



MEETING AGENDA PLANNING AND ZONING BOARD CITY OF RIVIERA BEACH, FL

LOCAL PLANNING AGENCY

Development Services Department: (561)845-4060, www.rivierabeach.org

VIA COMMUNICATION MEDIA TECHNOLOGY ONLINE

Commencement – 6:30 PM
Thursday, September 10, 2020

City Council Chambers - Municipal Complex
600 W. Blue Heron Blvd., Riviera Beach, FL 33404

Due to COVID-19, this meeting will occur in a digital format available at www.rivierabeach.org. If you wish to comment on any item(s) on this agenda, please submit an email to City staff (JGagnon@RivieraBeach.org), with "Public Comment" in the subject line, to be read in the record.

I. MOMENT OF SILENCE AND PLEDGE OF ALLEGIANCE

II. ROLL CALL

Jon Gustafson, Chairperson	Evelyn Harris Clark, Vice-Chair
Rena Burgess, Board Member	Margaret Shepherd, Board Member
Anthony Brown, Board Member	James Gallon, Board Member
William Wyly, Board Member	
Moeti Ncube, 1 st Alternate	Vacant, 2 nd Alternate

III. ACKNOWLEDGEMENT OF BOARD MEMBER ABSENCE NOTIFICATION

IV. ADDITIONS AND DELETIONS TO THE AGENDA

V. DISCLOSURE BY BOARD MEMBERS AND ADOPTION OF THE AGENDA

VI. APPROVAL OF MINUTES – None (*Sept. 3, 2020 minutes pending completion*)

VII. UNFINISHED BUSINESS – None.

VIII. NEW BUSINESS

- A. A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF RIVIERA BEACH, PALM BEACH COUNTY, FLORIDA, APPROVING SITE PLAN APPLICATION (SP-19-19) FOR A CONTRACTOR STORAGE YARD AND ACCESSORY OFFICE USE, TOTALING APPROXIMATELY 3.159 ACRES, LOCATED AT 6840 NORTH HAVERHILL ROAD, ASSOCIATED WITH PARCEL CONTROL NUMBERS 56-42-42-36-00-000-3050; 56-42-42-36-00-000-3070 HAVING AN INDUSTRIAL FUTURE LAND USE DESIGNATION; A LIMITED INDUSTRIAL (IL) ZONING DESIGNATION; AND PROVIDING FOR AN EFFECTIVE DATE.
- B. A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF RIVIERA BEACH, PALM BEACH COUNTY, FLORIDA, APPROVING SITE PLAN APPLICATION (SP-19-20) FOR A CONTRACTOR STORAGE YARD AND ACCESSORY OFFICE USE, TOTALING APPROXIMATELY 3.00 ACRES, LOCATED AT 4922 DYER BOULEVARD, ASSOCIATED WITH PARCEL CONTROL NUMBERS 56-42-42-36-00-000-3070; 56-42-42-36-00-000-3050 HAVING AN INDUSTRIAL FUTURE LAND USE DESIGNATION; A LIMITED INDUSTRIAL (IL) ZONING DESIGNATION; AND PROVIDING FOR AN EFFECTIVE DATE.

- C. A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF RIVIERA BEACH, PALM BEACH COUNTY, FLORIDA, APPROVING PLAT APPLICATION (PA-19-03) FROM HINTERLAND GROUP #2, LLC REQUESTING PLAT APPROVAL TO PLAT TWO CONTIGUOUS VACANT LOTS ASSOCIATED WITH 6840 NORTH HAVERHILL ROAD AND 4922 DYER BOULEVARD, KNOWN BY PARCEL CONTROL NUMBER 56-42-42-36-00-000-3050 TOTALING 3.159 ACRES; 56-42-42-36-00-000-3070 TOTALING 3.00 ACRES OF LAND; HAVING AN INDUSTRIAL FUTURE LAND USE DESIGNATION; A LIMITED INDUSTRIAL (IL) ZONING DESIGNATION; AND PROVIDING FOR AN EFFECTIVE DATE.

IX. WORKSHOP ITEMS - None.

X. GENERAL DISCUSSION

- A. PUBLIC COMMENTS
- B. CORRESPONDENCE
- C. PLANNING AND ZONING BOARD COMMENTS
 - 1. Project Updates / Upcoming Projects
 - 2. Upcoming P&Z Board Meetings – Sept. 24, 2020 / Oct. 8, 2020.

XI. ADJOURNMENT

NOTICE: In accordance with the Americans with Disabilities Act, persons in need of a special accommodation to participate in this proceeding shall, within a reasonable time prior to any proceeding, contact the City of Riviera Beach, 600 West Blue Heron Boulevard, Riviera Beach, Florida 33404, Telephone 561-845-4000 or TDD 561-840-3350, www.rivierabeach.org



**STAFF REPORT - CITY OF RIVIERA BEACH
DYER INDUSTRIAL WEST SP-19-19
SEPTEMBER 10, 2020**

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF RIVIERA BEACH, PALM BEACH COUNTY, FLORIDA, APPROVING SITE PLAN APPLICATION (SP-19-19) FOR A CONTRACTOR STORAGE YARD AND ACCESSORY OFFICE USE, TOTALING APPROXIMATELY 3.159 ACRES, LOCATED AT 6840 NORTH HAVERHILL ROAD, ASSOCIATED WITH PARCEL CONTROL NUMBERS 56-42-42-36-00-000-3050; 56-42-42-36-00-000-3070 HAVING AN INDUSTRIAL FUTURE LAND USE DESIGNATION; A LIMITED INDUSTRIAL (IL) ZONING DESIGNATION; AND PROVIDING FOR AN EFFECTIVE DATE.

-
- A. Applicant:** Hinterland Group #2, LLC – Owner
Authorized Agent: Dan Siemsen, Gentile Glas Holloway O'Mahoney & Associates, Inc.
- B. Request:** The applicant is requesting site plan approval for a contractor storage yard and accessory office use.
- C. Location:** The subject site is located at the southeast corner of the intersection of North Haverhill Road and Dyer Boulevard, and, 0.447 miles west of North Military Trail, addressed as 6840 North Haverhill Road, identified by Parcel Control Numbers: 56-42-42-36-00-000-3050; 56-42-42-36-00-000-3070 within the City of Riviera Beach municipal boundary, as depicted on Exhibit A (see attached location map).
- D. Property Description and Uses:** The subject property description and uses are as follows:

Parcel Control Numbers: 56-42-42-36-00-000-3050; 56-42-42-36-00-000-3070

Parcel Size: 3.159 Acres

Existing Use: Vacant (Undeveloped)

Zoning: Limited Industrial (IL) Zoning District

Future Land Use: Industrial (IND) Future Land Use

E. Adjacent Property Description and Uses:

North: General Industrial (IG) Zoning District: auto sales, warehouse distribution terminal.

South: Residential Planned Unit Development (R-PUD) Zoning District: Turtle Cay – townhomes, zero lot line homes.

East: Limited Industrial (IL) Zoning District: warehouse/distribution terminal.

West: Palm Beach County Owned: Conservation

F. Background:

On November 12, 2019, Gentile Glas Holloway O'Mahoney & Associates, Inc., authorized agent for Hinterland Group #2 LLC, submitted an application for site plan approval (SP-19-19) for a contractor storage yard and accessory use. This application is also being reviewed concurrently with an associated plat application (PA-19-03). Staff conducted an initial review and provided the applicant with comments. Subsequent resubmittals were reviewed and all comments were resolved prior to the application's placement on the Planning and Zoning Board Agenda. The applicant is requesting site plan approval for an 84,057.37 square foot Contractor Storage Yard; 10,860 square foot enclosed contractor storage with a 910.23 square foot accessory office; and a 4,800 square foot enclosed contractor storage as accessory to house weather-protected equipment and materials.

The subject site consists of 3.159 acres of vacant land (137,614.08 sf land area) located at the southeast corner of North Haverhill Road and Dyer Boulevard intersection; approximately 0.32 miles west of North Military Trail and identified by Parcel Control Number 56-42-42-36-00-000-3050. According to Palm Beach County Property Appraiser's records, the subject parcel was acquired on/about January 2017 by Hinterland Group #1 LLC. Prior to the acquisition, the subject parcel was in use by Southern Truss Companies and operated as an open-air roof truss manufacturing company from approximately 1980 to 2008, and has since relocated to Fort Pierce. While remnants of roof truss materials still exist on the site, Palm Beach County Property Appraiser and City records show no prior development to the vacant subject property.

The site plan application for the subject property has been scheduled to be heard by the Planning and Zoning Board on Thursday, September 10, 2020 at 06:30 P.M.

G. Staff Analysis:

Proposed Use: Contractor Storage Yard.

Zoning Regulations: The proposed use as a contractor storage yard is listed as a permitted use in the Limited Industrial (IL) Zoning District. The proposed use and accessory are consistent with the development patterns in the industrial corridor, and complies with the requirements of the City's Land Development Regulations.

Comprehensive Plan: The proposed use is consistent with the City's Comprehensive Plan, including the Industrial Future Land Use category.

Compatibility: The proposed use is compatible with the surrounding parcels within the industrial corridor and does not impose any adverse impact to surrounding properties. Although, a residential development abuts the south (rear) of the proposed use, the site plan and landscape plan demonstrates adequate buffers and screening, such as a 50-foot landscape easement buffer, 10-foot landscape buffer, and a six-foot high finished masonry wall along the south as a mitigation measure to any potential noise or visual impacts to abutting residential development.

Levels of Service: Customary services such as roads, water, sewer, and garbage collection are currently available to the site.

Landscaping: The landscape plan demonstrates compliance with the minimum required landscaping regulation which requires 20 percent of the site be landscaped. Additionally, along the southern perimeter of the site, an existing 50-foot landscape buffer and existing six-foot high finished masonry wall will remain to screen the site from the abutting residential development; 10-foot landscape buffers, partial six-foot high finished masonry wall and a six-foot high chain link fence is indicated on the remaining perimeter of the proposed site.

Parking/Traffic: Parking calculations have been reviewed as part of the site plan application in accordance with the parking section of the zoning code. The site plan proposes four (4) parking spaces, including one (1) ADA space, which is adequate and complies with the parking requirement in the City's Land Development Regulations for a contractor storage yard and accessory office. Moreover, seven additional sample parking spaces have been added to the site plan as overflow parking should it be needed for possible expansion or further development of the site in the future.

The site plan indicates an egress point (exit only) on North Haverhill Road that addresses Palm Beach County Traffic Division's request to provide a turnaround for *unadmitted* at vehicles at the gated access driveway on Haverhill Road. Additionally, there is an ingress/egress point proposed on Dyer Boulevard. The Palm Beach County Traffic Division reviewed the Applicant's Traffic Impact Statement and determined that the proposed development meets the Traffic Performance Standards.

H. Staff Conclusion: Staff recommends that the Planning and Zoning Board recommend to the City Council approval of the proposed site plan application for a contractor storage yard and accessory office use, located at 6840 North Haverhill Road with the following conditions:

1. A two-year landscaping performance bond for 110% of the value of landscaping and irrigation shall be required before a Certificate of Occupancy or Certificate of Completion is issued for the Addition.
2. Construction and landscaping improvements must be initiated within 18 months of the effective date of this Resolution in accordance with Section 31-60(b), of the City Code of Ordinances. Demolition, site preparation and/or land clearing shall not be considered construction. Building permit application and associated plans and documents shall be submitted in its entirety and shall not be accepted by City staff in a partial or incomplete manner.
3. City Council authorizes City staff to approve future amendments to this site plan administratively so long as the site plan does not deviate greater than five percent (5%) from the originally approved site plan.
4. This development must receive final Certificate of Occupancy from the City for all buildings and units approved within five years of the approval of the adopting resolution or the adopting resolution shall be considered null and void, requiring the applicant to resubmit application for site plan and special exception approval and re-initiate the site plan approval process.
5. All future advertising must state that the development is located in the City of Riviera Beach. Fees and penalties in accordance with City Code Sec. 31-554 will

be levied against the property owner and/or business for violation of this condition.

6. Once approved, this resolution shall supersede any previous site plan approval resolutions associated with this property, causing previous site plan approval resolutions to be null and void.
7. Due to the close proximity to existing residential uses and Limited Industrial Zoning Designation, the open storage of goods and materials shall not exceed twenty (20) feet in height per City Code Sec. 31-363(2). Any equipment or vehicles stored on site, including but not limited to crane arms, shall be lowered to the lowest possible level upon close of business to mitigate visual impacts.

Exhibit A. Location Map.

