BEACH, FL

CONTRACTOR AND ALL SUBCONTRACTORS
PERFORMING ANY WORK ON THIS
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REV #	DATE	DESCRIPTION
SEAL		

ROGER HANSROTE, ARCHITECT
FLAR # 14300

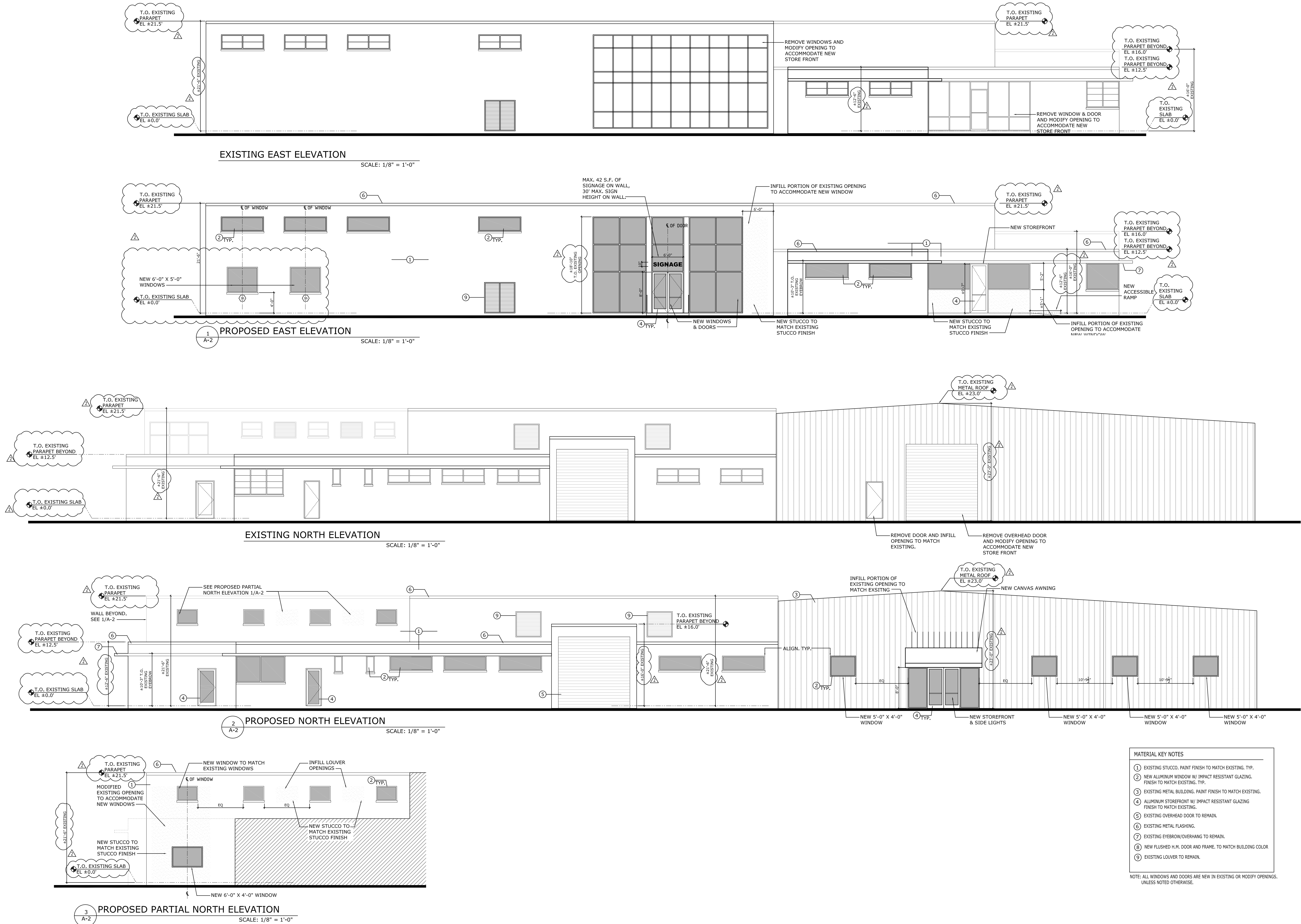
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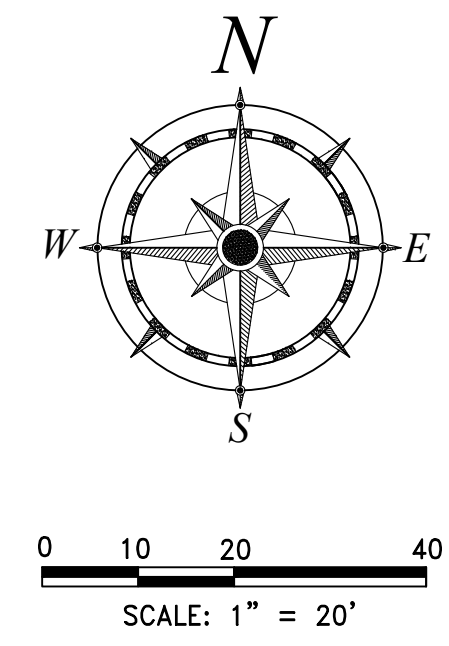
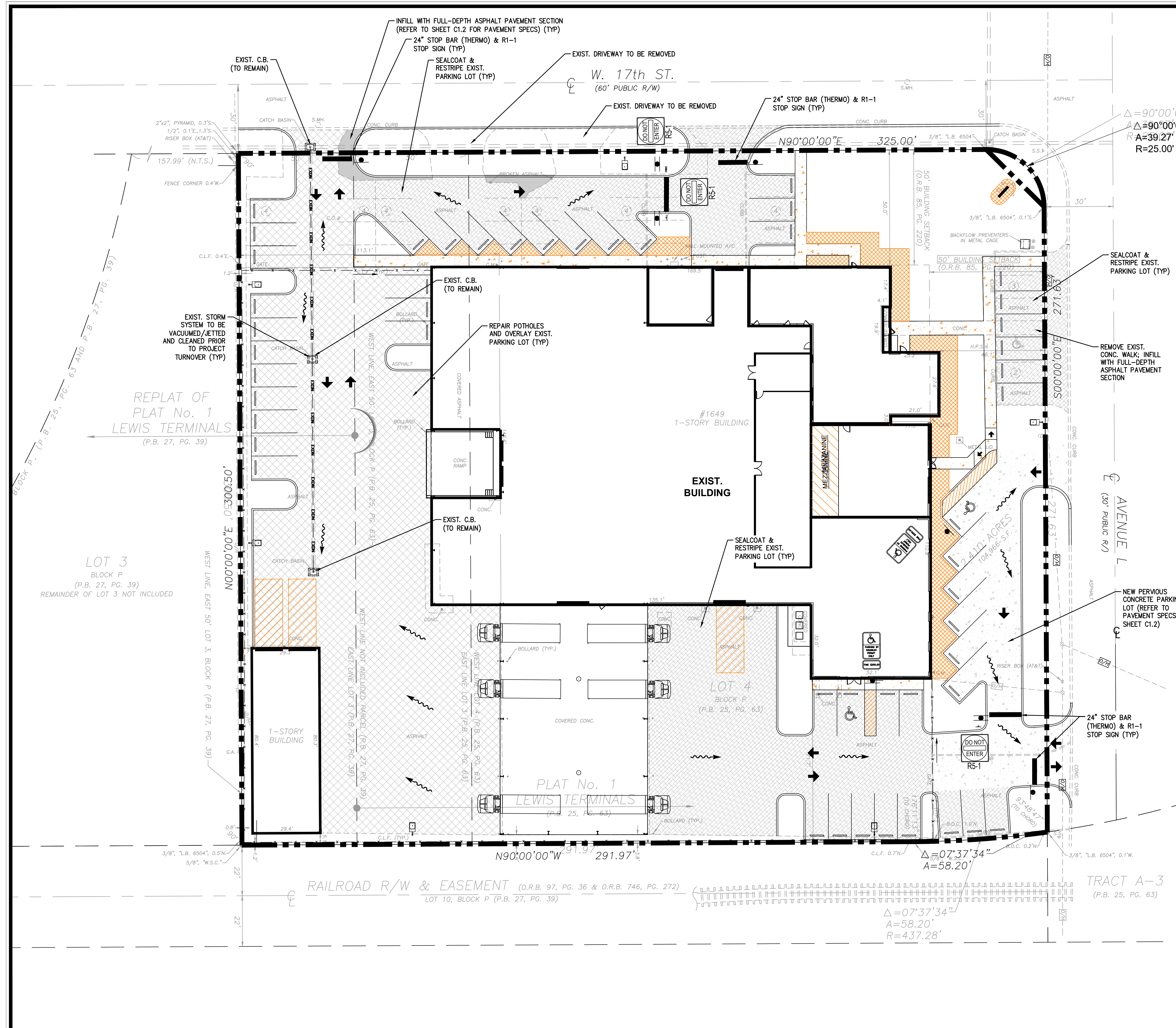
SHEET TITLE

EXTERIOR
ELEVATIONS

SHEET NUMBER

A-2





LEGEND	
PROP. SIGN	
SURFACE FLOW ARROW	
PROP. PERVIOUS CONCRETE PAVEMENT	
PROP. ASPHALT PAVEMENT	
PROP. SEALCOATING	
PROP. ASPHALT OVERLAY/OVERBUILD	
PROPOSED ELEVATION	
EXIST. ELEVATION	

- NOTES:
- EXIST. UTILITIES, DRAINAGE, & ELEVATIONS BASED ON SURVEY PREPARED BY COMPASS POINT SURVEYING. CONTRACTOR SHALL VERIFY INVERTS, PIPE SIZES, AND STRUCTURE LOCATIONS PRIOR TO SUBMITTING SHOP DRAWINGS.
 - ALL LANDSCAPE AREAS ADJACENT TO BUILDING SHALL BE GRADED TO DRAIN AWAY FROM BUILDING.
 - CONTRACTOR SHALL CONFIRM DETECTABLE WARNING REQUIREMENTS WITH BUILDING OFFICIAL PRIOR TO INSTALLATION.
 - WHERE LANDSCAPE/SOD ABUTS BUILDING SLAB, A MINIMUM 3" SLAB REVEAL SHALL BE PROVIDED.
 - MAXIMUM SLOPE FROM TOP OF CURB AND BACK OF WALK TO FINISHED GRADE SHALL BE 4(H):1(V), UNLESS OTHERWISE NOTED.
 - ALL BUFFER, DETENTION, SWALE, AND UN-LANDSCAPED/UNPAVED AREAS SHALL BE SODDED UNLESS OTHERWISE NOTED.
 - REFER TO SITE PLAN PREPARED BY SCHMIDT-NICHOLS FOR ADDITIONAL SITE REQUIREMENTS.
 - ALL BUFFER & UNPAVED/UNLANDSCAPED AREAS SHALL BE SODDED BY CONTRACTOR.
 - ALL OFFSITE DISTURBED AREAS SHALL BE SODDED BY CONTRACTOR. ALL DAMAGED CURBING, PAVEMENT, STRIPING, SIGNAGE, LANDSCAPING, ETC. SHALL BE RESTORED BY CONTRACTOR.
 - CONTRACTOR IS SOLELY RESPONSIBLE FOR PREPARING MAINTENANCE OF TRAFFIC (MOT) PLANS AND OBTAINING ALL REGULATORY APPROVALS FOR MOT PLANS. COPIES OF APPROVED MOT PLANS SHALL BE PROVIDED TO ENGINEER PRIOR TO COMMENCING WORK.
 - EXISTING LIMEROCK MAY BE UTILIZED FOR PARKING LOT BASE ROCK UPON DEMONSTRATION (E.G. CORING, DENSITIES, ETC.) THAT THE EXISTING MATERIAL MEETS THE MINIMUM SPECIFICATIONS OF THESE ENGINEERING PLANS.

- ACCESSIBILITY NOTES:
- ACCESSIBLE ROUTES SHALL BE CONSTRUCTED TO MEET THE REQUIREMENTS OF THE FLORIDA BUILDING CODE - ACCESSIBILITY.
 - ALL WALKS CROSSING A VEHICULAR AREA SHALL HAVE DETECTABLE WARNING SURFACE (TRUNCATED DOME) IN ACCORDANCE WITH THE FLORIDA BUILDING CODE - ACCESSIBILITY.
 - CURB RAMP SLOPES AND DIMENSIONS SHALL BE IN ACCORDANCE WITH THE FLORIDA DEPARTMENT OF TRANSPORTATION (FDOT) STANDARD INDEX NO. 304. CURB RAMP DETECTABLE WARNING SURFACES SHALL BE TRUNCATED DOME AND SHALL BE IN ACCORDANCE WITH THE FLORIDA BUILDING CODE.
 - DETECTABLE WARNING SHALL BE THE WIDTH OF THE WALKING SURFACE AND 3' IN LONGITUDINAL LENGTH (DIRECTION OF TRAVEL). DETECTABLE WARNING MATS SHALL PER THE FDOT APPROVED PRODUCTS LIST (APL), LATEST EDITION.



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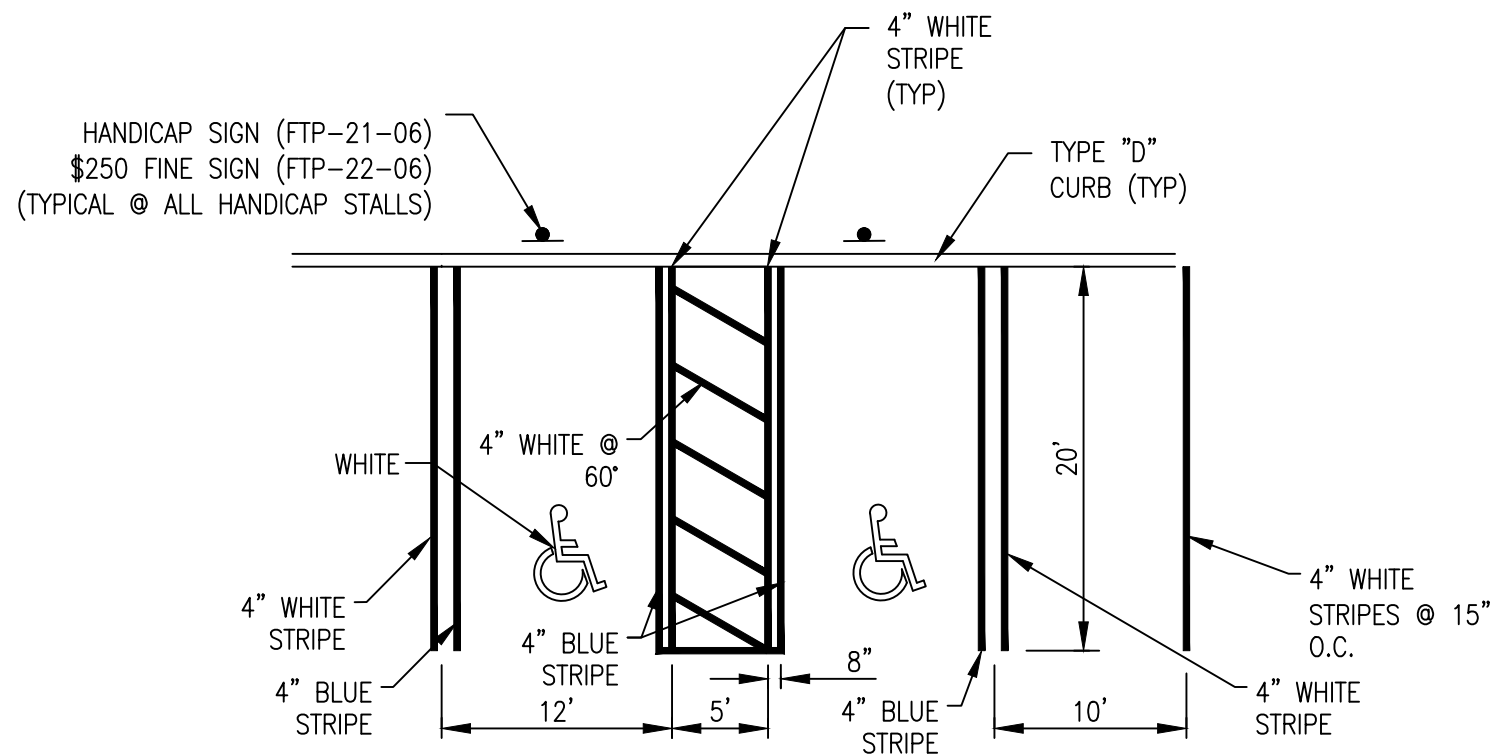
FIELD:	DRAWN: P. Saffold	DESIGNED: TMM	APPROVED: TMM	PROJECT #18-056	DRAWING #:
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NO.	DATE	REVISIONS
3	7/16/18	REV PER NEW SITE PLAN
2	4/10/18	REV PER NEW SITE PLAN
1	2/12/18	REV PER NEW SITE PLAN

CONCEPTUAL PAVING PLAN
NEWMAN WINDOWS & DOORS
SITE IMPROVEMENTS
1649 AVENUE L, RIVIERA BEACH, FLORIDA

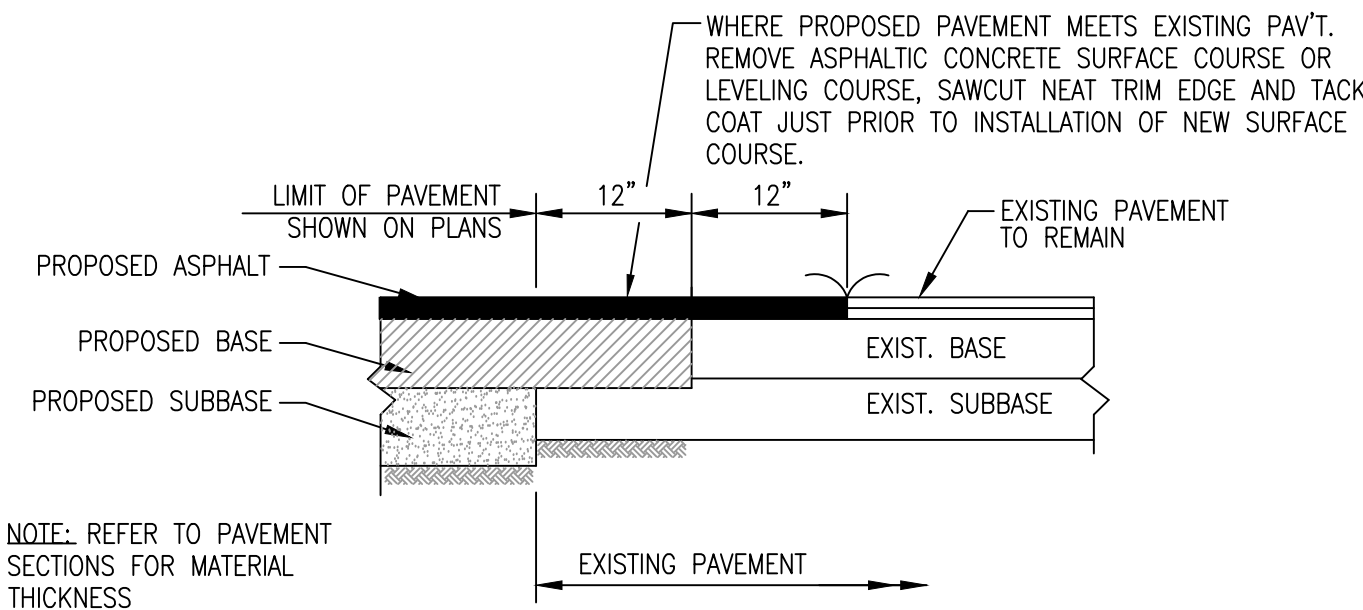
SCALE: AS SHOWN
DATE: 11/1/18

SHEET
C1.1
OF 2

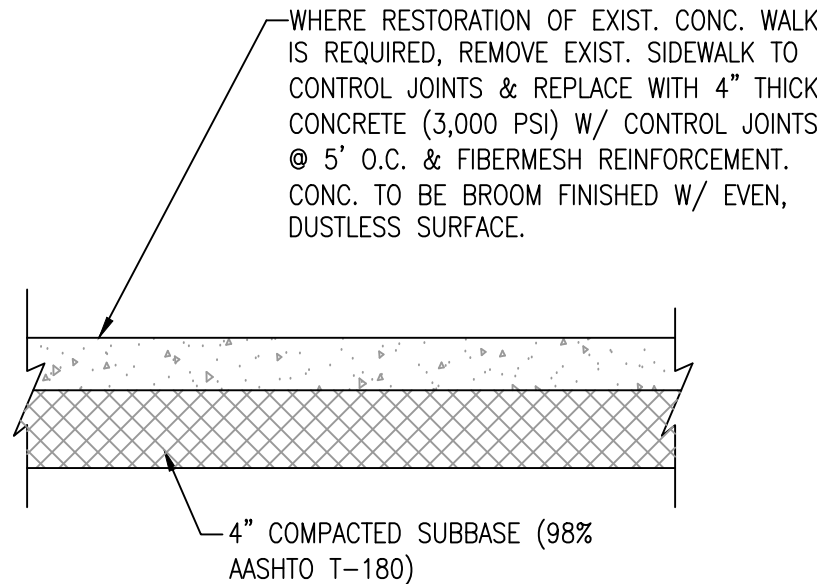


TYPICAL 90° PARKING STALL AND HANDICAP SPACE DETAIL

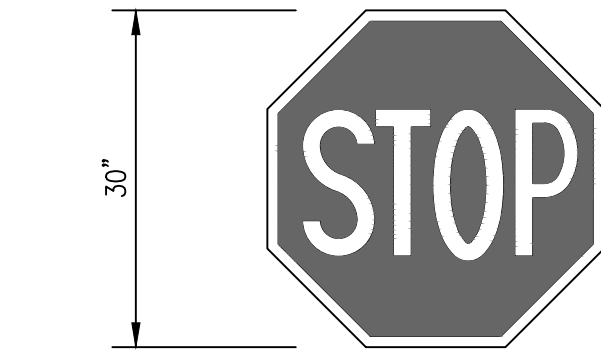
NOTE: MAXIMUM 2.0% SLOPE IN ANY DIRECTION
NOTE: ALL PARKING STRIPING SHALL BE IN ACCORDANCE WITH
CITY OF RIVIERA BEACH CODE AND FDOT INDEX NO. 17346.



PAVEMENT MATCHING DETAIL
N.T.S.