Dyer Industrial West

Riviera Beach, Florida

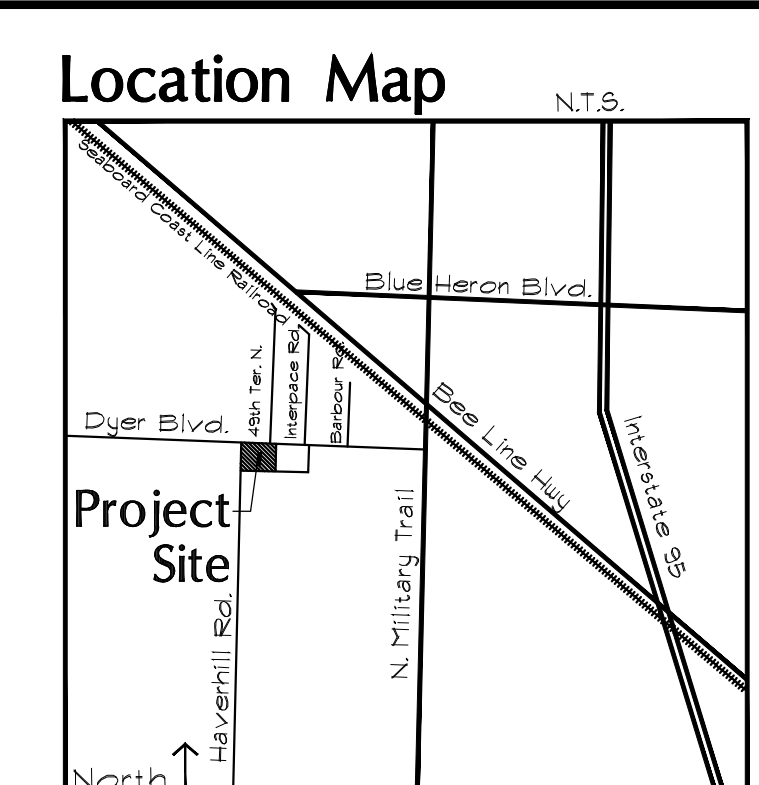
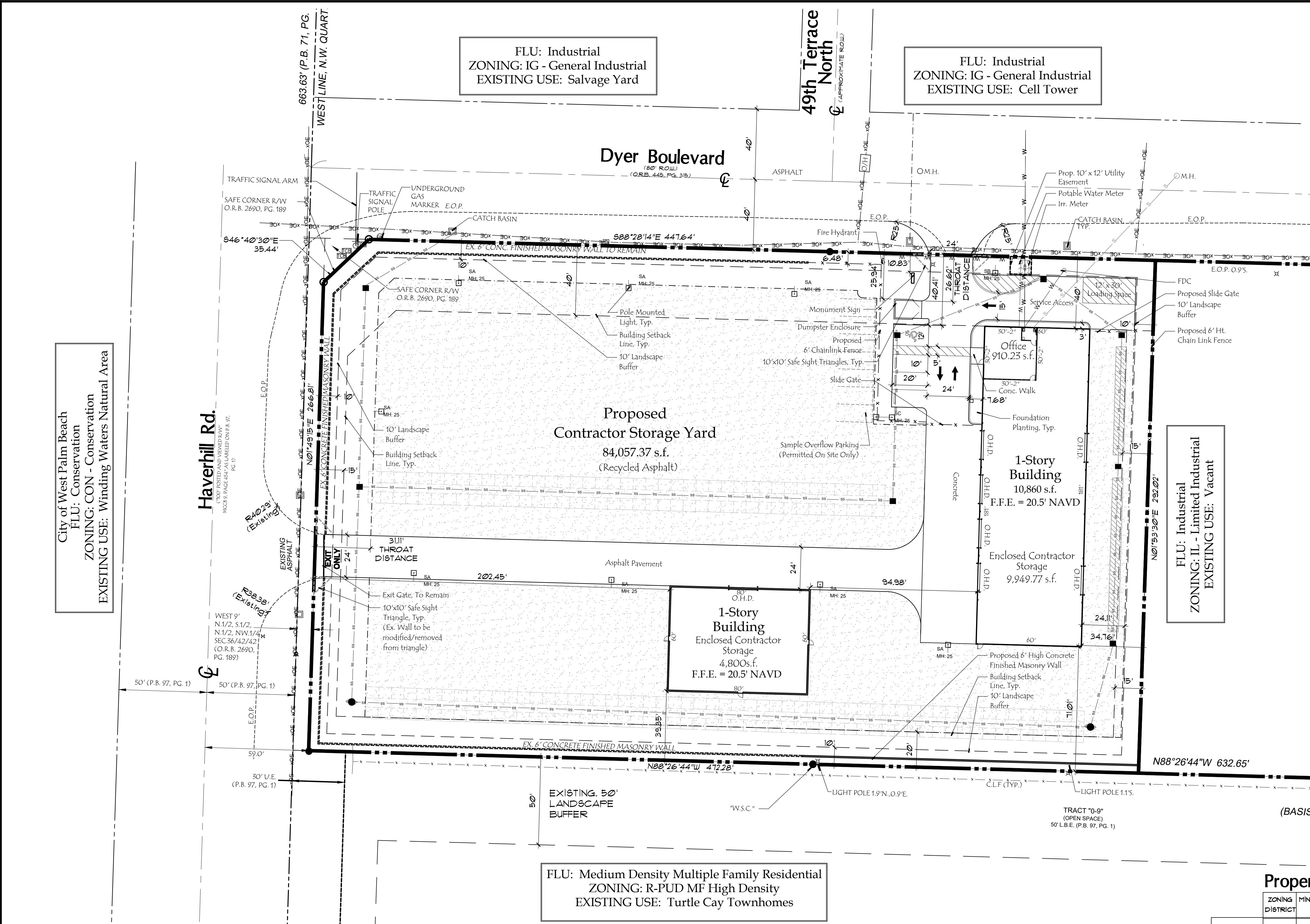
Location Map



Exhibit B. Legal Description.

PARCEL B:

The North $\frac{1}{2}$ of the South $\frac{1}{2}$ of the North $\frac{1}{2}$ of the Northwest $\frac{1}{4}$, less the East 2,371.96 feet thereof in Section 36, Township 42 South, Range 42 East, Palm Beach County, Florida, and less those portions thereof conveyed to the County of Palm Beach as recorded in Official Records Book 445, Page 315 and Official Records Book 2690, Page 189, both of the Public Records of Palm Beach County, Florida.



Site Data

APPLICATION NUMBER	SP-19-19
NAME OF PROJECT	DYER INDUSTRIAL WEST
FUTURE LAND USE DESIGNATION	INDUSTRIAL
ZONING DISTRICT	IL, LIMITED INDUSTRIAL
PROPOSED USE(S)	CONTRACTOR STORAGE YARD
SECTION, TOWNSHIP & RANGE	36/42/42
PCN(S)	56-42-42-36-00-000-3050
TAX	116
TOTAL GROSS ACRES	3.16 ACRE (137,614.00 SF)
TOTAL GROSS FLOOR AREA (GFA)	0.36 AC. (15,660 SF) 100%
ACCESSORY OFFICE	0.02 AC. (910.23 SF) 6%
COVERED STORAGE	0.34 AC. (14,749.77 SF) 94%

CONCURRENCY APPROVAL*

ACCESSORY OFFICE	910.23 SF
COVERED CONTRACTOR STORAGE	14,749.77 SF
CONTRACTOR STORAGE YARD	84,057.37 SF

*Concurrence is approved for the above uses and amounts shown on this plan.

IMPERVIOUS SURFACE AREA

BUILDINGS	15,660 SF	73%
PAVEMENT/WALKS	93,266.15 SF	

PERVIOUS SURFACE AREA

OPEN SPACE	28,687.33 SF	21%
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BUILDING HEIGHT

NUMBER OF STORIES	24'-2 7/8"
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Parking & Loading

PARKING REQUIRED	4 SPACES
ACCESSORY OFFICE: 1 PER 300 * 910.23/4	

PARKING PROVIDED

ACCESSORY OFFICE: 1 PER 300 * 910.23/4	4 SPACES
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HANDICAPPED SPACES REQUIRED

HANDICAPPED SPACES PROVIDED	1
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LOADING REQUIRED (12' X 30' MIN)

LOADING PROVIDED	1
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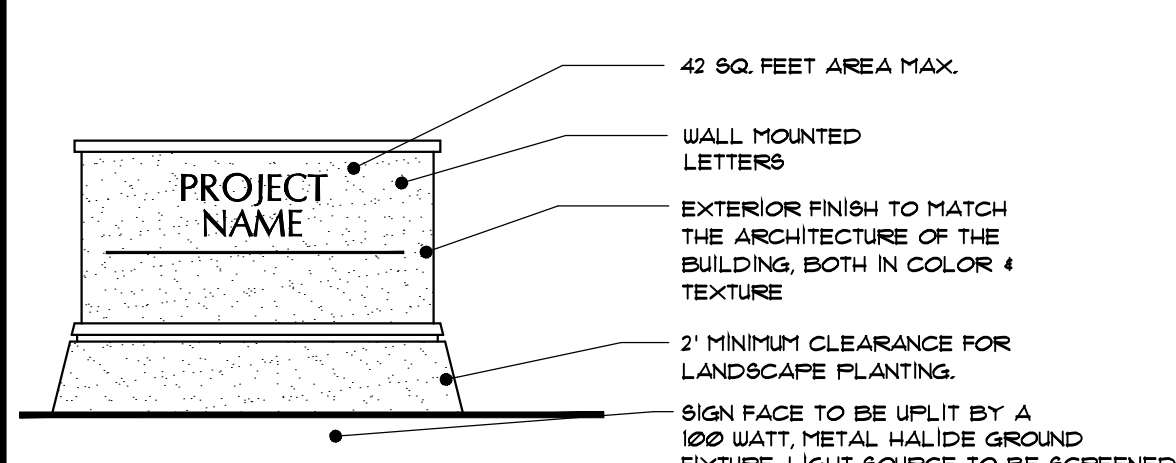
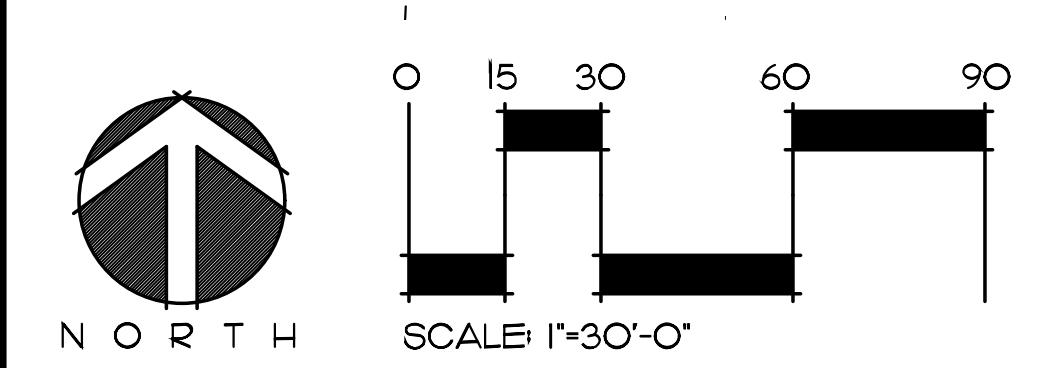
- Notes:**
1. THE PERCENTAGE OF ACCESSORY USE IS CALCULATED AS IT RELATES TO THE OVERALL SITE.
 2. ALL CONNECTION TO THE UTILITY DISTRICT WATER AND SEWER SHALL BE MADE DIRECTION UNDER THE SUPERVISION OF UTILITY DISTRICT PERSONNEL.
 3. BASE INFORMATION FOR THIS PROJECT WAS OBTAINED FROM A SURVEY PREPARED BY WALLACE SURVEYING CORP. DATED 9-11-19.
 4. OVERFLOW PARKING IS PERMITTED AS PART OF THIS APPROVAL AND SHALL BE LIMITED TO THE INTERIOR PORTION OF THE SITE ONLY.

Property Development Regulations

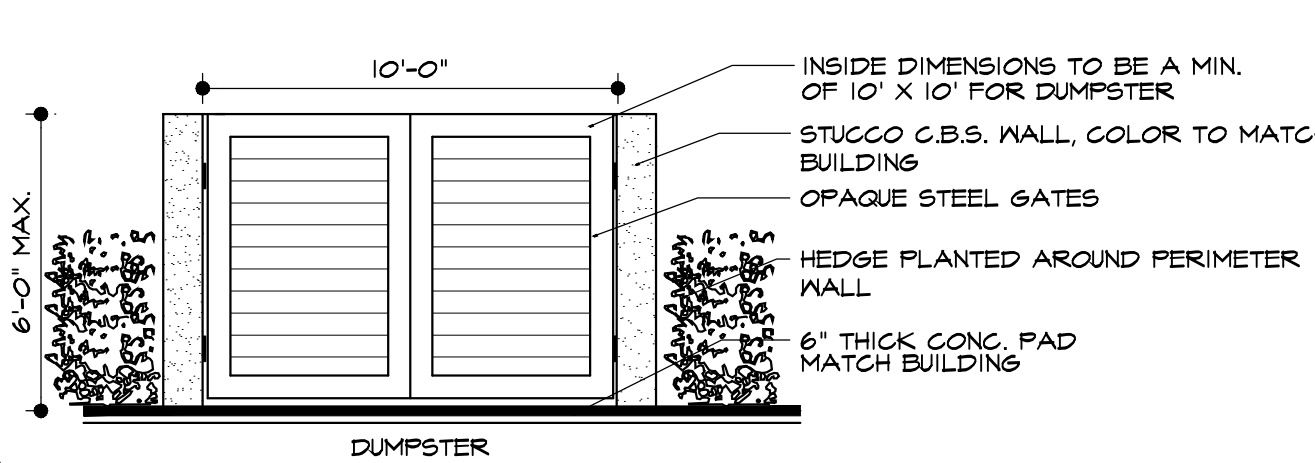
ZONING DEVELOPMENT REGULATIONS										
ZONING DISTRICT	MIN. PROPERTY SIZE	MAX. BLDG. HEIGHT	GFA	FAR	BLDG. COVERAGE	MIN. SETBACKS				
						FRONT	SIDE E.	SIDE W.	REAR	
REQUIRED	IL	20,000 SF.	35'-0"	N/A	25	45.0%	40'	15'	15'	20'
PROPOSED	IL	137,614.00 SF.	24'-2 7/8"	15,660 SF.	.12	12%	40'	34.16'	202.45'	33.35'

Amendment Stamps

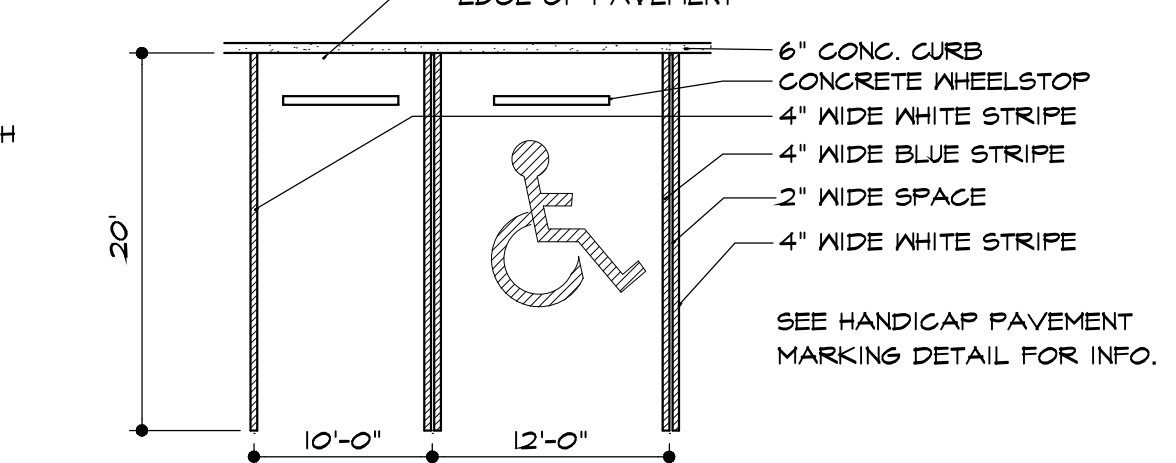
Zoning Stamps



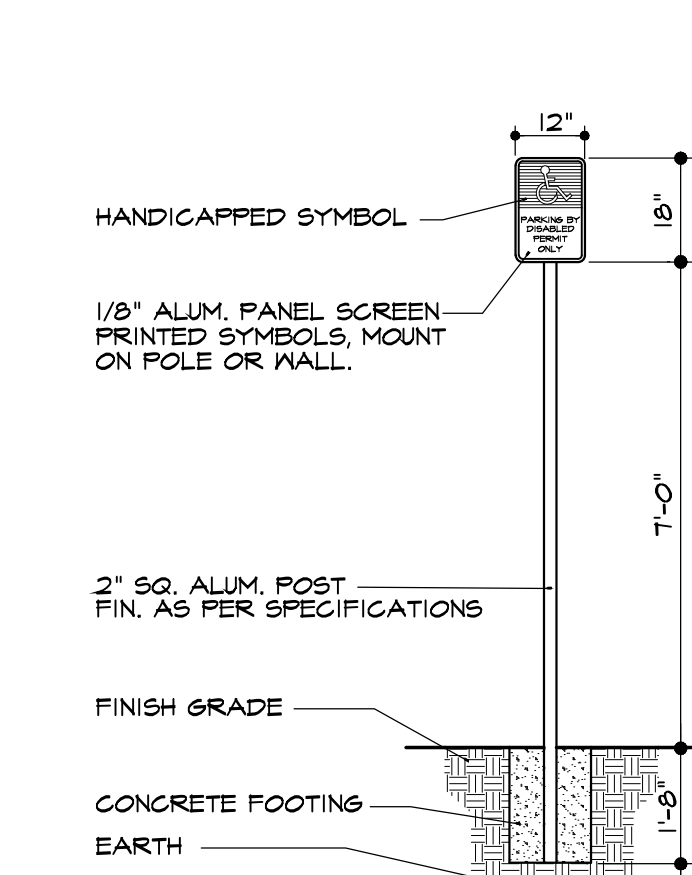
Freestanding Monument Sign
N.T.S.



Dumpster Enclosure Detail
N.T.S. FRONT ELEVATION



Parking Stall Detail
N.T.S.



Disabled Parking Sign
N.T.S.

Gentile Glas Holloway O'Mahoney & Associates, Inc.
Landscape Architects
Planners
Environmental Consultants

1907 Commerce Lane
Suite 101
Jupiter, Florida 33458
561-575-9557
561-575-5260 FAX
www.2GHO.com

Site Development Plan
Dyer Industrial West
Riviera Beach, Florida

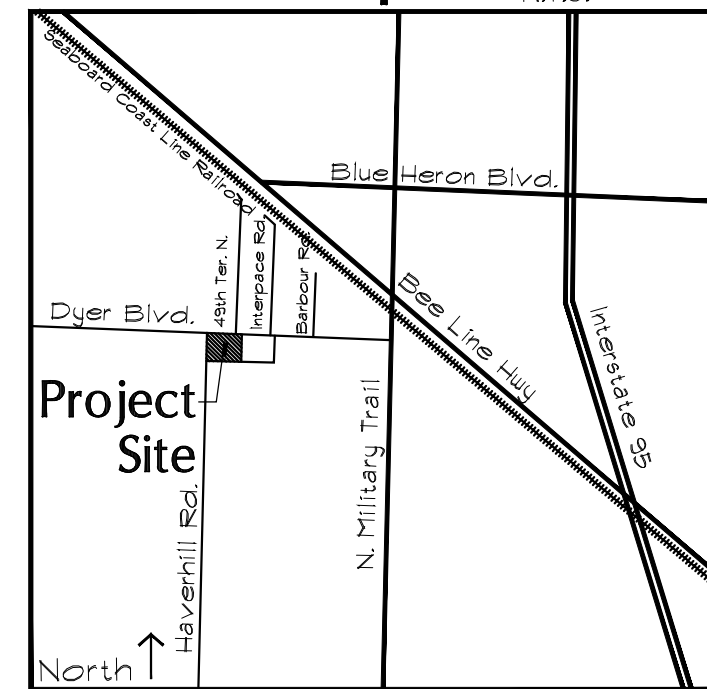
Designed: GGG, DSS
Drawn: DSS
Approved: GGG, MTH, ECM
Date: 1-30-19
Job no. 18-0819
Revisions: 4-9-19
4-15-19
8-26-19
2-14-20

Cad no. CAD0
8ea

LC 0000117
Sheet Title:
Site Development Plan
Scale: 1"=30'-0"
Sheet No.
SP-1
18-0819

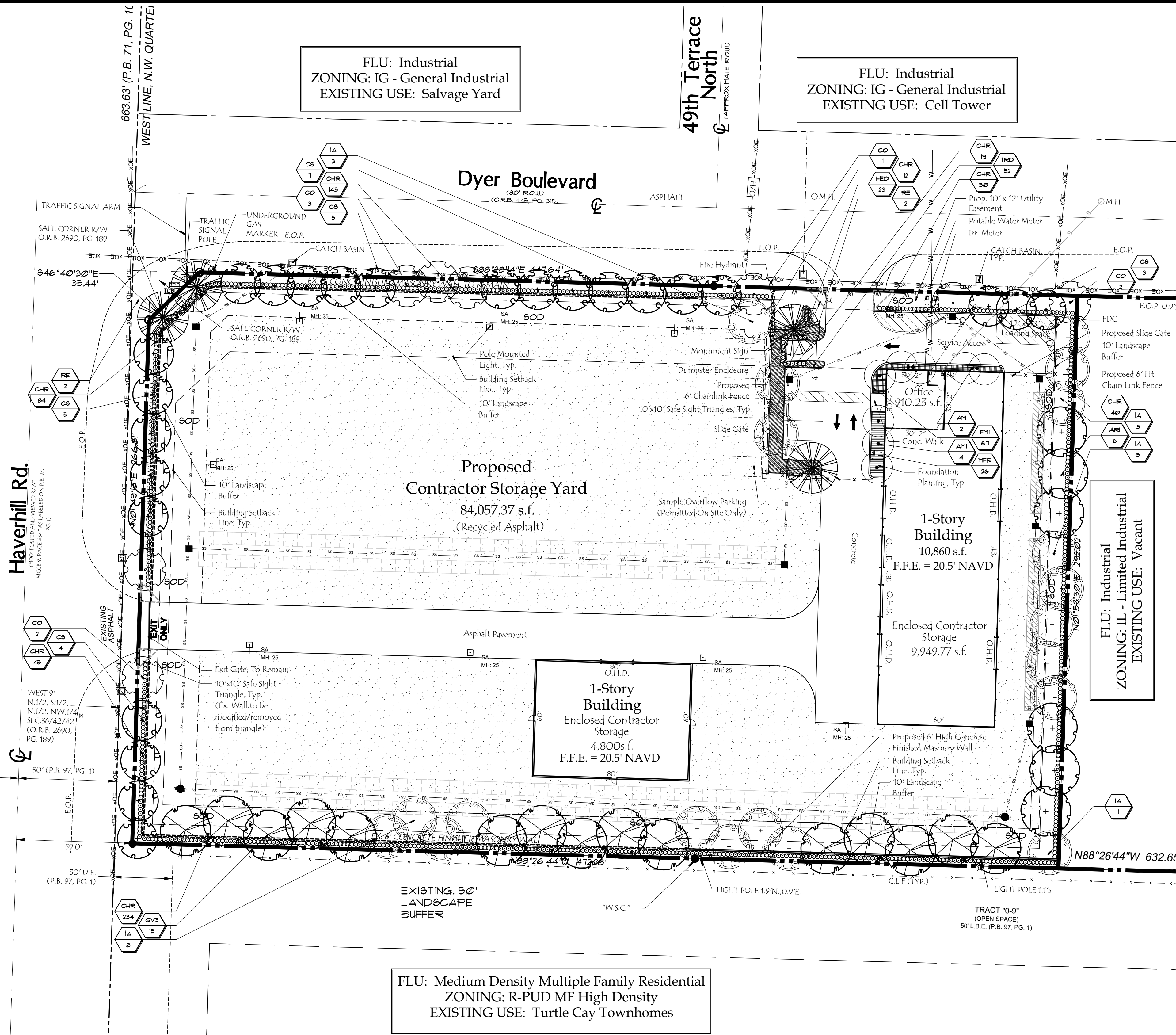
City of West Palm Beach
FLU: Conservation
ZONING: CON - Conservation
EXISTING USE: Winding Waters Natural Area

Location Map



PLANT LEGEND:

- | | | | |
|--|---------------------------|--|----------------------|
| | Live Oak 'High Rise' | | Holly 'East Palatka' |
| | Red Maple 'Florida Flame' | | Orange Geiger |
| | Silver Buttonwood | | Green Island Ficus |
| | Royal Palm | | Simpson's Stopper |
| | Christmas Palm (Double) | | Fakahatchee Grass |
| | Christmas Palm (Single) | | Dune Sunflower |
| | | | Red Tip Cocoplum |



LANDSCAPE DATA:

SITE AREA : 3.16 AC. (137,614.08 s.f.)
TOTAL LANDSCAPE AREA REQUIRED: 27,522.82 s.f. (20%)
TOTAL LANDSCAPE AREA PROVIDED: 27,612.02 s.f. (20%)

LANDSCAPE REQUIREMENTS:

	REQUIRED	PROVIDED
NORTHERN PERIMETER (421.66 L.F.) (Excludes -26' (X1) drives For Calculation)	21 TREES	21 TREES (1:20 L.F.)
SOUTHERN PERIMETER (472.30 L.F.)	24 TREES	24 TREES (1:20 L.F.)
WESTERN PERIMETER (240.81 L.F.) (Excludes -26' (X1) drives For Calculation)	12 TREES	12 TREES (1:20 L.F.)
EASTERN PERIMETER (291.95 L.F.)	15 TREES	15 TREES (1:20 L.F.)
INTERIOR ISLAND TREES	2 TREES	2 TREES (1 PER ISLAND)
INTERIOR LANDSCAPING (1/1500 s.f.) (Landscape Areas Excludes Buffers: 13,715.23 s.f.)	9 TREES	9 TREES
TOTAL TREES	83 TREES	83 TREES (PALMS = 3 TO 1 CANOPY TREE)
VEGETATION SPECIES MIX	6 SPECIES	6 SPECIES (OVER 75 REQUIRED TREES REQUIRES A MIX OF 6 SPECIES INCLUDING PALMS)
PALM SUBSTITUTION (25% MAX)	21 PALMS MAX	10 PALMS; 12% (10 OUT OF 83)

NATIVE REQUIREMENTS:

	REQUIRED	PROVIDED
NATIVE/ PREFERRED SPECIES TREES & PALMS	50%	93% (77 out of 83)
NATIVE/PREFERRED SPECIES SHRUBS & GROUNDCOVERS	25%	94% (1,062 out of 1,129)
TOTAL PERCENTAGE OF NATIVE SPECIES	70%	94% (1,138 out of 1,212)
TOTAL PERCENTAGE OF NATIVE SHADE TREES	60%	78% (65 out of 83)
TOTAL PERCENTAGE OF NATIVE ACCENT TREES	10%	10% (8 out of 83)

LANDSCAPE NOTES:

- THE LANDSCAPE ARCHITECT OF RECORD SHALL VERIFY THAT THE INSTALLATION COMPLIES WITH THE APPROVED PLAN OF RECORD. THIS VERIFICATION INCLUDES THE SPECIES (TYPE, QUANTITY, AND OTHER ORIGINAL PLANTING, SPECIFICATIONS) DESIGN OR LOCATION, IRRIGATION, AND ALL OTHER LANDSCAPE STRUCTURES AND MATERIAL USED IN ACCORDANCE WITH THE SITE PLAN.
- ALL PLANTING AREAS SHALL RECEIVE 100% COVERAGE FROM A FULLY AUTOMATIC IRRIGATION SYSTEM, EQUIPPED WITH A RAIN SENSOR AND SHALL BE DESIGNED IN ACCORDANCE TO SECTION 20-124 OF RIVERA BEACH LANDSCAPE SECTION.
- IRRIGATION SOURCE SHALL BE POTABLE OR WELL WATER SOURCE.
- ALL PLANTING BEDS/ISLANDS SHALL BE FREE OF SHELLROCK THREE (3) AND CONSTRUCTION DEBRIS, EXCAVATED TO A DEPTH OF 30" OR TO CLEAN NATIVE SOILS AND BACKFILLED WITH THE SPECIFIED BACKFILL MIXTURE
- ALL TREES UNDER FPL POWER LINES ARE REQUIRED TO COMPLY WITH THE FPL PLANT THE RIGHT TREE IN THE RIGHT PLACE' GUIDELINES.
- ALL LANDSCAPE ISLANDS SHALL INCORPORATE THE INSTALLATION OF MOUNDING OF NATIVE SOILS A MIN. OF 6" ABOVE THE TOP OF CURB.
- ALL PLANT MATERIAL SHALL MEET THE FLORIDA GRADES AND STANDARDS OF FL #1 QUALITY OR BETTER.
- THE EXISTENCE, EXACT LOCATIONS AND DEPTHS OF UTILITIES DEPICTED ON DRAWINGS AND PLANS PROVIDED BY THE CITY OF RIVERA BEACH UTILITY DISTRICT (CRBUD), SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. THE CRBUD ASSUMES NO RESPONSIBILITY FOR ANY POTENTIAL UTILITY CONFLICTS. IF IT IS DETERMINED THAT UTILITIES DEPICTED ON DRAWINGS AND PLANS PROVIDED BY CRBUD ARE NON-EXISTENT OR PARTIALLY EXISTENT, THE CRBUD ASSUMES NO RESPONSIBILITY FOR CONSTRUCTION OF THESE UTILITIES.
- THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE DONE TO CRBUD UTILITIES AS A RESULT OF THIS WORK.
- ANY WATER AND/OR SEWER CONNECTIONS MUST BE COORDINATED AND SUPERVISED BY UTILITY DISTRICT PERSONNEL. PLEASE GIVE 72 HOURS' NOTICE FOR CONNECTIONS.

Amendment Stamps

Amendment Stamps area for recording changes to the plan.

Zoning Stamps

Zoning Stamps area for recording zoning-related information.



Gentile Glas
Holloway
O'Mahoney
& Associates, Inc.
Landscape Architects
Planners
Environmental Consultants

1907 Commerce Lane
Suite 101
Jupiter, Florida 33458
561-575-9557
561-575-5260 FAX
www.2GHO.com

Landscape Development Plan Dyer Industrial West Riviera Beach, Florida

Designed: GGG, DSS
Drawn: DSS
Approved: GGG, MTH, EDM
Date: 4-9-19
Job no. 18-0819
Revisions: 4-16-19
10-16-19
2-14-20

Cad no. CAD0

0821

LC 00001171
Sheet Title:
Landscape
Development
Plan

Scale: 1"=30'-0"

Sheet No.

LP-1
18-0819

Plant List

WATER DROUGHT				SALT TOLERANT				LIGHT LEVELS				WIND RESISTANT				GROWTH RATE				TREES			
USE	Y	N		Y	N			HL	H			M	M			M	M			KEY	QTY.	BOTANICAL NAME	COMMON NAME
LW	Y			Y				HL	H			M	F			M				AR1	6	ACER RUBRUM 'FLORIDA FLAME'	FLORIDA FLAME MAPLE
LW	Y			Y				HL	H			M	F			M				CS	24	CONOCARPUS ERECTUS 'SERICEUS'	SILVER BUTTWOOD
MW	Y			Y				HL	H			M	M			M				CO	8	CORDIA SEBESTENA	GEIGER TREE
LW	Y			Y				HL	M			M	M			M				IA	20	ILEX ATTENUATA 'EAST PALATKA'	EAST PALATKA HOLLY
LW	Y			Y				HL	H			M	M			M				QV3	15	QUERCUS VIRGINIANA 'HIGRISSE???'	LIVE OAK

PALMS																			
						KEY	QTY.	BOTANICAL NAME	COMMON NAME	HEIGHT		CALIPER	SPACING	D.T.	NATIVE	REMARKS			
LW	Y	Y	HL	H	M	AM	2	ADONIDIA MERRILLII	ADONIDA PALM	6'	G.W.		As Shown	M	N	Doubles Matching			
LW	Y	Y	HL	H	M	AM1	4	ADONIDIA MERRILLII	ADONIDA PALM	6'	G.W.		As Shown	M	N	Single and Trunk			
LW	Y	Y	HL	H	M	RE	4	ROYSTONEA ELATA	ROYAL PALM	10'	G.W.		As Shown	V	Y	HEAVY TRUNK AND			

SHRUBS																					
						KEY	QTY.	BOTANICAL NAME	COMMON NAME	HEIGHT	SPREAD	GAL.	SPACING	D.T.	NATIVE	REMARKS					
LW	Y	Y	HL	H	M	CHR	961	CHRYSOBALANUS ICACO 'RED TIP'	RED TIP COCOPLUM	24"	18"		2 O.C.	V	Y	FULL TO BASE					
LW	Y	Y	HL	H	M	FMI	67	FICUS MICROCARPA 'GREEN ISLAND'	GREEN ISLAND FICUS	18"	18"		2 O.C.	M	N						
LW	Y	Y	HL	H	M	MFR	26	MYRSANTHUS FRAGRANS	SIMPSON'S STOPPER	24"	24"		3 O.C.	M	Y						
LW	Y	Y	HL	H	M	TRD	52	TRIPSACUM DACTYLOIDES	FAKAHATCHEE GRASS	24"	30"		4 O.C.	V	Y						

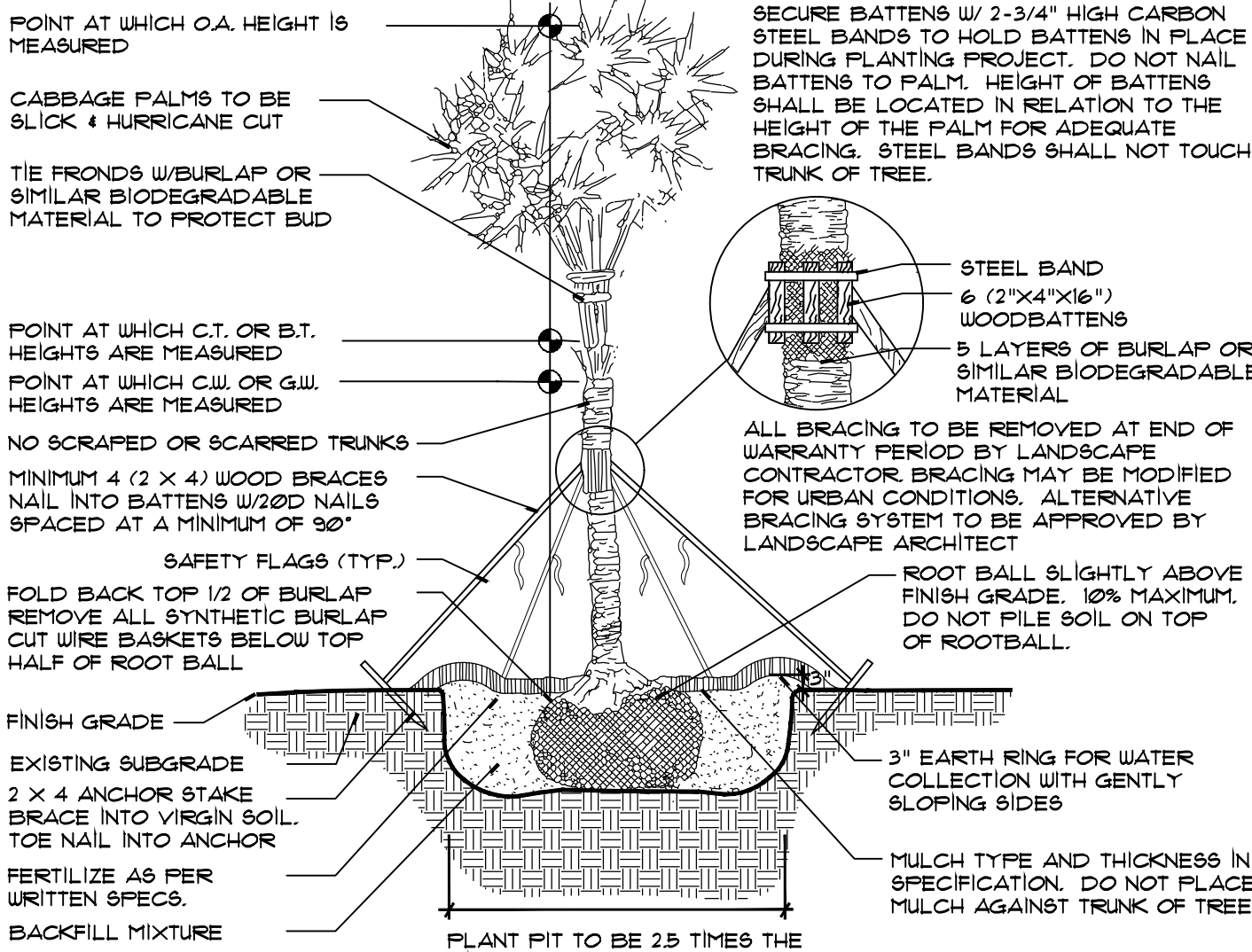
GROUND COVER																					
LW		Y	Y		HL	H	M	KEY	QTY.	BOTANICAL NAME	COMMON NAME	HEIGHT	SPREAD	GAL.	SPACING	D.T.	NATIVE	REMARKS			
								HED	23	HELIANTHUS DEBILIS	DUNE SUNFLOWER	6"	12"	#1 FULL	1.5 O.C.	V	Y				

- * DENOTES NATIVE MATERIAL
- *SOD: ST. AUGUSTINE OR BAHIA
- *MULCH: TO BE APPLIED TO ALL PLANTING BEDS, 3" THICK MIN., SHREDDED MELALUECA MULCH OR FLORI-MULCH
- *ALL PLANTING AREAS SHALL RECEIVE 100% COVERAGE FROM A FULLY AUTOMATIC IRRIGATION SYSTEM EQUIPPED WITH A RAIN SENSOR.
- *HW= HIGH WATER USE
- *MW= MEDIUM WATER USE
- *LW= LOW WATER USE
- *Y= YES
- *N= NO
- *HL= FULL SUN LIGHT REQUIREMENTS
- *ML= MEDIUM SUN LIGHT REQUIREMENTS
- *LL= LOW SUN LIGHT REQUIREMENTS
- *H= HIGH
- *M= MEDIUM
- *L= LOW
- *F= FAST
- *S= SLOW