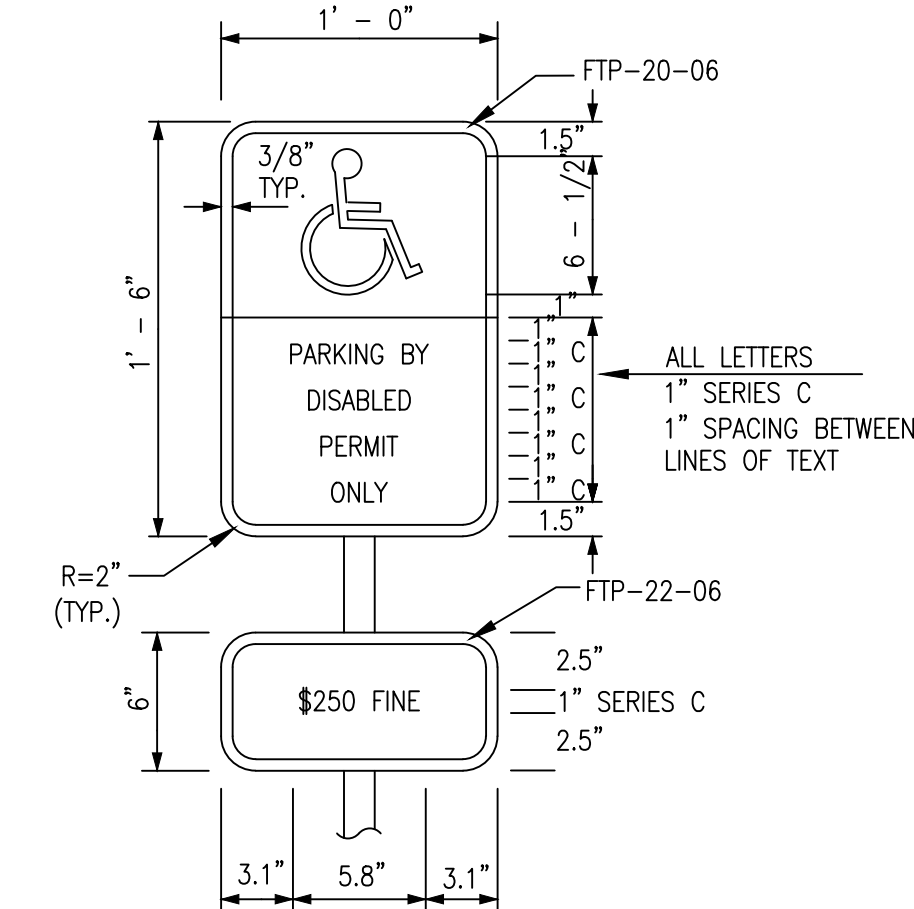


CONCRETE SIDEWALK
RESTORATION DETAIL
N.T.S.



STOP SIGN: R1-1 MUTCD 30"x30" (HIGH INTENSITY)
WHITE LETTERS & BORDER ON RED BACKGROUND

R1-1
TYPICAL STOP SIGN
N.T.S.



NOTES:

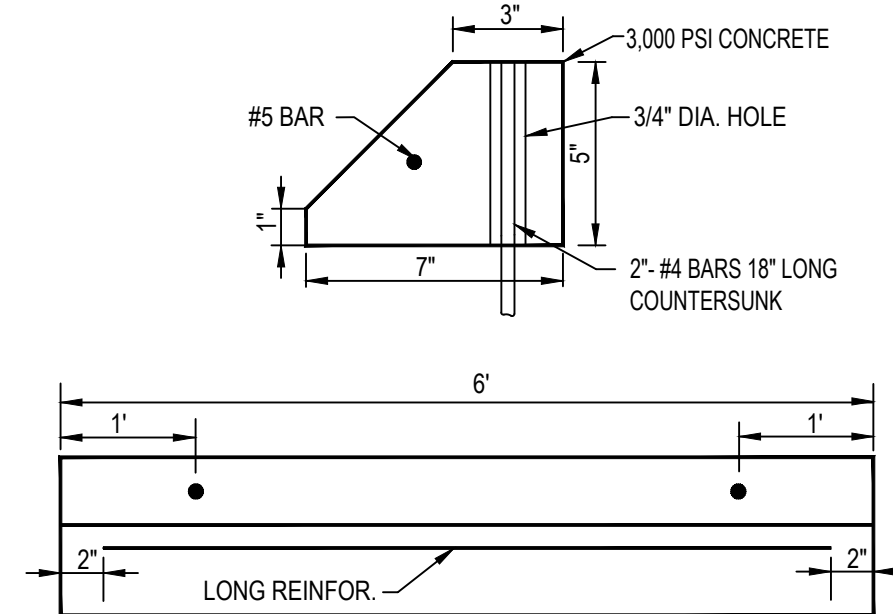
SIGN FTP-20-06

1. ALL LETTERS ARE 1" SERIES "C".
2. TOP PORTION OF SIGN SHALL HAVE A REFLECTORIZED BLUE BACKGROUND WITH WHITE REFLECTORIZED LEGEND & BORDER.
3. BOTTOM PORTION OF SIGN SHALL HAVE A REFLECTORIZED WHITE BACKGROUND WITH BLACK OPAQUE LEGEND & BORDER.

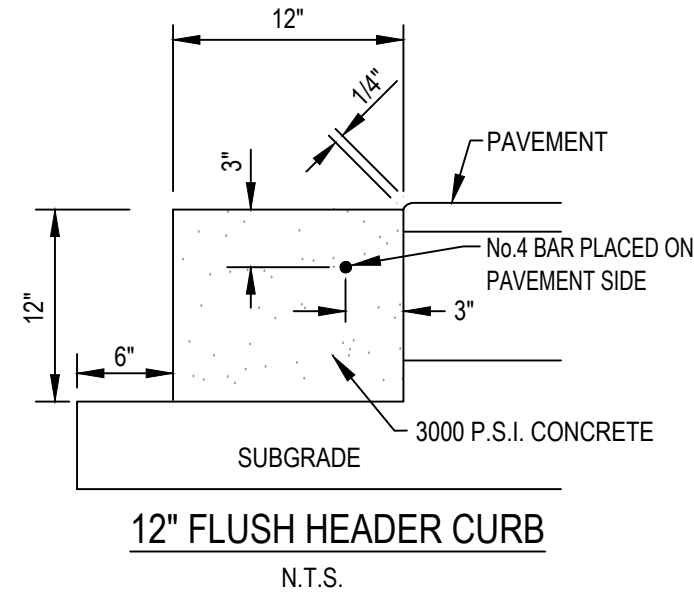
SIGN FTP-22-06

1. ALL LETTERS ARE 1" SERIES "C".
2. BACKGROUND WHITE, LEGEND AND BORDER BLACK.

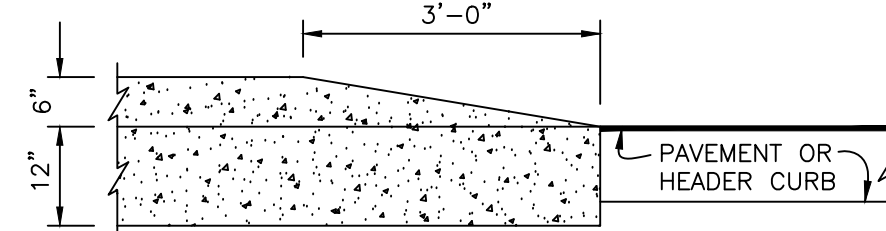
HANDICAP SIGN DETAILS
REFERENCE FDOT INDEX 17355



CONCRETE WHEEL STOP DETAIL
N.T.S.

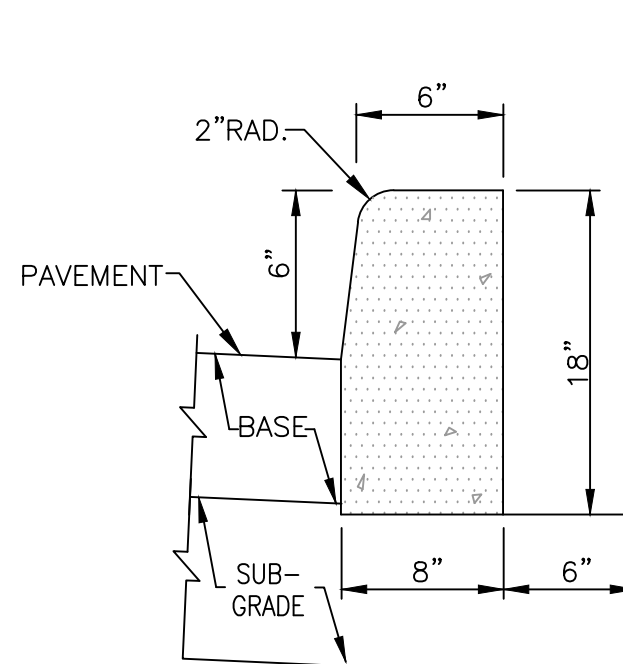


12" FLUSH HEADER CURB
N.T.S.

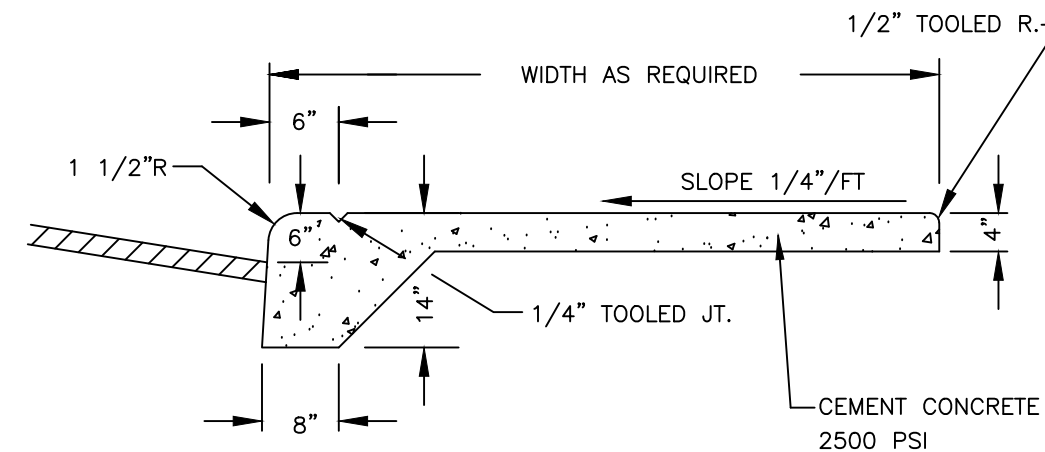


NOTE:
WHEN CURB TRANSITIONS ARE ADJACENT TO SIDEWALK THE
TRANSITION MUST BE 12:1

TRANSITION CURB TAPER DETAIL
N.T.S.



TYPE "D" CURB
N.T.S.



- NOTES:
1. THE REVEAL SHOWN MAY VARY. REFER TO PLANS FOR LOCATIONS.
 2. MONOLITHIC WALK & CURB REQUIRED AT ALL LOCATIONS WHERE PROPOSED SIDEWALK ABUTS ASPHALT PAVEMENT.

MONOLITHIC CURB
AND SIDEWALK SECTION
N.T.S.

PAVEMENT SECTION REQUIREMENTS			
TYPE	WEARING SURFACE	BASE	SUB-GRADE
PERVIOUS CONCRETE PAVEMENT (ON-SITE)	6" THICK PERVIOUS CONCRETE (4,000 PSI MIN.) PER ACI 522R	12" THICK AGGREGATE RESERVOIR LAYER COMPRISED OF NO. 57 STONE PROOF ROLLED TO OBTAIN REQ'D PVMT. THICKNESS	NON-WOVEN GEOTEXTILE FABRIC OVER 12" COMPACTED SUBGRADE COMPACTED TO 92% AASHTO T-180. COMPACTED SUBGRADE SHALL HAVE PERMEABILITY OF 1/2"/HR PER ASTM D 3385
FULL-DEPTH ASPHALT PAVEMENT (ON-SITE)	1.5" THICK SP-9.5 A.C.S.C. (2-LIFTS)	8" THICK LIMEROCK BASE (LBR 100) COMPACTED TO 98% AASHTO T-180 DENSITY & PLACED IN 4" MAX. LIFTS.	12" THICK, COMPACTED TO 98% MAXIMUM DRY DENSITY A.A.S.H.T.O. T-180
ASPHALT OVERLAY (ON-SITE)	1" MIN. DEPTH SP-9.5 OVERLAY (CONTRACTOR TO USE MULTIPLE LIFTS TO ACHIEVE PROPOSED GRADES/SLOPES)	N/A	N/A
SIDEWALKS	SIDEWALK: 4" THICK CONCRETE (3,000 PSI). CONCRETE TO BE BROOM FINISHED WITH EVEN, DUSTLESS SURFACE. CONTROL JOINTS TO BE SPACED 5' ON CENTER. ISOLATION JOINTS REQUIRED WHERE SIDEWALK ABUTS BUILDING, EXISTING PAVEMENT, OR OTHER STRUCTURES.		



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& Associates, P.A.
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www.mcleodmccarthy.com



FIELD: P. Saffold
DRAWN: P. Saffold
DESIGNED: TMM
APPROVED: TMM
PROJECT #18-066
DRAWING #:

NO. DATE REVISIONS

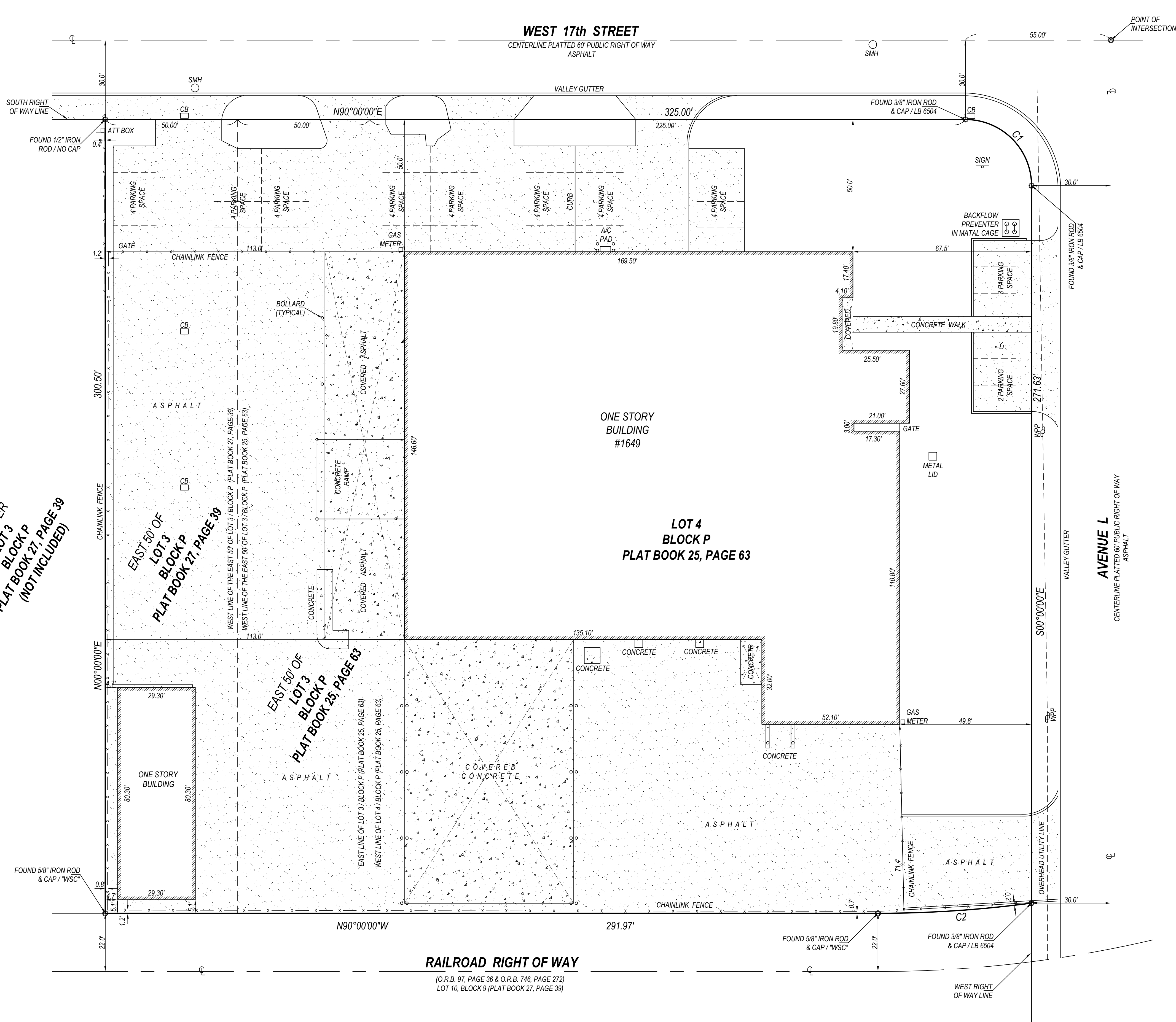
CONCEPTUAL ENGINEERING DETAILS
NEWMAN WINDOWS & DOORS
SITE IMPROVEMENTS
1649 AVENUE L, RIVIERA BEACH, FLORIDA

SCALE: AS SHOWN
DATE: 11/1/18

SHEET
C1.2
OF 2



REMAINDER
LOT 3
BLOCK P
PLAT BOOK 27, PAGE 39
(NOT INCLUDED)



CURVE C1:
Radius=25.00'
Length=39.27'
Delta=90°00'00"
Chord=35.36'
Chord Direction=N45°00'00"W

CURVE C2:
Radius=437.28'
Length=58.20'
Delta=7°37'34"
Chord=58.16'
Chord Direction=N86°11'13"E

PROPERTY ADDRESS:

1649 AVENUE L
RIVIERA BEACH, FL

FLOOD ZONE: "X"
PANEL NO: 12099C 3891F
DATE: OCTOBER 5, 2017

CERTIFIED TO:

1. 1649 AVENUE L, LLC
2. SUN TRUST BANK, ITS SUCCESSORS AND/OR ASSIGNS, AS THEIR INTERESTS MAY APPEAR
3. FLORIDA FIRST CAPITAL FINANCE CORPORATION, INC.
4. U.S. SMALL BUSINESS ADMINISTRATION
5. TRILOGY TITLE SERVICES, INC.
6. FIRST AMERICAN TITLE INSURANCE COMPANY
7. SMITH, GASKILL & SHENKMAN, P.A.

LEGAL DESCRIPTION:

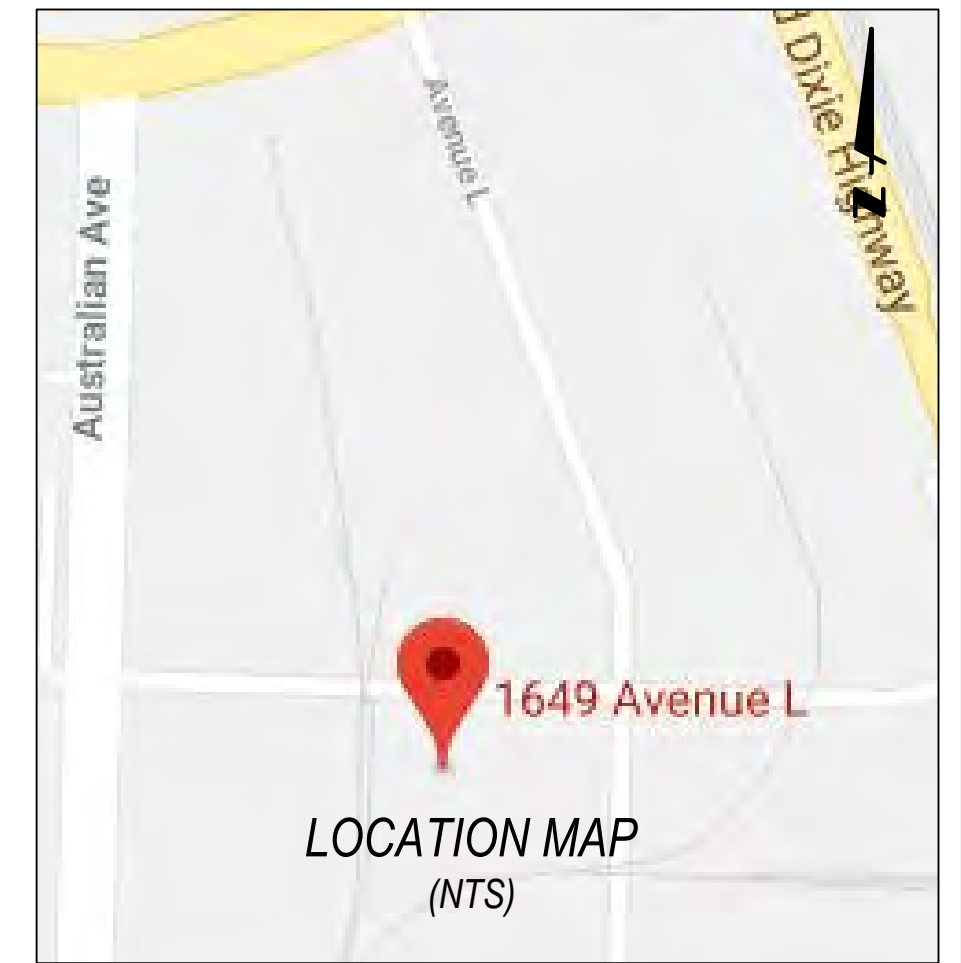
THE EAST 50 FEET OF LOT 3 AND ALL OF LOT 4, BLOCK P, PLAT NO. 1 LEWIS TERMINALS ACCORDING TO PLAT THEREOF RECORDED IN PLAT BOOK 25, PAGES 63, 64 & 65 AND THE EAST 50 FEET OF LOT 3, BLOCK P, REPLAT OF PLAT NO. 1 LEWIS TERMINALS, IN PLAT BOOK 27, PAGES 39, 40 AND 41 PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA.

SURVEYORS' NOTES:

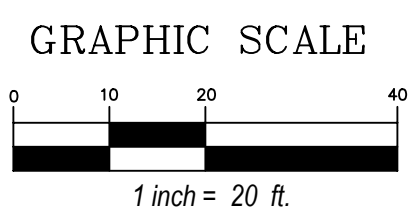
1. I HEREBY CERTIFY THIS SURVEY MEETS STANDARDS OF PRACTICE PURSUANT TO FLORIDA STATUTES.
2. THE SURVEY MAP AND REPORT AND THE COPIES THEREOF ARE NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.
3. UNDERGROUND OR OBSCURED IMPROVEMENTS WERE NOT LOCATED.
4. DIMENSIONS ARE RECORD AND FIELD UNLESS OTHERWISE NOTED.
5. STATED DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS.
6. THIS FIRM'S CERTIFICATE OF AUTHORIZATION NUMBER IS LB 8261.
7. ADDITIONS OR DELETIONS TO SURVEY MAPS OR REPORTS BY OTHER THAN THE SIGNING PARTY OR PARTIES IS PROHIBITED WITHOUT WRITTEN CONSENT OF THE SIGNING PARTY OR PARTIES.
8. SURVEY SUBJECT TO RESERVATIONS, RESTRICTIONS, EASEMENTS AND RIGHTS-OF-WAY OF RECORD. (see title review).
9. LOCATION MAP IS GLEANED FROM ONLINE MAPPING SITES AND AND IS ONLY APPROXIMATE.