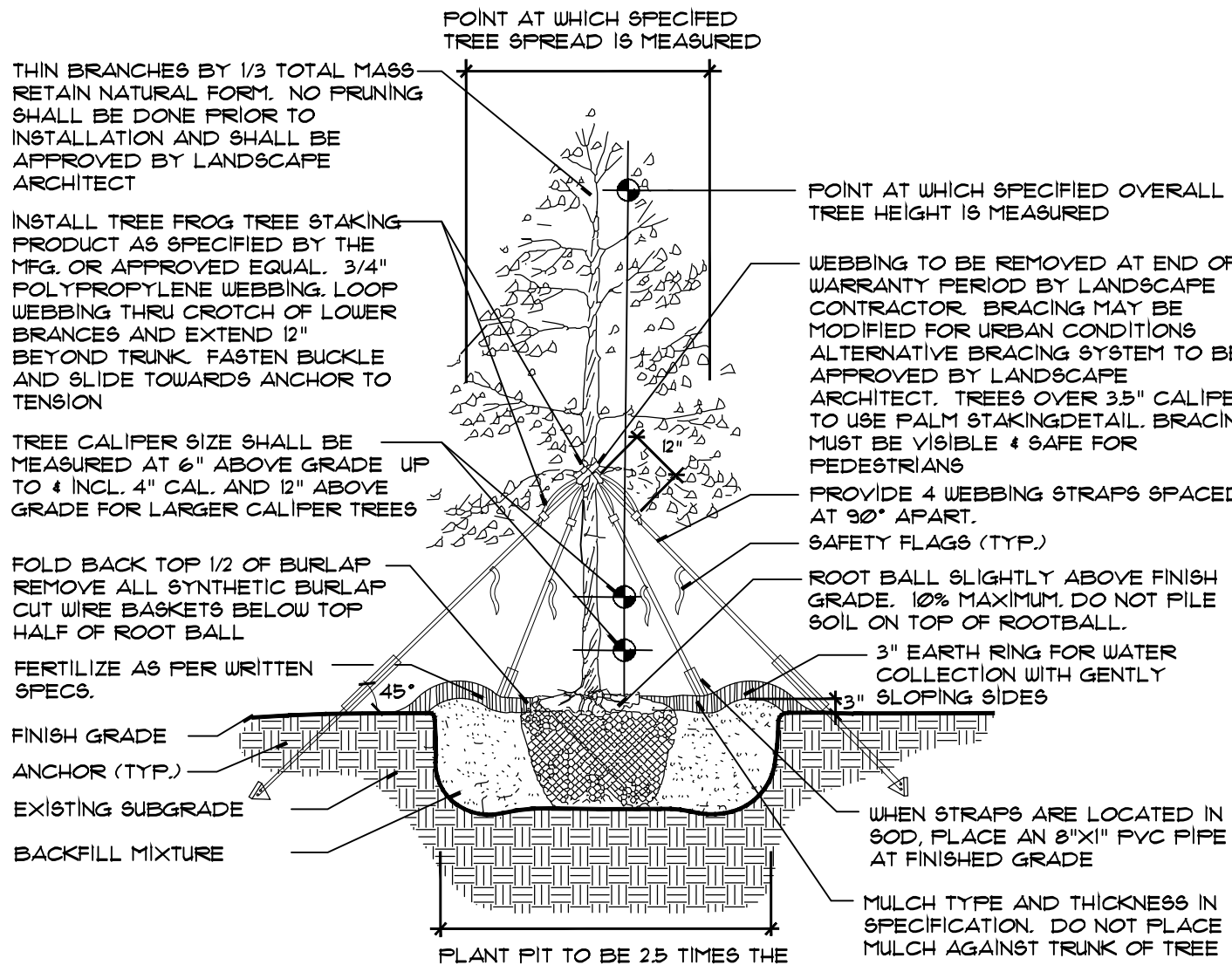


Know what's below.
Call before you dig.

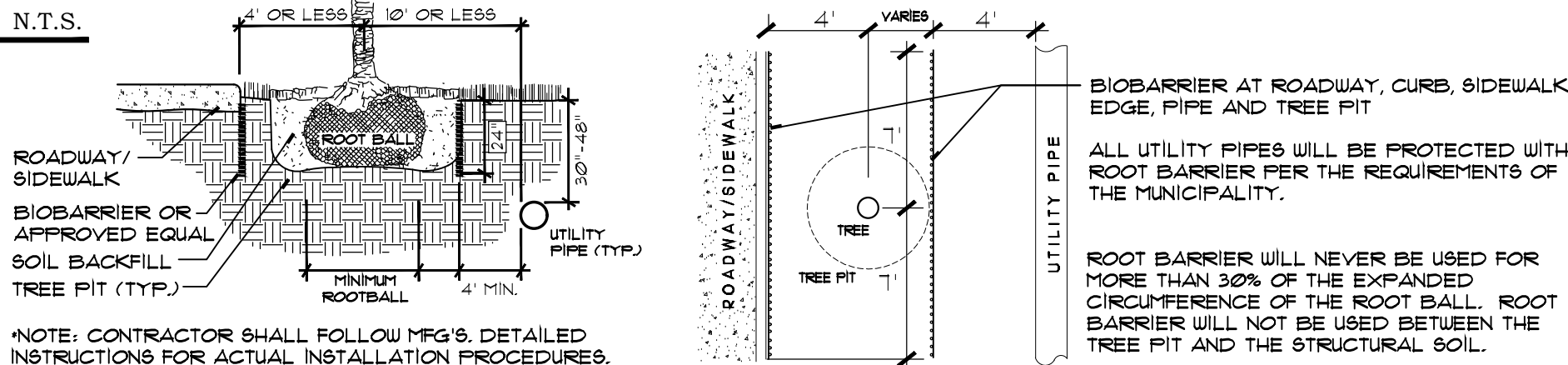
Details



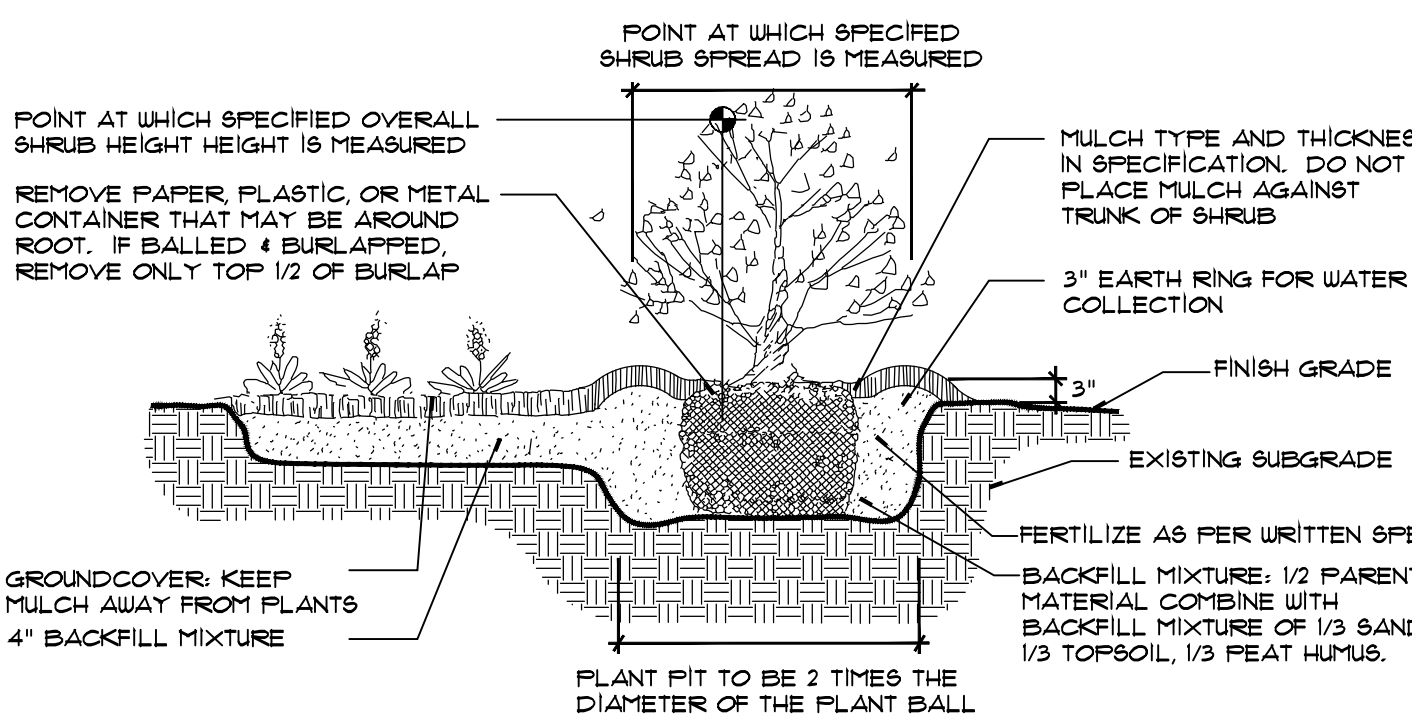
Palm Planting Detail N.T.S.
Tree Planting Over 3.5" Cal.



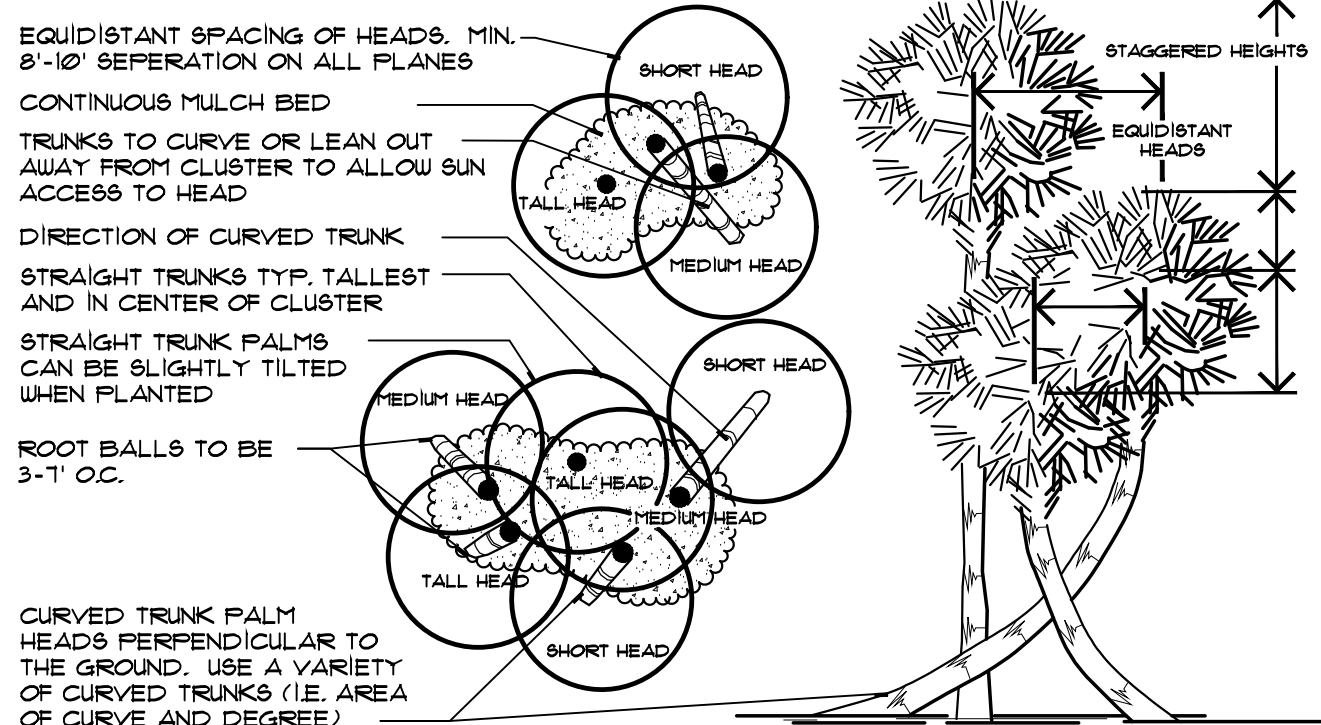
Tree Planting Detail N.T.S.
Tree Planting 1" To 3.5" Cal.



Tree Root Barrier Section N.T.S.
Tree Root Barrier Plan N.T.S.



Shrub & Ground Cover Planting Detail N.T.S.



Typical Cabbage Palm Layout N.T.S.

Specifications - Exterior Plants

1.4: QUALITY ASSURANCE:

SOIL ANALYSIS SHALL BE CONDUCTED BY THE LANDSCAPE CONTRACTOR PRIOR TO APPLICATION OF ANY SOIL AMENDMENTS, FERTILIZERS AND BACKFILL MIXTURES. THE LANDSCAPE CONTRACTOR SHALL USE A QUALIFIED SOIL TESTING LABORATORY.

THE RESULT OF THE SOIL TESTS SHALL BE SUBMITTED TO THE OWNER AND LANDSCAPE ARCHITECT FOR REVIEW PRIOR TO THE APPLICATION OF SAID MATERIALS. ADJUSTMENTS TO THE SOIL AMENDMENTS MAY BE MADE UPON CONSULTATION WITH THE OWNER AND THE LANDSCAPE ARCHITECT.

1.5: DELIVERY, STORAGE AND HANDLING:

PRUNING OF TREES SHALL BE DONE ON SITE AFTER PLANTING FOR DAMAGED LIMBS OR AS DIRECTED TO IMPROVE OVERALL PLANT APPEARANCE. DO NOT REMOVE MORE THAN 15% OF BRANCHES. PRUNING METHODS SHALL FOLLOW STANDARD HORTICULTURAL PRACTICES USING APPROPRIATE TOOLS. LOPPING, SHEARING OR TOPPING OF PLANT MATERIAL WILL BE GROUNDS FOR REJECTION. DAMAGED, SCARRED, FRAID, SPLIT OR SKINNED BRANCHES, LIMBS OR ROOTS TO BE PRUNED BACK TO LIVE WOOD. THE CENTRAL LEADER OR BUD SHALL BE LEFT INTACT UNLESS SEVERELY DAMAGED.

PRUNE SHRUBS TO REMOVE DAMAGED BRANCHES, IMPROVE NATURAL SHAPE, THIN OUT STRUCTURE AND REMOVE NOT MORE THAN 15% OF BRANCHES.