TITLE REVIEW:

A REVIEW OF THE COMMITMENT FOR TITLE INSURANCE BY AMERICAN TITLE INSURANCE COMPANY, COMMITMENT NO. 17-1224, DATED MARCH 5, 2018 RESULTED IN THE FOLLOWING. SCHEDULE B-II EXCEPTIONS:
EXCEPTION 1-9 ARE GENERAL EXCEPTIONS AND ARE NOT DEPICTED
EXCEPTION 10, PLAT BOOK 25 PAGE 63, ALL PLOTTABLE AFFECTS ARE SHOWN
EXCEPTION 11, PLAT BOOK 27, PAGE 39, ALL PLOTTABLE EXCEPTIONS ARE SHOWN
EXCEPTION 12, DEED BOOK 97, PAGE 36, AFFECTS SHOWN
EXCEPTION 13, DEED BOOK 746, PAGE 272, AFFECTS SHOWN



ABBREVIATIONS
C CENTERLINE
CB CATCH BASIN
WPP WOOD POWER POLE
CATV CABLE TV
SMH SANITARY MANHOLE



SIGNED:
DOUG WALKER
PROFESSIONAL LAND SURVEYOR AND MAPPER
FLORIDA CERTIFICATE No. 7211

S18070562	LOT DIMENSIONS	JH	05-09-19
BOUNDARY SURVEY	OFFICE	CD	09-21-18
JOB#	PURPOSE	FIELD	DRAFT

BOUNDARY SURVEY

PRINCIPAL MERIDIAN SURVEYING, INC.
LICENSED BUSINESS No. 8261

4546 CAMBRIDGE STREET
WEST PALM BEACH, FL 33415
OFFICE 561-478-7764
FAX 561-478-1094

Please visit us on the web @ www.pmsurveying.net

For Staff Use Only

City of Riviera Beach Community Development Department 600 W. Blue Heron Boulevard Riviera Beach, Florida 33404 Phone: (561) 845-4060 Fax : (561) 845-4038	Date:	Case Number:
	Project Title:	
	Fee Paid:	Notices Mailed:
	1st Hearing:	2nd Hearing:
	Publication Dates (If required)	

UNIFORM LAND USE APPLICATION

*(Please attach separate sheet of paper for required additional information)
 Complete appropriate sections of Application and sign.*

APPLICANT	Name of Property Owner(s): Tad Newman
	Mailing Address: 1649 Avenue L, Riviera Beach, FL 33404
	Property Address: 1649 Avenue L, Riviera Beach, FL 33404
	Name of Applicant (if other than owner): N/A
	Home: () Work: () Fax: ()
	E-mail Address: contact agent

PLEASE ATTACH LEGAL DESCRIPTION

PROPERTY	Future Land Use Map Designation: IND Current Zoning Classification: IG
	Square footage of site: 104,966 Property Control Number (PCN): 56-43-42-29-11-016-0031; 56-43-42-28-31-016-0031
	Type and gross area of any existing non residential uses on site: Existing Office/Warehouse/Showroom - 33,038 s.f.
	Gross area of any proposed structure: Proposed Office/Warehouse/Showroom/Mezzanine Expansion - 1,859 s.f.
	Is there a current or recent use of the property that is/was in violation of City Ordinance? [] Yes [x] No
	If yes, please describe: N/A
	Have there been any land use applications concerning all or part of this property in the last 18 months? [] Yes [x] No
	If yes, indicate date, nature and applicant's name:
	Briefly describe use of adjoining property: North: Warehouse/Distribution & W 17th Street ROW
	South: Light Manufacturing & FEC Railway
East: Warehouse/Distribution & Avenue L ROW	
West: Warehouse/Distribution	

REZONE	Requested Zoning Classification:
	Is the requested zoning classification contiguous with existing?
	Is a Special Exception necessary for your intended use? [] Yes [] No
	Is a Variance necessary for your intended use? [] Yes [] No

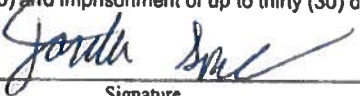
FUTURE LAND USE	Existing Use:	Proposed Use:
	Land Use Designation:	Requested Land Use:
	Adjacent Land Uses: North:	South:
	East:	West:
	Size of Property Requesting Land Use Change:	

SPECIAL EXCEPTION	Describe the intended use requiring a Special Exception:
	Provide specific LDR ordinance section number and page number:
	How does intended use meet the standards in the Land Development Code?
	Demonstrate that proposed location and site is appropriate for requested use:
	Demonstrate how site and proposed building(s) have been designed so they are compatible with adjacent uses and neighborhoods:
	Demonstrate any landscaping techniques to visually screen use from adjacent uses:
	Demonstrate what is proposed to reduce the impact of any potential hazards, problems, public nuisances generated by use:
	Demonstrate how utilities and other service requirements of the use can be met:
	Demonstrate how the impact of traffic generated will be handled:
	On-site:
Off-Site:	
Other:	

VARIANCE	Describe the Variance sought:
	Demonstrate that the Variance is needed to overcome a hardship caused by the unique physical conditions of the site:
	Specify the minimum Variance requirements including: height, lot area, size of structure, size of yard, setback, buffer or open space:
	Other:

SITE PLAN	Describe proposed development: Site & parking reconfiguration, Proposed Office/Warehouse/Showroom/Mezzanine Expansion - 1,859 s.f.
	Demonstrate that proposed use is appropriate to site: See Justification Statement.
	Demonstrate how drainage and paving requirement will be met: See Justification Statement and conceptual paving and drainage plans for details.
	Demonstrate any landscaping techniques to visually screen use from adjacent uses: See Justification Statement and Landscape Plans for details.
	Demonstrate what is proposed to reduce the impact of any potential hazards, problems, public nuisances generated by use: See Justification Statement.
	Demonstrate how utilities and other service requirements of the use can be met: See Justification Statement and Civil Plans for details.
	Demonstrate how the impact of traffic generated will be handled: On-site: Off-site:

OTHER	COMMUNICATION TOWER CO-LOCATION REQUIREMENTS:
	<ul style="list-style-type: none"> • Three sets of signed and sealed Construction documents, elevations and all equipment shelters, cabinets, Coax, telephone and power conduits identified. These plans will then be used to obtain the Building Permit. • Antenna manufacture cut sheets including antenna size and shape. • Zoning map of area with site clearly marked. • Photos of existing building or tower and surrounding uses. • Letter of non-interference and FCC compliance from applicant's Radio Frequency Professional. • Map of surrounding carrier existing locations in all directions with type i.e. Guyed, Self-Support, Monopole, Rooftop. • Letter of structural capacity and building code compliance. • Notes on plan or letter demonstrating floor area coverage not in excess of restrictions • Provide Photo Enhancements of proposal. • Statement that proposal is in compliance with Environmental Regulations prior to permit issue.

Confirmation of Information Accuracy	
<p>I hereby certify that the information on this application is correct. The information included in this application is for use by the City of Riviera Beach in processing my request. False or misleading information may be punishable by a fine of up to five hundred dollars (\$500.00) and imprisonment of up to thirty (30) days and may result in the summary denial of this application.</p>	
 _____ Signature	07.16.19 _____ Date

AGENT AUTHORIZATION FORM

Owner(s) of Record: 1649 Avenue L, LLC

1649 Avenue L

Riviera Beach, FL 33404

STATE OF FLORIDA

COUNTY OF PALM BEACH

BEFORE ME, the undersigned authority personally appeared Tad Newman

who, being first duly sworn upon oath and personal knowledge say(s) that they are the owner(s) of record of the following described real property:

See attached Legal Description

the street address of which is: 1649 Avenue L, Riviera Beach, FL 33404

and that we hereby appoint:

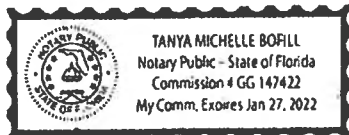
Name: Jordan Sperling, Schmidt Nichols

Address: 1551 N Flagler Drive, Suite 102

West Palm Beach, FL 33401

Telephone: (561) 684-6141

as our authorized agent, to file applications and papers with the City of Riviera Beach, and to represent me (us) at any Hearing regarding my (our) interest.



[Signature] (Seal)

Tad Newman, President (Seal)

____ (Seal)

Sworn to and subscribed before me this 2 day of October, 2018.

[Signature]
Notary Public



Justification Statement
Formal Site Plan Approval Request
Newman Windows & Doors
1649 Avenue L
City of Riviera Beach, Florida
Original Submittal: November 9, 2018
Resubmittal: February 14, 2019
Resubmittal: April 15, 2019
Resubmittal: July 16, 2019

Description of Request

Schmidt Nichols ("Agent"), on behalf of the Applicant, 1649 Avenue L LLC, respectfully requests approval of a Major Site Plan Amendment for the Newman Windows & Doors project in the City of Riviera Beach, Florida. The 2.41-acre (104,966 s.f.) subject property (PCN: 56-43-42-29-11-016-0031; 56-43-42-28-31-016-0031) is located in the southwest quadrant of the intersection of W. 17th Street and Avenue L ("subject property"). Existing on site are two buildings including a 2,361 s.f. warehouse building located at the southwest corner of the site and a 30,677 s.f. warehouse/office/showroom building. The applicant is proposing to add 1,859 s.f. for a total of 34,897 s.f. Buildout of the development is projected to be 2021. The applicant intends to unify these two parcels and replat as part of this proposed application.

Newman Windows & Doors specializes in the replacement and installation of impact resistant window and doors in Palm Beach and all of South Florida. The trucks and trailer trucks will enter the site and park at the existing loading docks for the delivery of the impact resistant windows and doors for use in the office, showroom, and warehouse areas. The warehouse portion of the site will be utilized for the inventory of the impact resistant windows and doors. The office and showroom areas will be used to display the various products for the public to view and purchase. The total maximum number of employment opportunities for this type of business consists of approximately 75-80 employees, although there are 15 employees that are actively working on-site per shift and will rotate accordingly throughout the course of the business day. Based on past experience, it is anticipated that the employees who will be employed for Newman Windows & Doors will be from the local surrounding area ranging from the City of Riviera Beach to Port St. Lucie.

The subject property supports a Future Land Use (FLU) designation of Industrial (IND) and is located within the General Industrial (IG) Zoning District. Below is a chart of the surrounding property information:

	Future Land Use	Zoning	Use
Subject Property	IND	IG	Warehouse/Distribution
North	IND	IG	Warehouse / Distribution & 17th Street R.O.W.
South	IND	IG	Light Manufacturing & FEC Railway
East	IND	IG	Warehouse / Distribution & Avenue L R.O.W.
West	IND	IG	Warehouse/Distribution

This application is specifically requesting Formal Site Plan approval to allow an 1,859 s.f. office/warehouse/showroom/mezzanine expansion to the existing warehouse building that will encompass the following uses:

- Existing Office/Warehouse/Showroom: 33,038 s.f.
 - Proposed Office/Warehouse/Showroom/Mezzanine Expansion: 1,859 s.f.
 - Proposed Mezzanine: 479 s.f.
 - Proposed 1st Floor Warehouse: 1,380 s.f.
- New Total Building Area: 34,897 s.f.

The applicant is proposing 479 s.f. of mezzanine and 1,380 s.f. of warehouse/wholesale as future enclosed space. However, the applicant also intends to create 3,915 s.f. of showroom space within the existing building footprint as well as a 384 s.f. office.

Concurrent Application:

- Re-Plat to combine two parcels submitted to the Planning & Zoning Division on December 6, 2018

Per the Riviera Beach Zoning Code, Section (Sec.) 31-496, Property Development Standards for the industrial (IG), of the City of RB Code of Ordinances a property must comply with a 45 percent (45%) lot coverage.

Based on the total 2.41 acres (104,966 sf) the code allows a total of 47,235 square-feet of lot coverage:

$$2.41 \text{ acres (104,966 sf)} \times 45\% = 47,235 \text{ sf of Lot Coverage}$$

Based on the total lot coverage proposed (34,418 square-feet), the lot coverage is (33%):
 $34,418 \text{ sf} \div 2.41 \text{ acres (104,966 sf)} = 33\% \text{ Lot Coverage}$

Per Objective 1.8, Future Land Use Categories, of the City of Riviera Beach Comprehensive Plan the maximum floor area (FAR) permitted is 1.15.