1.6: WARRANTY:

WARRANT ALL PLANT MATERIAL FOR A PERIOD OF ONE (1) YEAR FROM THE DATE OF FINAL ACCEPTANCE AGAINST DEATH AND UNHEALTHY CONDITION, EXCEPT AS MAY RESULT FROM NEGLIGENCE BY OWNER. DAMAGE BY OTHERS AND UNUSUAL PHENOMENA BEYOND CONTRACTOR'S CONTROL. REPLACEMENTS SHALL BE MADE WITH COMPATIBLE SIZE AND QUALITY OF MATERIAL AT A TIME REQUESTED OR ACCEPTABLE BY THE OWNER OR LANDSCAPE ARCHITECT. PLANT MATERIAL REJECTED DURING THE COURSE OF CONSTRUCTION SHALL BE REMOVED WITHIN FIVE (5) WORKING DAYS AND REPLACED BEFORE THE FINAL INSPECTION FOR COMPLETION WILL BE SCHEDULED. WARRANTY ON REPLACEMENT PLANTS SHALL BE 1 YEAR FROM THE DATE OF FINAL ACCEPTANCE OF THE REPLACEMENTS. ANY DAMAGE TO LANDSCAPE, SOD OR SEEDED AREAS DURING REPLACEMENT OF PLANT MATERIAL SHALL BE CORRECTED BY THE LANDSCAPE CONTRACTOR.

1.7: MAINTENANCE SERVICE:

MAINTENANCE AND GENERAL CLEAN UP SHALL BE PERFORMED DAILY. MAINTENANCE SHALL INCLUDE BUT NOT BE LIMITED TO WATERING, WEEDING, CULTIVATING, RESTORATION OF GRADE, REMOVAL OF LITTER, MOVING, PRUNING, RESETTling SETTLED PLANTS, REMOVING, REPAIRING OR REPLACING STAKES AND GUYS, PROTECTION FROM INSECTS AND DISEASES, FERTILIZATION AND SIMILAR OPERATIONS AS NEEDED TO ENSURE NORMAL GROWTH AND HEALTHY PLANT MATERIAL. MAINTENANCE SHALL BEGIN AFTER EACH PLANT IS PLANTED AND SHALL CONTINUE FOR NINETY (90) DAYS FROM THE DATE OF FINAL ACCEPTANCE.

1.8: QUANTITIES, LOCATION AND SUBSTITUTIONS:

THE QUANTITIES OF PLANT MATERIALS SHOWN ON PLANS SHALL TAKE PRECEDENCE OVER THE PLANT QUANTITIES ON THE PLANT LIST. THE LANDSCAPE ARCHITECT RESERVES THE RIGHT TO ADJUST THE NUMBER AND LOCATIONS OF THE DESIGNATED TYPES AND SPECIES OF PLANTS TO BE USED AT ANY OF THE LOCATIONS SHOWN. THE OWNER SHALL RECEIVE A CREDIT OR DEBIT FOR THE UNIT PRICE OF THE PLANT MATERIAL. NO SUBSTITUTION OF PLANT MATERIAL TYPES, SPECIFICATIONS OR SIZES WILL BE PERMITTED WITHOUT WRITTEN AUTHORIZATION FROM THE LANDSCAPE ARCHITECT. THE OWNER AND/OR LANDSCAPE ARCHITECT RESERVES THE RIGHT TO NOT ACCEPT PLANT MATERIAL THAT DOES NOT, IN THE OPINION OF THE OWNER AND/OR LANDSCAPE ARCHITECT, MEET THE SPECIFICATIONS HEREIN.

2.1: PLANT MATERIAL:

PROVIDE SIZES AND SPECIFICATIONS OF PLANTS AS SHOWN ON PLANS OR LISTED ON PLANT LIST. ALL TREES, PALMS, SHRUBS, GROUND COVERS AND OTHER PLANTS SHALL CONFORM TO THE STANDARD OF FLORIDA NO. 1 OR BETTER AS GIVEN IN THE LATEST EDITION OF GRADES AND STANDARDS FOR NURSERY PLANTS BY FLORIDA DEPARTMENT OF AGRICULTURE, PART I AND II. PLANT MATERIAL SHALL ALSO CONFORM TO THE AMERICAN ASSOCIATION OF NURSERYMEN, INC. (ANSI) BULLETIN Z 60.1 - 1990 AND AS REVISED.

SPECIMEN PLANTS SHALL BE FLORIDA FANCY OR BETTER AND SHALL CONFORM TO THE LITERATURE STANDARDS LISTED ABOVE.

2.4: TOP SOIL:

TOPSOIL SHALL BE FRIABLE FERTILE SOIL WITH REPRESENTATIVE CHARACTERISTICS OF AREA SOILS. IT SHOULD BE FREE OF HEAVY CLAY, SILT, STONE, EXCESS LIME, SHELL ROCK, PLANT ROOTS, WEEDS, DEBRIS OR OTHER FOREIGN MATTER. IT SHALL NOT CONTAIN NOXIOUS PLANT GROWTH (SUCH AS BERMUDA, TORPEDO OR NUT GRASS). IT SHALL TEST BETWEEN THE PH RANGE OF 5.0 TO 7.0 UNLESS OTHERWISE SPECIFIED AND CONTAIN NO TOXIC RESIDUE OR SUBSTANCES THAT WOULD ENDANGER PLANT GROWTH. IF TOPSOIL IS NOT AVAILABLE ON SITE, IT SHALL BE IMPORTED FROM LOCAL SOURCES WITH SIMILAR SOIL CHARACTERISTICS TO THAT FOUND AT PROJECT SITE. OBTAIN TOPSOIL ONLY FROM NATURALLY, WELL-DRAINED SITES WHERE TOPSOIL OCCURS IN A DEPTH NOT LESS THAN 4".

2.5: INORGANIC SOIL AMENDMENTS:

SAND SHALL BE CLEAN, SALT-FREE AND CONTAINING NO EXTRANEEOUS MATTER. MYCORRHIZAL AMENDMENT SHALL BE DIEHARD™ TRANSLANT AS MANUFACTURED BY HORTICULTURAL ALLIANCE OR EQUAL TO WITH THE FOLLOWING INGREDIENTS:

- ENDOMYCORRHIZAL FUNGI
- ECTOMYCORRHIZAL FUNGI
- BENEFICIAL BACTERIA
- HUMIC ACID
- SOLUBLE SEA KELP
- AMINO ACIDS
- HORTA-SORB WATER MANAGEMENT GEL
- TRICHODERMA
- YUCCA PLANT EXTRACTS
- VITAMIN B COMPLEX

2.6: ORGANIC SOIL AMENDMENTS:

PEAT HUMUS SHALL BE DECOMPOSED PEAT WITH NO IDENTIFIABLE FIBERS OR IF AVAILABLE, MUCK MAY BE SUBSTITUTED AND SHALL BE FREE FROM STONES, EXCESSIVE PLANT ROOTS, DEBRIS OR OTHER FOREIGN MATTER. MUCK SHALL NOT BE OVERLY SATURATED WITH WATER.

2.7: FERTILIZATION:

PROVIDE FERTILIZER UNIFORM IN COMPOSITION, DRY, AND IN A FREE FLOWING CONDITION FOR APPLICATION BY SUITABLE EQUIPMENT, AND DELIVER IN UNOPENED BAGS OR CONTAINERS, EACH FULLY LABELED.

FERTILIZE TREES, SHRUBS AND GROUND COVERS WITH "MILORGANITE" OR AN APPROVED COMPLETE FERTILIZER. APPLY "MILORGANITE" IN A CIRCLE AROUND THE PLANT BEFORE MULCHING. DO NOT TOUCH THE PLANT WITH THE FERTILIZER. WATER IN FERTILIZER AFTER MULCHING. APPLY "MILORGANITE" FERTILIZER AT THE FOLLOWING RATE:

- 5.00 LBS. OR 14.5 CUPS / PALMS
- 3.00 LBS. OR 8.70 CUPS / 12"-16" MATERIAL
- 2.00 LBS. OR 5.80 CUPS / 8"-12" MATERIAL
- 0.69 LBS OR 2.00 CUPS / 6"-8" MATERIAL
- 0.19 LBS OR 1/2 CUP / 3 GAL. MATERIAL
- 0.10 LBS OR 1/4 CUP / 1 GAL MATERIAL

2.8: MULCHES:

MULCH TO BE APPLIED TO ALL PLANTING BEDS, 3" THICK MIN. PINE STRAW MULCH SHALL BE APPLIED ONLY TO THOSE AREAS AS INDICATED ON THE PLAN. APPLY 6" FLUFFED, 2-3" THICK AFTER COMPACTION.

2.10: PLANTING SOIL MIX:

BACKFILL MIXTURE: 1/2 PARENT SOIL, 1/2 MIXTURE (1/3 SAND, 1/3 TOPSOIL, 1/3 PEAT HUMUS).

3.1: PLANTING BED ESTABLISHMENT:

PREPARATION: PRIOR TO THE INSTALLATION OF PLANTS, THE SITE SHALL BE FREE OF WEEDS, GRASS, SOD, DEBRIS, ROCKS OR OTHER MATERIAL MAKING THE SITE UNPLANTABLE. FOR FINAL ACCEPTANCE ALL PLANTED AREAS SHALL BE WEED FREE.

FINISH GRADING: THE LANDSCAPE CONTRACTOR SHALL COORDINATE THE INSTALLATION AND GRADING OF TOPSOIL, IF NECESSARY, WITH THE GENERAL CONTRACTOR, TO INSURE THE SITE IS AT FINISH GRADE PRIOR TO INSTALLING PLANTS.

3.2: PLANTING TREES:

LAYOUT PLANTS ACCORDING TO LANDSCAPE PLANS. IF A CONFLICT ARISES AS TO THE LOCATION, SPACING OR OTHER CONFLICT, CONTACT THE LANDSCAPE ARCHITECT IMMEDIATELY.

EXCAVATE PIT TO TWO AND ONE-HALF (2 1/2) TIMES THE DIAMETER OF TREE BALL AND NOT LESS THAN 6" DEEPER. COMPACT A LAYER OF BACKFILL MIXTURE IN PIT TO LOCATE COLLAR OF PLANT PROPERLY IN A SLIGHTLY DISHED FINISH GRADE. BACKFILL AROUND BALL WITH BACKFILL MIXTURE, COMPACTED TO ELIMINATE VOIDS AND AIR POCKETS, WATERING THOROUGHLY AS LAYERS ARE PLACED. BUILD 3" HIGH BERM OF SOIL BEYOND EDGE OF EXCAVATION. APPLY FERTILIZER AS SPECIFIED AND THEN MULCH WITH THE TYPE AND THICKNESS SPECIFIED ON PLANT LIST.

GUY AND STAKE TREES, LESS THAN 3.5" IN CALIPER, IN FOUR DIRECTIONS WITH "ARBORBRACE" NYLON TREE GUYING KIT WITH HARDENED NYLON ANCHOR AND 3/4" 800 LB. POLYPROP UV WEBBING. MODEL (ATG-R) OR APPROVED EQUAL. STAKE TREES IMMEDIATELY AFTER PLANTING. FOR MULTI-TRUNK PLANT MATERIAL, ATTACH GUYS TO FOUR (4) LARGEST LIMBS, CARE MUST BE TAKEN NOT TO MAKE GUYS TOO TIGHT. FOR TREES 3.5" IN CALIPER AND OVER, TREES MUST BE STAKED WITH WOOD 2X4 METHOD. FOLLOW PALM STAKING DETAIL FOR REQUIREMENTS. THE LANDSCAPE ARCHITECT RESERVES THE RIGHT TO ELIMINATE GUYING OR STAKING. THE OWNER SHALL RECEIVE A CREDIT OR DEBIT FOR THE UNIT PRICE OF THE GUYING OR STAKING. THE LANDSCAPE CONTRACTOR SHALL REMOVE BRACING IN ONE YEAR.

3.2: PLANTING SHRUBS:

EXCAVATE PITS OR TRENCH TWO (2) TIMES DIAMETER OF BALLS OR CONTAINERS, AND 3" DEEPER THAN REQUIRED FOR POSITIONING AT PROPER HEIGHT. COMPACT A LAYER OF BACKFILL MIXTURE IN BOTTOM BEFORE PLACING PLANTS. CONTAINER GROWN MATERIALS SHALL BE PLANTED WITH 48 HOURS AFTER DELIVERY TO SITE. PLACE PLANT IN PIT AND BACKFILL AROUND PLANTS WITH BACKFILL MIXTURE, COMPACTED TO ELIMINATE VOIDS AND AIR POCKETS. WATER THOROUGHLY AS LAYERS ARE PLACED. FORM A 3" HIGH BERM OF SOIL BEYOND THE EDGES OF EXCAVATION. APPLY FERTILIZER AS SPECIFIED AND THEN MULCH WITH THE TYPE AND THICKNESS SPECIFIED ON PLANT LIST.

3.4: PLANTING GROUNDCOVERS:

LOOSEN SUBGRADE TO DEPTH OF 4" IN AREAS WHERE TOPSOIL HAS BEEN STRIPPED, AND SPREAD BACKFILL MIXTURE.