Based on the maximum floor area ratio (1.15), the maximum square footage that could

be developed on the property is 120,711 square-feet:
 $2.41 \text{ acres (104,966 sf)} \times 1.15 = 120,711 \text{ square-feet}$

Based on the total square-footage proposed (34,897 square-feet), the floor area ratio is (.33):

$$34,897 \text{ square feet} \div 2.41 \text{ acres (104,966 sf)} = .33 \text{ FAR}$$

Foundation Planting:

Pursuant to Sec. 31-610.C.2 from the City of Riviera Beach Code of Ordinances, "The owner shall provide a landscaped area not less than five feet wide, consisting primarily of shrubs and ground cover, along the sides of the building which abut a parking area. The owner may cluster this landscaping to allow for creativity and flexibility in design, with the approval of the community development director." The applicant is proposing to relocate and increase the required foundation planting from 5' to 8' along the northeast and eastern façade of the existing warehouse building which was relocated from the back of house loading and maneuvering area of the site (see enclosed site plan). Fire requires a minimum of 20' for emergency apparatus access of unobstructed width and adding 5' of foundation planting to the west and south of the existing warehouse building will encroach upon the required 20' minimum for emergency apparatus access. The 20' drive aisle also allows the delivery trucks to circulate around the building to access the loading area and loading bays. In addition, this area is currently paved with no connection to existing landscaped area so these loading areas are void of existing irrigation.

Parking:

Required Parking:

Office – 1 space / 300 S.F. @ 4,764 S.F. = 16 spaces

Warehouse/Wholesale/Showroom/Mezzanine - 1 space / 1,000 S.F. @ 30,133 S.F. = 30 spaces

Total: 46 spaces

Proposed Parking:

Total: 49 spaces

Handicap Spaces Required: 2 Spaces

Handicap Spaces Proposed: 2 Spaces

Loading Spaces Required (12' x 30' Min): 3 Spaces

Loading Spaces Proposed: 3 Spaces

Per Section (Sec.) 31-482, General Classification, of the City of RB Code of Ordinances a property within the IG Zoning District that is greater than one acre is subject to site plan review and must take the following standards into consideration:

1. Demonstrate that proposed use is appropriate to site:

Response: The proposed site plan and associated buildings are compatible with the adjacent uses and surrounding neighborhood, which is industrial in nature. Pursuant to Sec. 31-362, the existing warehouse and accessory office are permitted by right. Properties to the north, south, east and west support similar industrial type uses and are located in the IG zoning district.

2. Demonstrate how drainage and paving requirement will be met:

Response: The property is located within the South Florida Water Management District's (SFWMD) Intracoastal Basin, however there does not appear to be a SFWMD permit for the existing development. The site is occupied by an existing industrial/commercial building with several asphalt parking/layout areas. The majority of the existing site sheet flows to Avenue L and W. 17th Street while a system of inlets and culverts along the west side of the site collects storm runoff and conveys discharge to W. 17th Street.

The proposed site improvements generally consist of overlay/sealcoating of existing parking areas, installation of curbing/walks, and repair of damaged asphalt/concrete. A new 0.12-acre parking area will be constructed along Avenue L, near the southeast corner of the existing building. The new parking lot is proposed as pervious concrete with an underlying base layer of 12" of FDOT #57 stone ($\pm 50\%$ void ratio). The voids in the base layer will allow retention of 6" of storm runoff from the new parking lot, prior to overflow to the existing southeast parking area and Avenue L right-of-way. Based on the above, this project is anticipated to have no adverse impact on the site's existing stormwater management system or adjoining properties.

3. Demonstrate any landscaping techniques to visually screen use from adjacent uses:

Response: Please see enclosed Landscape Plans prepared by Schmidt Nichols.

4. Demonstrate what is proposed to reduce the impact of any potential hazards, problems, public nuisances generated by use:

Response: Properties to the north, south, east and west support similar industrial type uses. The proposed office/warehouse/showroom/mezzanine expansion is not expected to generate any potential hazards, problems or public nuisances to this property. Moreover, this is an existing use and structure and the owner is seeking to expand the usable space of their business. The current and proposed landscaping will reduce or eliminate any potential impacts of the office/warehouse/showroom mezzanine expansion. The proposed Landscape Plan provides significant upgrades to this existing site. The current landscaping consists of four (4) Royal Palms

along West 17th Street and a mixture of shrubs and palms along the building. The proposed Landscape Plan significantly upgrades the green space providing buffers on all four sides of the site, including along W 17th Street and Avenue L for a total of 44 proposed trees within those buffers. In addition to the proposed trees within the buffers, a solid, opaque hedge and groundcover is provided that meets the City's code requirements. Along with the proposed buffers, a significant amount of trees, palms, shrubs, and groundcovers are proposed on the interior of the site within the proposed and existing parking areas.

The proposed landscaping provides 60 additional native trees, 14 palm trees, and 7 flowering trees on site which greatly enhances the property compared to its current condition. A total of 596 native shrubs and 4,373 groundcovers are proposed on the site to further enhance the property and meet the standards of the current code. While the site provides 16% green space rather than the required 20%, the proposed landscaping meets the current code requirement and provides a significant upgrade to the site and surrounding community.

5. Demonstrate how utilities and other service requirements of the use can be met:

Response: Please see enclosed Conceptual Civil Engineering Plans prepared by McLeod, McCarthy & Associates. Please also refer to the Traffic Impact Statement prepared by Pinder Troutman Consulting Inc, which shows compliance with the Palm Beach County Traffic Performance Standards (TPS).

6. Demonstrate how the impact of traffic generated will be handled:

Response: Because the project generates fewer than 20 peak hour trips, a traffic study is not required. The project has an insignificant impact on area thoroughfare roadways. Therefore, the proposed project is in compliance with the Palm Beach County Traffic Performance Standards. Please refer to the Traffic Impact Statement prepared by Pinder Troutman Consulting Inc.

The site was constructed prior to the implementation of the current IG property development regulations, therefore the existing 2,361 s.f. warehouse located at the southwest corner of the site is not in compliance with the current code. The applicant intends to meet the code to the greatest extent possible, but the site does not meet the minimum 15' side setback and 20' rear setback under the IG property development standards, so these items have been added as a non-conformity chart item as indicated below.

EXISTING NONCONFORMITY CHART					
	CODE SECTION	REQUIRED	PROVIDED	NONCONFORMITY	VESTED
1	Sec. 31-610.C.2	The owner shall provide a landscaped area not less than five feet wide, consisting primarily of shrubs and ground cover, along the sides of the building which abut a parking area. A landscaped area not less than three feet in width shall be provided along the sides and rear of a building where abutting an on-site service or access driveway.	0' Foundation Planting	Allow 0' Foundation Planting along the south and west side of Building A and to the east side of Building B which abuts an on-site service or access driveway.	Existing
	Parking areas for multifamily and all nonresidential developments - Parking area interior landscaping				
2	Sec. 31-383.3	15' Side Setback (FEC Railway)	5' Side Setback (FEC Railway)	Allow a 10' Side Setback reduction for the existing warehouse building (Building B) along the southern property line	Existing
	IG Property Development Standards				
3	Sec. 31-383.3	20' Rear Setback (West Property Line)	5' Rear Setback (West Property Line)	Allow a 15' Rear Setback reduction for the existing warehouse building (Building B) along the western property line	Existing
	IG Property Development Standards				
4	Sec. 31-609.C	The owner shall landscape not less than 20 percent of the development side	The owner is landscaping for 16 percent (17,147 s.f.) of the development site	Allow a 4 percent reduction of the development site	Existing
	Florida Friendly Landscape Regulations - Development landscaping requirements for commercial and nonresidential developments				
5	N/A	N/A	Parking that utilizes a public right-of-way as a drive aisle	Allow parking that utilizes a public right-of-way as a drive aisle	Existing
	N/A				

On behalf of the Applicant, 1649 Avenue L LLC, Schmidt Nichols respectfully requests your approval of this application for a Major Site Plan Amendment for the project known as Newman Windows & Doors.



Re-Submittal DRC Response To Comments: August 20, 2019

City of Riviera Beach
Planning & Zoning Department
600 W Blue Heron Blvd #214C
Riviera Beach, FL 33404

**RE: SITE PLAN COMMENTS: NEWMAN WINDOWS & DOORS WAREHOUSE
DISTRIBUTION. APPLICATION NO. SP-18-22**

We have received your 3rd Round of review comments on the above-referenced project and will submit the following response to comments:

MAJOR SITE PLAN MODIFICATION (APP NO. SP-18-22)

PLANNING & ZONING: JOSUE LEGER, JELGER@RIVIERABCH.COM

1. **PSP-1:** Please identify the Roll-off dumpster on the site plan.

Response: Sheet PSP-1 has been revised to identify a 7.5' x 22' roll-off dumpster to the east of Building B at the southwestern corner of the subject site in this resubmittal.

On behalf of 1649 Avenue L LLC, (the "Applicant"), please accept these responses to comments as it pertains to the staff review of the Newman Windows & Doors Site Plan application.

Very Truly Yours,

Jordan Sperling

Jordan Sperling

Re-Submittal DRC Response To Comments: July 16, 2019

City of Riviera Beach
Planning & Zoning Department
600 W Blue Heron Blvd #214C
Riviera Beach, FL 33404

**RE: SITE PLAN COMMENTS: NEWMAN WINDOWS & DOORS WAREHOUSE
DISTRIBUTION. APPLICATION NO. SP-18-22**

We have received your 2nd Round of review comments on the above-referenced project and will submit the following response to comments:

MAJOR SITE PLAN MODIFICATION (APP NO. SP-18-22)

POLICE: MMADDEN@RIVIERABCH.COM

1. It is strongly recommended that graffiti-resistant paints/coatings be utilized on the walls and/or fences that surround the property.

Response: Comment Acknowledged.

2. We encourage the use of preventative landscaping and low ground cover to prevent loitering and graffiti.

Response: Comment Acknowledged.

3. IP Based video surveillance is suggested for the interior and exterior of building.
 - a) Ensure that the local staff can re-play video on-site and produce copies.

Response: Comment Acknowledged.

4. Numerical Address shall be placed at this location before final approval.
 - a) Address shall be illuminated for nighttime visibility
 - b) Address shall not be obstructed by any landscaping

Response: Comment Acknowledged.

5. Perimeter lighting shall be provided.

Response: Comment Acknowledged.

6. Landscaping shall be maintained according to the approved site plan.

Response: Comment Acknowledged.

7. Contractor shall obtain an alarm permit for all units from the City and provide the contact information for the alarm company via the Police Department Alarm Coordinator's web site: <https://www.crywolf.us/oss/rivierabeachfl/>

Response: Comment Acknowledged.

8. All glazed areas should be impact resistant.

Response: Comment Acknowledged.

PUBLIC WORKS/ENGINEERING:

1. Engineering comments are as follows, the parking at the northeast corner has vehicles backing up directly into Avenue L, please consider integrating angled parking proposed to the south into this area as well to eliminate this conflict.

Response: The site was constructed prior to the implementation of the current IG property development regulations, therefore the existing eastern parking lot that backs out on the street is a legal nonconforming site element. The applicant has received confirmation on 07.16.19 from Terrence Bailey, City Engineer, that the eastern parking lot that backs out on the street is acceptable.

BUILDING:

1. Construction permit costs will be assessed at a minimum of \$128/sq. ft. unless otherwise noted by the Building Division.

Response: Comment Acknowledged.

2. All applications submitted will follow the master permit system as outlined in the Florida Statutes.

Response: Comment Acknowledged.

3. Storm water calculations (Gallons per day) should be outlined on the plans.

Response: Comment Acknowledged.