SPACE PLANTS AS OTHERWISE INDICATED. DIG HOLES LARGE ENOUGH TO ALLOW FOR SPREADING OF ROOTS. COMPACT BACKFILL TO ELIMINATE VOIDS, AND LEAVE GRADE SLIGHTLY DISHED AT EACH PLANT. WATER THOROUGHLY. APPLY FERTILIZER AS SPECIFIED AND THEN MULCH WITH THE TYPE AND THICKNESS SPECIFIED ON PLANT LIST, LIFTING PLANT FOLIAGE ABOVE MULCH. MULCH SHALL BE SPREAD BEFORE PLANTING PLANTS IN POTS LESS THAN 1 GALLON SIZE (4", LINERS, ETC.).

Specifications - Lawns and Grasses

2.1: PRODUCTS:

SOD SHALL MEET AMERICAN SOD PRODUCES ASSOCIATION STANDARDS FOR NURSERY GROWN SOD FOR THICKNESS OF CUT, PAD SIZE, STRENGTH OF SECTIONS, MOISTURE CONTENT AND THATCH. SOD SHALL BE GUARANTEED TO BE UNIFORM IN COLOR, LEAF TEXTURE, AND SHOOT DENSITY AND FREE OF WEEDS, DISEASE, FUNGUS, INSECTS OR OTHER IMPERFECTIONS AND SUFFICIENTLY KNITTED TO SUSTAIN GROWTH. SOD SHALL BE MOWED FOR FINAL ACCEPTANCE.

2.3: FERTILIZER:

FERTILIZE TURF AREAS WITH TYPE 1 FERTILIZER, COMPLYING WITH THE STATE FERTILIZER LAWS. THE FERTILIZER SHALL BE CHEMICALLY DESIGNATED WITH 12-8-8. PROVIDE AT LEAST 50% OF THE PHOSPHORIC ACID FROM NORMAL SUPER PHOSPHATE OR AN EQUIVALENT SOURCE PROVIDING A MINIMUM OF TWO UNITS OF SULFUR. THE AMOUNTS OF SULFUR AND ALL OTHER CHEMICAL SHALL BE INDICATED ON THE QUANTITATIVE ANALYSIS CARD ATTACHED TO THE UNOPENED BAG.

3.1: LAWN PREPARATION:

LOOSEN SUBGRADE TO DEPTH OF 4" AND GRADE WITH TOPSOIL PROVIDED ON SITE OR IMPORTED TO FINISH DESIGN ELEVATIONS. ROLL PREPARED LAWN SURFACE. WATER THOROUGHLY, BUT DO NOT CREATE MUDDY SOIL CONDITION.

FERTILIZE SOIL AT THE RATE OF APPROXIMATELY 10 LBS. PER 1000 S.F. SPREAD FERTILIZER OVER THE AREA TO RECEIVE GRASS BY USING AN APPROVED DISTRIBUTION DEVICE CALIBRATED TO DISTRIBUTE THE APPROPRIATE QUANTITY. DO NOT FERTILIZE WHEN WIND VELOCITY EXCEEDS 15 M.P.H. THOROUGHLY MIX FERTILIZER INTO THE TOP 2" OF TOPSOIL.

3.2: SODDING:

SOD TYPE SPECIFIED ON PLANT LIST SHALL BE MACHINE STRIPPED NOT MORE THAN 24 HOURS PRIOR TO LAYING.

LAY SOD STRIPS WITH TIGHT JOINTS. DO NOT OVERLAP. STAGGER STRIPS TO OFFSET JOINTS IN ADJACENT COURSES. WORK SIFTED SOIL MIX INTO MINOR CRACKS BETWEEN PIECES OF SOD AND REMOVE EXCESS SOIL DEPOSITS FROM SODDED AREAS. SOD ON SLOPES GREATER THAN 3:1 SHALL BE STAKED IN PLACE. ROLL OR TAMP LIGHTLY AND WATER THOROUGHLY WITH A FINE SPRAY IMMEDIATELY AFTER PLANTING.

Landscape Certification

LANDSCAPE CERTIFICATION: THE LANDSCAPE ARCHITECT SHALL PROVIDE FINAL CERTIFICATION TO THE OWNER AND MUNICIPALITY THAT PLANTS ARE INSTALLED PER THE DESIGN PLAN, DETAILS AND SPECIFICATIONS. ANY CHANGES TO THE PLAN WILL NEED TO HAVE THE LANDSCAPE ARCHITECT APPROVAL PRIOR TO INSTALLATION. CONFORMITY TO FLORIDA GRADE #1 IN THE ROOT BALL REQUIRES THE LANDSCAPE ARCHITECT TO INSPECT TREES PRIOR TO INSTALLATION AT THE SITE. IT IS THE RESPONSIBILITY OF THE OWNER/GENERAL CONTRACTOR/LANDSCAPE CONTRACTOR FOR ORGANIZING INSPECTIONS OF PLANT MATERIAL PRIOR TO INSTALLATION.

General Notes:

SOD TO BE ST. AUGUSTINE OR ARGENTINE BAHIA UNLESS OTHERWISE NOTED ON PLANS

ALL PLANTING AREAS SHALL RECEIVE 100% COVERAGE FROM A FULLY AUTOMATIC IRRIGATION SYSTEM EQUIPPED WITH A RAIN SENSOR.

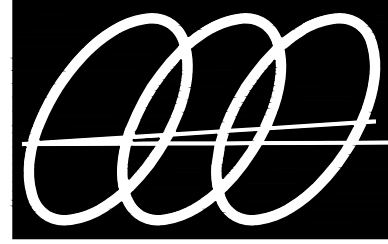
ALL CONSTRUCTION DEBRIS & HARDPAN TO BE REMOVED FROM PLANTING BEDS TO A DEPTH OF 30"

UTILITES:

ABOVE AND BELOW GROUND UTILITIES SHALL BE VERIFIED AND LOCATED BY THE LANDSCAPE CONTRACTOR PRIOR TO COMMENCING WORK IN THE PROJECT AREA. IF UTILITY PLANS ARE AVAILABLE, THE CONTRACTOR SHALL EXAMINE THEM AND BRING ANY AND ALL CONFLICTS TO THE ATTENTION OF THE OWNER AND/OR LANDSCAPE ARCHITECT. WHEN WORKING IN AN AREA WHERE KNOWN UTILITIES EXIST, UTILITY LOCATIONS MAY NEED TO BE STAKED BY A SURVEYOR OR THE UTILITY COMPANIES. THE CONTRACTOR HAS THE OPTION TO CONTACT 811 TO SCHEDULE LOCATION OF THE UTILITIES WHICH SUBSCRIBE TO THEIR SERVICE.

Amendment Stamps

Zoning Stamps



Gentile Glas
Holloway
O'Mahoney
& Associates, Inc.
Landscape Architects
Planners
Environmental Consultants

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Jupiter, Florida 33458
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Landscape Specifications & Details
Dyer Industrial West
Riviera Beach, Florida

Designed: GGG, DSS
Drawn: DSS
Approved: GGG, MTH, EGM
Date: 4-9-19
Job no.: 18-0819
Revisions: 4-16-19
10-16-19
2-14-20
Cad no.: CAD0
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Sheet Title:
Landscape
Specifications
& Details

Scale: As Shown

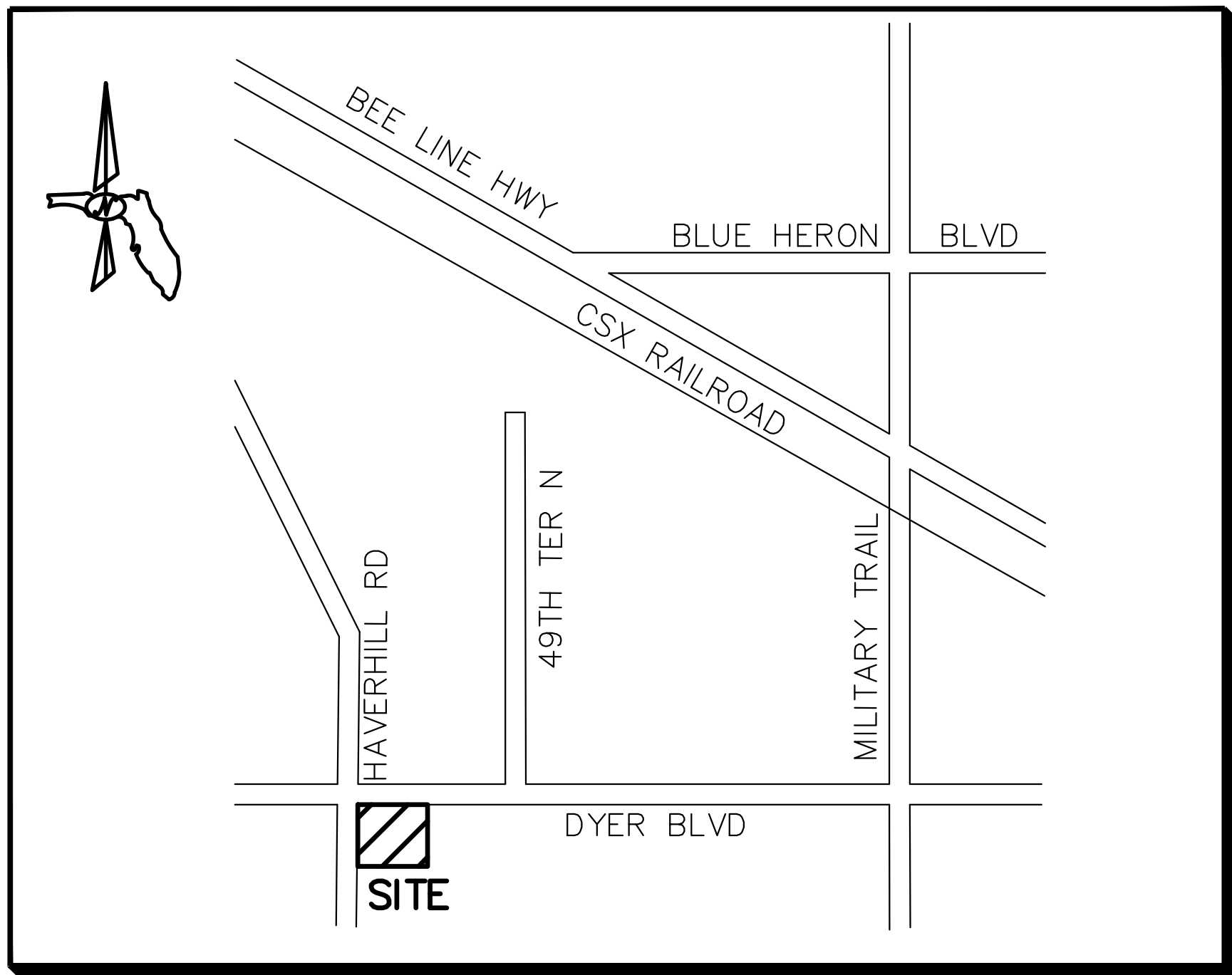
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18-0819

DYER INDUSTRIAL WEST

CITY OF RIVIERA BEACH, PALM BEACH COUNTY, FL.



LOCATION MAP

INDEX OF DRAWINGS

1	COVER SHEET
2	GENERAL NOTES
3	BUILDING FLOOR PLAN BUILDING 1
4	ELEVATIONS BUILDING 1
5	BUILDING FLOOR PLAN & ELEVATIONS BUILDING 2

BUILDING PLANS

PREPARED BY

MESSLER & ASSOCIATES
CONSULTING ENGINEERS



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Certificate of Authorization No. 00003616

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Certificate of Authorization No. 00003616

ENGINEERING CERTIFICATION:

I hereby certify that the attached plans and design are
in substantial compliance with the Design Standards and
Criteria in effect on this date for Riviera Beach, Florida
Engineering Department.