4. 2 copies of plans should be submitted along with an electronic version.

Response: Comment Acknowledged.

5. All permit fees are due at time of application. Impact fees are due prior to issuance of a CO.

Response: Comment Acknowledged.

6. Any desire for a Temporary Certificate of Occupancy must be requested 90 days in advance.

Response: Comment Acknowledged.

7. Any desire to follow Special Plan Review/Inspector processes for threshold must adhere to the Florida Statute mandates outlined in Chapter 553. Mechanical, Electrical, and Plumbing disciplines shall remain in house.

Response: Comment Acknowledged.

ZONING: JOSUE LEGER, JELGER@RIVIERABCH.COM

1. **PSP-1:** Indicate the relocated east façade foundation plantings on the plan along the northeast corner of the property as previously discussed during the pre-application meeting.

Response: Sheet PSP-1 has been revised to indicate the relocated foundation planting on the site plan along the northeast and eastern facade of the existing warehouse building in this resubmittal. The applicant is proposing to relocate and increase the required foundation planting from 5' to 8' along the northeast and eastern façade of the existing warehouse building which was relocated from the back of house loading and maneuvering area of the site.

2. **PSP-1:** A vested column must be added to the nonconformity chart reflecting the original or any prior approval of nonconforming elements.

Response: A vested column has been added to the nonconformity chart reflecting the original or any prior approval of nonconforming elements in this resubmittal.

3. **PSP-1:** No.1 in the nonconformity chart reference the wrong phrase of the indicated section. Please revise to reflect the right wording.

Response: Sheet PSP-1 has been revised to correct No.1 in the nonconformity chart to reference the correct phrase of Section 31-610. C.2 in this resubmittal.

4. **PSP-1:** Please revise No.4 of the nonconformity chart to reflect the total square footage of landscape area (see LP-3) to be consistent with the percentage provided. Increasing the landscape area to the sod area at the northeast corner of the property will resolve this nonconformity. (Please discuss with staff)

Response: Sheet PSP-1 is exceeding the minimum 15% pervious requirement in the City of Riviera Beach Comprehensive Plan Policy 1.4.4, however Sec. 31-609. C of the City's zoning code indicates that, "the owner shall landscape not less than 20 percent of the development site", which is more restrictive. Increasing the landscape area to the sod area at the northeast corner of the property will not resolve this nonconformity. The applicant is proposing to relocate and increase the required foundation planting from 5' to 8' along the northeast and eastern

façade of the existing warehouse building which was relocated from the back of house loading and maneuvering area of the site (see enclosed site plan) in addition to reducing sod to add landscaped area to meet the 20 percent requirement to the greatest extent possible, but is unable to do so. No. 4 of the nonconformity chart on Sheet PSP-1 has been revised to reflect the total square footage of landscape area to be consistent with the percentage provided in this resubmittal.

5. **PSP-1:** Provide typical for angled parking.

Response: Sheet PSP-1 has been revised to provide a typical for angled parking in this resubmittal.

6. **Application:** Revise the application for the total existing gross floor area to be consistent with the site plan.

Response: The application has been revised to correct the total existing gross floor area to be consistent with the site plan in this resubmittal.

7. **PSP-1:** Revise the PDRs chart to reflect the correct number for the width, frontage, and depth as these numbers are not consistent with the subject property.

Response: The PDRs chart on Sheet PSP-1 has been revised to reflect the correct number for the width, frontage, and depth in this resubmittal.

8. **PSP-1:** Provide a dumpster enclosure with landscape around it, remove the roll-off indicated on the plan.

Response: Please refer to the Waste Management letter on 07.12.19 that states, "The roll-off dumpster currently on site at Newman Windows and Doors is sufficient to handle the type and amount of waste generated by this applicant. The roll-off dumpster is appropriate for the beneficial reuse of the discarded material, construction debris and cardboard. This roll-off must remain on site."

9. **PSP-1:** The north midpoint ingress/egress point should be configured to prevent vehicular traffic conflict. This should only be exit only and the curb cut should be redesigned to allow vehicular traffic to exit only. (Please discuss with staff)

Response: Sheet PSP-1 has been revised to provide a stop bar at the north midpoint ingress/egress to prevent vehicular traffic conflict in this resubmittal.

10. **PSP-1:** Please justify the provided throat distance at all ingress and egress point. The provided stacking may not be sufficient to prevent potential traffic issues or onsite vehicular circulation.

Response: Sheet PSP-1 has been revised to eliminate an existing parking space at the northwest corner of the site to justify and increase the provided throat distance to 20'. Staff has confirmed they are content with the provided throat distance at the southeasternmost ingress and egress point.

11. **A-1:** The floor plan must be dimensioned, and delineate all fixtures. Floor plan must meet all Building Division standards and requirements. DEFERRED TO BUILDING.

Response: Sheet A-1 has been revised to be dimensioned and has delineated all fixtures. The floor plan has been revised to meet all Building Division standards and requirements in this resubmittal.

12. **PSP-1:** Provide a floor plan that reflect proposed, existing conditions, and area to be demolished as applicable of both building's interior.

Response: A floor plan has been provided that reflects proposed, existing conditions in this resubmittal. There is no area to be demolished of both building's interior.

13. **PSP-1:** Please reconfigure the eastern parking lot that backs out on the street. (Please discuss with staff)

Response: The site was constructed prior to the implementation of the current IG property development regulations, therefore the existing eastern parking lot that backs out on the street is a legal nonconforming site element. The applicant has received confirmation on 07.16.19 from Terrence Bailey, City Engineer, that the eastern parking lot that backs out on the street is acceptable.

14. **PSP-1 / Survey:** All easement must be labeled on the plan and survey.

Response: There are no recorded easements on the survey so therefore no easements are displayed on the site plan.

15. **PSP-1 / LI-1 / LP-1 & 2:** Foundation plantings area should be the entire landscape area between the building and parking area.

Response: Pursuant to Sec. 31-610. C.2, "the owner may cluster this landscaping to allow for creativity and flexibility in design, with the approval of the community development director." Only 3' of foundation planting is required along the south and west of the Existing Building A's façade as it abuts an on-site service or access driveway. Therefore, the applicant is proposing to relocate and increase the required foundation planting from 5' to 8' along the northeast and eastern façade of the existing warehouse building which was relocated from the back of house loading and maneuvering area of the site (see enclosed site plan).

16. **PSP-1:** Identify on the plan all proposed areas that will be completely under AC as a result of this amendment.

Response: Sheet PSP-1 has been revised to identify on the plan all proposed areas that will be completely under AC in this resubmittal.



17. **A-2 & 3:** Dimension all elevations.

Response: Sheets A-2 & A-3 has been revised to dimension all elevations in this resubmittal.

18. **Comment: SP / Plat:** Please be advised that all dimensions identified on the site plan must be consistent with the proposed Re-plat submitted.

Response: The applicant has ensured that all dimensions identified on the site plan are consistent with the proposed Re-plat in this resubmittal.

On behalf of 1649 Avenue L LLC, (the "Applicant"), please accept these responses to comments as it pertains to the staff review of the Newman Windows & Doors Site Plan application.

Very Truly Yours,

Jordan Sperling

Jordan Sperling



CITY OF RIVIERA BEACH

DEVELOPMENT SERVICES DEPARTMENT | 600 WEST BLUE HERON BLVD.
RIVIERA BEACH FL, 33404 | MAIN: (561) 845-4060 | FAX: (561) 845-4038

PLANNING AND ZONING DIVISION

August 16, 2019

August 26, 2019

Sent by email: jsperling@snlandplan.com

Attn: Jordan Sperling, Schmidt Nichols – Agent
1551 N. Flagler Dr., Suite 102
West Palm Beach, FL 33401

RE: City Staff Review of Site Plan Application for Newman Windows & Doors (SP-18-22)

Questions and comments generated from City Staff review of the Site Plan application submitted by Schmidt Nichols, for Newman Windows & Doors have been attached.

Please be advised that it is the responsibility of the agent to follow-up with all applicable reviewing agencies / departments prior to resubmittal and ensure that all comments are satisfied.

Police Department (561) 845-4123:	Satisfied
Fire (561) 845-4137:	Satisfied
Utilities District (561) 845-4185:	Satisfied
Engineering (561) 845-3472:	Satisfied
Building (561) 845-4020:	Please contact for comments

Planning and Zoning: **Satisfied**

1. ~~Please identify the Roll-off dumpster on the site plan.~~

Comment: Please be advised that modifications / amendments made to documents and plans may triggers additional comments.

Please provide a written response to all questions and comments. If the response to a comment results in changes to documents or plans, please provide details within the written response explaining the change(s) made. For the resubmittal please provide hard copies and a digital copy of all documents provided in a CD (All documents must be in PDF format). Feel free to contact us with questions or comments; (561) 845-4060.

Josue Leger, Senior Planner GIS Specialist | jleger@rivierabeach.org | Direct: 561-845-4021 | Main: 561-845-4060

C: Jeff Gagnon, AICP, Acting Development Services Department Director

Jordan Sperling

From: Bailey, Terrence <TBailey@rivierabeach.org>
Sent: Tuesday, July 16, 2019 11:32 AM
To: Jordan Sperling
Cc: Leger, Josue; Josh Nichols; Gagnon, Jeff; Sanon, Jeff
Subject: RE: SP-18-22 Newman Windows & Doors

This is acceptable.

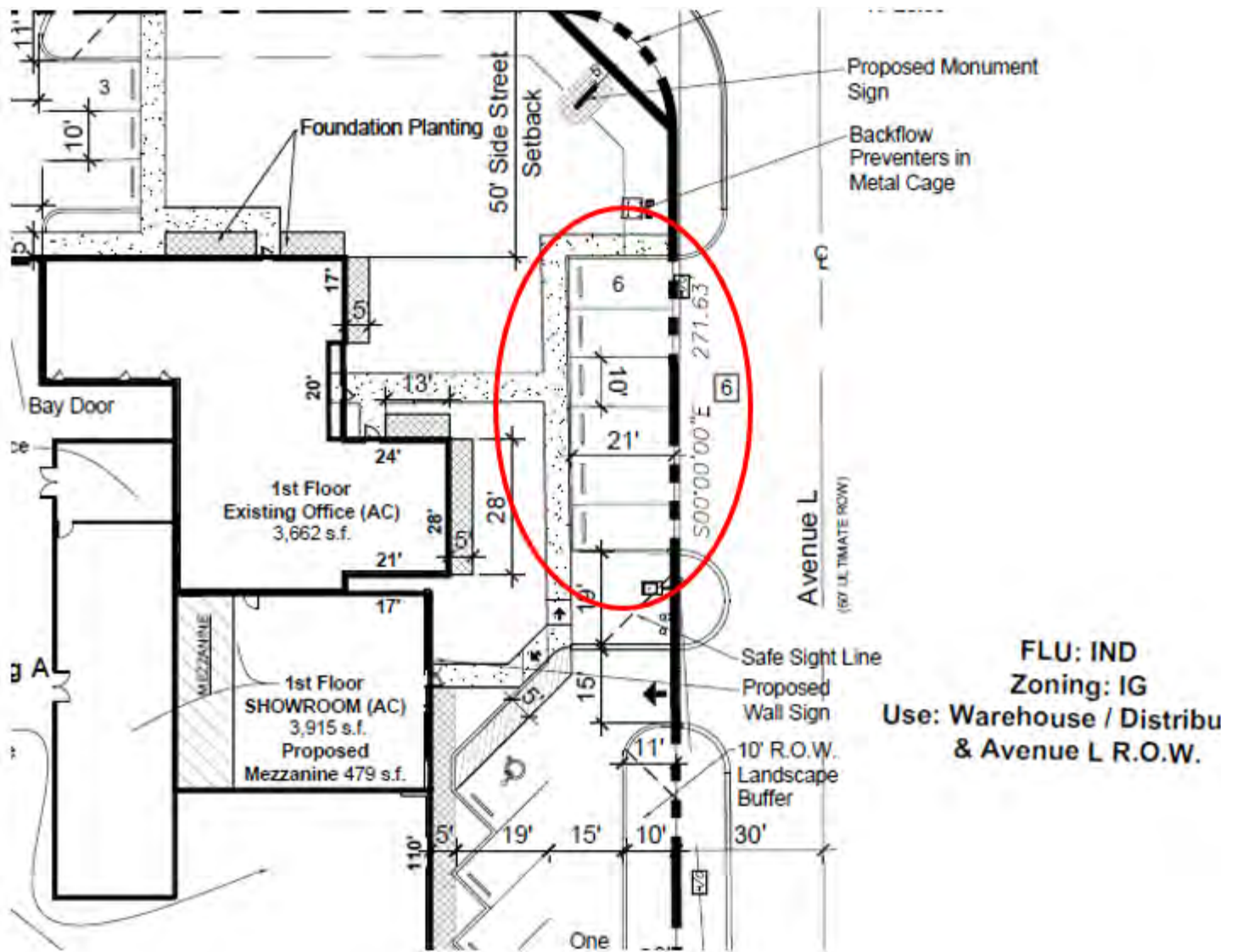
Terrence N. Bailey, LEED AP, P.E.
Interim Director of Public Works
[1481 15th St Riviera Bch 33404](#)
[Phone:](#) (561) 845-4080
[Fax:](#) (561) 840-4038
tbailey@rivierabeach.org

From: Jordan Sperling [mailto:jsperling@snlandplan.com]
Sent: Monday, July 15, 2019 8:47 AM
To: Bailey, Terrence <TBailey@rivierabeach.org>
Cc: Leger, Josue <JLeger@rivierabeach.org>; Josh Nichols <jnichols@snlandplan.com>; Gagnon, Jeff <JGagnon@rivierabeach.org>
Subject: SP-18-22 Newman Windows & Doors

Terrence,

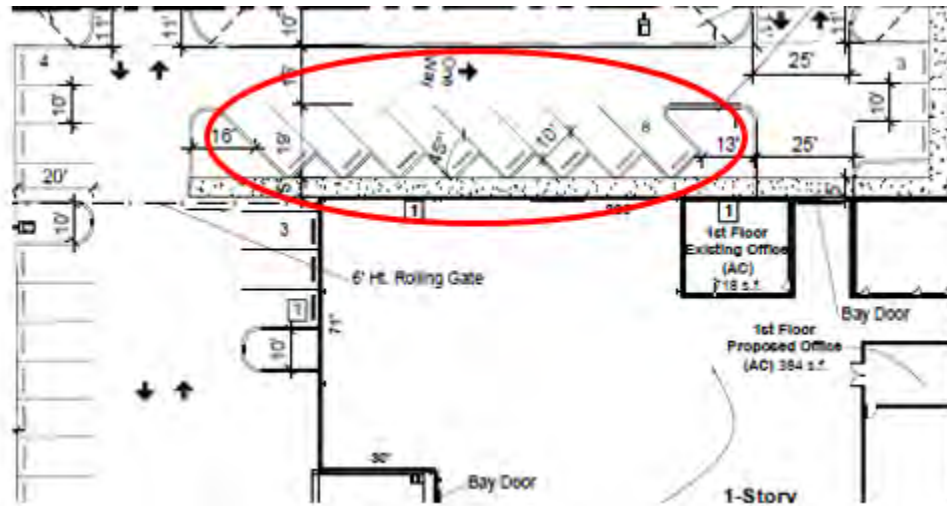
Good morning. Per Comment No. 31 as seen below, the purpose of this email is to confirm you will accept the existing eastern parking lot layout that backs out on the street as shown in the graphic below. The site was constructed prior to the implementation of the current IG property development regulations, therefore the existing eastern parking lot that backs out on the street is a legal nonconforming site element. The applicant intends to meet the code to the greatest extent possible by doing the following:

31. PSP-1: Please reconfigure the eastern parking lot that backs out on the street (to be discussed with staff)

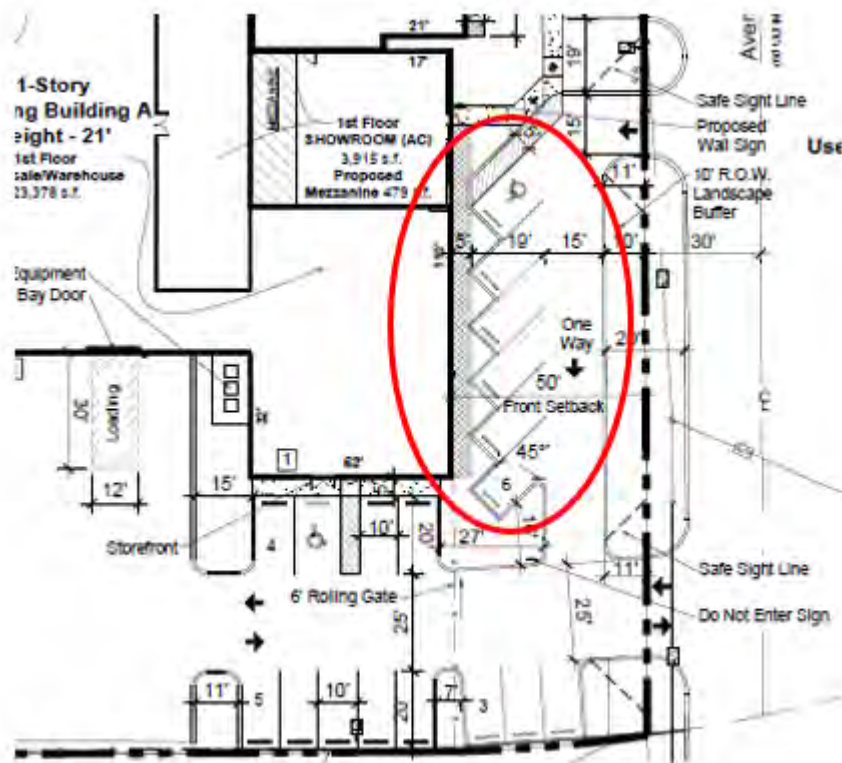


Overall Site Improvements:

- Reconfigured existing northern parking lot to a 45-degree angled parking layout per staff's request



- Reconfigured existing parking to the southeast of the existing warehouse building to a 45-degree angled parking lot layout per staff's request



- The proposed site improvements generally consist of overlay/sealcoating of existing parking areas, installation of curbing/walks, and repair of damaged asphalt/concrete. A new 0.12 acre parking area will be constructed along Avenue L, near the southeast corner of the existing building.
- The existing building will be renovated with no increase in the building footprint

On behalf of the property owner, we request that you please accept the existing eastern parking lot layout that backs out on the street so we can continue to move forward in the application process and proceed to the August 8th Planning & Zoning Board Meeting.



Jordan Sperling
Associate Urban Planner

☎ 561.684.6141 ext. 102

✉ jsperling@snlandplan.com

🌐 www.snlandplan.com

📍 1551 N Flagler Dr, Ste 102
West Palm Beach, FL
33401



EXTERNAL SENDER

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Jordan Sperling

From: Smith, Ellen <esmith13@wm.com>
Sent: Friday, July 12, 2019 1:59 PM
To: Jordan Sperling
Cc: Holden, Robert
Subject: RE: Newman Windows & Doors_Waste Management Letter Request

Mr. Sperling:

On behalf of Waste Management, the roll-off dumpster currently on site at Newman Windows and Doors is sufficient to handle the type and amount of waste generated by this applicant.

The roll-off dumpster is appropriate for the beneficial reuse of the discarded material, construction debris and cardboard. This roll-off must remain on site.

Please let me know if we can assist in any other way.

Ellen C. Smith
Government Affairs
Esmith13@wm.com

Waste Management of Palm Beach
651 Industrial Way
Boynton Beach, FL 33426
(561) 312-0000

From: Jordan Sperling <jsperling@snlandplan.com>
Sent: Friday, July 12, 2019 12:55 PM
To: Smith, Ellen <esmith13@wm.com>
Subject: [EXTERNAL] RE: Newman Windows & Doors_Waste Management Letter Request

Ellen,

Good afternoon. Per our call yesterday afternoon, the dumpster enclosure that is required by the City of Riviera Beach per Sec. 31-600 ("see below") will not be sufficient to handle the waste for the replacement of the impact resistant windows and doors and the applicant feels the roll-off dumpster that is currently on-site will be sufficient to handle the waste generated. The City is looking for a letter that illustrates something to the effect that a roll-of dumpster will be sufficient for the current site operations as opposed to a dumpster enclosure. Please let me know what additional information you may need to generate a letter to this effect.

Sec. 31-600 General Provisions

- (o) An opaque, minimum six-foot high masonry wall or fence shall screen the storage area for all trash receptacles, including dumpsters. A hedge shall be installed around the perimeter of this screen. Dumpsters shall be sited so as not to be visible from the public right-of-way. Metal gates or similar, shall be used to screen trash receptacles from view from the public right-of-way. All dumpsters must be screened (to greatest extent possible) within one year after the adoption of this code.

Thank you



Jordan Sperling

Associate Urban Planner

561.684.6141 ext. 102

jsperling@snlandplan.com

www.snlandplan.com

1551 N Flagler Dr, Ste 102
West Palm Beach, FL
33401



On Jul 10, 2019, at 12:59 PM, Jordan Sperling <jsperling@snlandplan.com> wrote:

Rob,

Good afternoon. Just want to follow up on the request below for a waste management letter for the proposed Newman Windows & Doors Major Site Plan Amendment application.

Thank you

Jordan Sperling

Associate Urban Planner

561.684.6141 ext. 102

jsperling@snlandplan.com

www.snlandplan.com

1551 N Flagler Dr, Ste 102
West Palm Beach, FL
33401

From: Holden, Robert <rholden1@wm.com>

Sent: Tuesday, June 25, 2019 2:20 PM

To: Jordan Sperling <jsperling@snlandplan.com>

Cc: Josh Nichols <jnichols@snlandplan.com>; jleger@rivierabeach.com; jgagnon@rivierabeach.com

Subject: RE: Newman Windows & Doors_Waste Management Letter Request

Hi Jordan,

I have received and passed on the info below to our local franchise managers.

Thank you,

Rob Holden
Senior Construction Manager
Cell [561-662-9988](tel:561-662-9988)
Rholden1@wm.com

Waste Management Inc of Florida
[651 Industrial Way](#)
[Boynton Beach, FL 33426](#)
Builders Direct Desk 1-888-800-7732

From: Jordan Sperling <jsperling@snlandplan.com>
Sent: Tuesday, June 25, 2019 1:10 PM
To: Holden, Robert <rholden1@wm.com>
Cc: Josh Nichols <jnichols@snlandplan.com>; jleger@rivierabeach.com; jgagnon@rivierabeach.com
Subject: [EXTERNAL] Newman Windows & Doors_Waste Management Letter Request
Importance: High

Rob,

Good afternoon. The purpose of this email is to request a waste management letter for the proposed Newman Windows & Doors Major Site Plan Amendment application. Please see the enclosed PDF of our latest site plan and location map for your reference. Let me know if you need anything further.

Thank you

Jordan Sperling
Associate Urban Planner
— 561.684.6141 ext. 102
— jsperling@snlandplan.com
— www.snlandplan.com
— 1551 N Flagler Dr, Ste 102
West Palm Beach, FL
33401
— — —

Recycling is a good thing. Please recycle any printed emails.

<Newman Windows & Doors_Waste Management Letter Request.pdf>