DATE: _____
TIMOTHY J. MESSLER
PROFESSIONAL ENGINEER
REGISTRATION No. 16422

3. ALL MATERIALS AND CONSTRUCTION SHALL COMPLY WITH THE LATEST EDITION
2011 FLORIDA BUILDING CODE 5th EDITION, THE ACI AND AISI SPECIFICATIONS AND RECOMMENDED
PRACTICE.
2. NO DIMENSIONS SHALL BE SCALED FROM DRAWINGS.
3. GENERAL CONTRACTOR SHALL CHECK, REVIEW AND VERIFY ALL PLANS, DIMENSIONS
AND SITE CONDITIONS PRIOR TO CONSTRUCTION. THE ENGINEER OF RECORD SHALL BE
NOTIFIED IN WRITING OF ANY DISCREPANCIES OR OMISSIONS NOTED ON THE DRAWINGS
OR IN THE SPECIFICATIONS, OR ANY VARIATIONS NEEDED IN ORDER TO CONFORM TO
THE CODES, RULES AND REGULATIONS.
4. STRUCTURAL DRAWINGS SHALL BE WORKED TOGETHER WITH ARCHITECTURAL, AIR
CONDITIONING, MECHANICAL AND ELECTRICAL DRAWINGS TO LOCATE DERESSED SLABS,
SLOPES, DRAINS, OUTLETS RECESS, OPENINGS REGLETS, SLEEVES, ETC.
5. GENERAL CONTRACTOR SHALL RESTRICT AND PROPERLY ISOLATE ALL CONSTRUCTION
EQUIPMENT AND LOADS FROM INDUCING OR TRANSMITTING VIBRATIONS TO THE STRUCTURE
DURING CONSTRUCTION.
6. TEMPORARY BRACING SHALL BE PROVIDED AS REQUIRED TO HOLD ALL COMPONENTS
OF THE STRUCTURE IN PLACE UNTIL FINAL SUPPORT IS SECURELY ANCHORED.
7. THE CONTRACTOR SHALL ADEQUATELY PROTECT HIS WORK, ADJACENT PROPERTY AND
THE PUBLIC, AND BE RESPONSIBLE FOR DAMAGE OR INJURY DUE TO HIS ACT OR NEGLIGENCE.
8. DESIGN LOADS:
 1. ROOF LIVE LOAD = (SEE PLANS Y MBMI METAL BUILDINGS)
 2. ENCLOSED
 - INTERNAL PRESSURE (MIN) -(SEE PLANS Y MBMI METAL BUILDINGS)
3. WIND VELOCITY Vult = 110 MPH, Vead = 132, EXPOSURE C
AS PER ANSI/AISC 7-10 AND 2011 FBC
4. WINDOW & SLIDING GLASS DOOR = SEE PLANS BY MBMI METAL BUILDINGS
ROOF, ZONE I (SEE PLANS BY MBMI METAL BUILDINGS)
5. RISK CATEGORY II
6. FLOOD DATA - N/A
1 SBV = 2,000 PSF
9. STRUCTURAL STEEL SHALL BE ASTM A-36, UNLESS NOTED OTHERWISE.
10. ALL CONNECTIONS EXPOSED TO WEATHER, OF STEEL TO STEEL AND STEEL
TO MASONRY, MUST BE STAINLESS STEEL BOLTS.
11. ALL FRAMING AND JOIST MATERIAL SHALL BE STRUCTURAL GRADE
WITH MINIMUM Fc = 1500 psi
12. ALL WOOD IN CONTACT W/CONCRETE SHALL BE PRESSURE TREATMENT

1. MASONRY UNITS SHALL BE ASTM C GRADE N BELOW GRADE ASTM C90-90 GRADE N ABOVE GRADE WITH MINIMUM F_m OF 1500 PSI ON NET AREA OF INDIVIDUAL UNITS. ALL CMU SHALL BE LAID IN A FULL BED OF MORTAR IN RUNNING BOND (1:0:1).
2. ALL MORTAR SHALL BE TYPE S (OR TYPE M) WITH A MINIMUM COMPRESSIVE STRENGTH OF 1800 PSI AT 28 DAYS. (2500 WITH TYPE M).
3. GROUT SHALL BE A HIGH SLUMP MIX HAVING A MINIMUM COMPRESSIVE STRENGTH OF 3,000 PSI & COMPLY WITH ASTM C-476.
4. ALL CONCRETE MASONRY BEARING, WALLS AND EXTERIOR INFILL WALLS SHALL BE INSPECTED BY A QUALIFIED ENGINEER AND CONSTRUCTED IN ACCORDANCE WITH THE "BUILDING CODE REQUIREMENT FOR MASONRY STRUCTURES" (ACI 530/ASCE 5/TMS 402) AND "SPECIFICATIONS FOR MASONRY STRUCTURES" (ACI 530/ASCE 6/TMS 602) 1995 EDITIONS.
5. PROVIDE HOT DIPPED GALVANIZED TRUSS TYPE HORIZONTAL JOINT REINFORCEMENT (MIN. 9 GA) AT 16" ON CENTER VERTICAL IN ALL MASONRY WALLS. PROVIDE DOVE TAIL SLOT ANCHORS AT CONCRETE COLUMNS.
6. CONTRACTOR TO PROVIDE ADDITIONAL BRACING FOR CBS WALL ON GRID LINE B UNTIL CONNECTED TO FINAL BUILDING FRAME.

CONCRETE STRENGTH AT 28 DAYS SHALL BE AS FOLLOWS:

FOUNDATIONS =	4000 PSI
SLAB ON GRADE =	3000 PSI
COLUMNS =	5000 PSI
SHEAR WALLS =	5000 PSI
STRUCTURAL SLABS =	5000 PSI

A. SLUMPS SHALL BE 4" MINIMUM AND 6" MAXIMUM.

B. CONCRETE SHALL HAVE 3 PERCENT AIR ENTRAINMENT.

C. JOB SITE WATER SHALL NOT BE ADDED.

NOTE: 2. FOR CORROSION PROTECTION, USE CONCRETE WITH MAXIMUM WATER CEMENT/RATIO MATERIAL RATIO, BY WEIGHT OF 0.4 FOR BALCONIES AND WALKWAY AREAS

2. CONCRETE: ALL REINFORCED CONCRETE WORK SHALL BE DONE IN ACCORDANCE WITH ACI 318-91, "BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE", AND ACI 301-83, REVISED 1915, "SPECIFICATIONS FOR STRUCTURAL CONCRETE FOR BUILDINGS". ALL STRENGTHS NOTED BELOW ARE 28-DAY STRENGTHS: SEE MASONRY NOTES FOR GROUT USED IN MASONRY CONSTRUCTION. EXTERIOR CONCRETE SHALL HAVE 3% MINIMUM ENTRAINED AIR.

3. SUBMIT ALL REINF. STEEL SHOP DRAWINGS FOR ENG. OF RECORD APPROVAL PRIOR TO ANY FABRICATION.

4. WELDED WIRE FABRIC: SHALL COMPLY WITH ASTM A 185, UNLESS OTHERWISE SPECIFIED. PLACE FABRIC 2" CLEAR FROM TOP OF THE SLAB IN SLAB ON GRADE AND SUPPORT ON SLAB BOLSTERS SPACED AT 3'-0" O.C.

5. ALL REINFORCING STEEL SHALL BE MANUFACTURED FROM HIGH STRENGTH BILLET STEEL CONFORMING TO ASTM DESIGNATION A 615 GRADE 60.

6. CONTACT LAP SPICES FOR VERTICAL REINFORCING, UNLESS NOTED OTHERWISE:

COMPRESSION SPICES:	30" DIAMETERS
TENSION SPICES:	40" DIA. FOR #3, #4, & #5
	33" FOR #6
	45" FOR #7
	50" FOR #8
	60" FOR #9

LAP ALL WUF A MINIMUM OF 12 INCHES (UNLESS OTHERWISE NOTED).

7. REINFORCING BARS:

A. AT CORNERS OF CONCRETE WALLS, BEAMS AND CONTINUOUS WALL FOOTINGS, FRIG HORIZONTAL BARS X 5'-0" BENT BAR FOR EACH HORIZONTAL BAR SCHEDULED AT EACH FACE.

B. WHERE COLUMNS ARE AN INTEGRAL PART OF CONCRETE WALLS, WALL REINFORCEMENT SHALL BE CONTINUOUS THRU THE COLUMNS.

C. ALL HOOKS SHOWN IN REINFORCEMENT SHALL BE ACI RECOMMENDED HOOKS UNLESS OTHERWISE NOTED.

D. CONTRACTOR SHALL INCLUDE IN HIS BASE BID THE COST OF 4000 LBS. OF ADDITIONAL REINFORCING STEEL, INCLUDING FABRICATION, BENDING, FURNISHING AND PLACING. THIS EXTRA STOCK SHALL BE FURNISHED AND USED FOR SPECIAL CONDITIONS AS DIRECTED BY THE ENGINEER, THE ENGINEER'S AGENT OR BY THE OWNER'S CONSTRUCTION SUPERVISOR. THE PRICE OF THE UNUSED EXTRA STOCK SHALL BE CREDITED TO THE OWNER'S ACCOUNT.

8. CONSTRUCTION JOINTS IN STRUCTURAL SLABS AND BEAMS SHALL BE AT 1/3 SPAN AND KEY JOINTED WITH REINFORCING CONTINUOUS ACROSS JOINT, AND ADDITIONAL SHEAR FRICTION REINFORCING.

ALL SITE PREPARATION AND EXCAVATION WORK IS TO BE PERFORMED IN STRICT ACCORDANCE WITH THE REPORT ON SOILS AND FOUNDATION INVESTIGATION PREPARED BY PROFESSIONAL ENGINEERING and INSPECTION COMPANY, INC.

2. EXCAVATION & BACKFILL:

- A. ALL EXCAVATION SHALL BE KEPT DRY. EXCAVATE TO DEPTHS AND DIMENSIONS INDICATED. TAKE EVERY PRECAUTION TO GUARD AGAINST ANY MOVEMENT OR SETTLEMENT OF ADJACENT STRUCTURES, UTILITIES, PIPING, ETC.
- B. PROVIDE ANY BRACING OR SHORING NECESSARY TO AVOID SETTLEMENT OR DISPLACEMENT OF EXISTING FOUNDATION OR STRUCTURES.
- C. BACKFILL IN HORIZONTAL LAYERS, MAXIMUM OF 12" THICK LAYERS AND COMPACT TO A MINIMUM OF 98% MAXIMUM PROCTOR DENSITY. PLACE BACKFILL SYMMETRICALLY, TAKING CARE TO PREVENT ANY ECCENTRIC LOADING OR WEDGING ACTION AGAINST WALLS OR BUILDINGS.
- D. BACKFILL TESTING: ONE (1) TEST PER EACH 12" LAYER OF COMPACTED SOIL FOR EACH 2,000 SF. OF AREA OF FRACTION THEREOF. MINIMUM OF TWO (2) TESTS FOR ANY AREA.

3. CENTERLINE OF FOOTINGS: SHALL COINCIDE WITH CENTERLINE OF COLUMNS UNLESS OTHERWISE NOTED ON DRAWINGS.

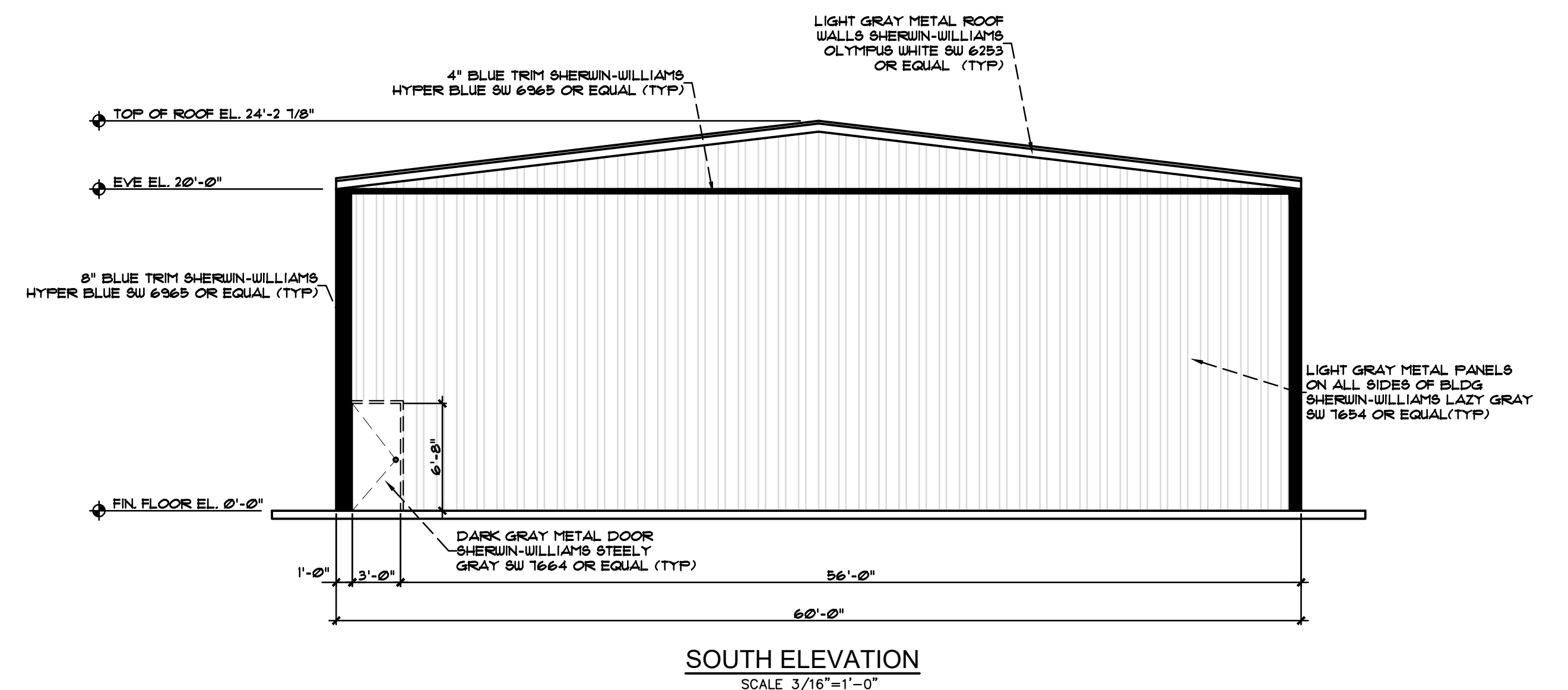
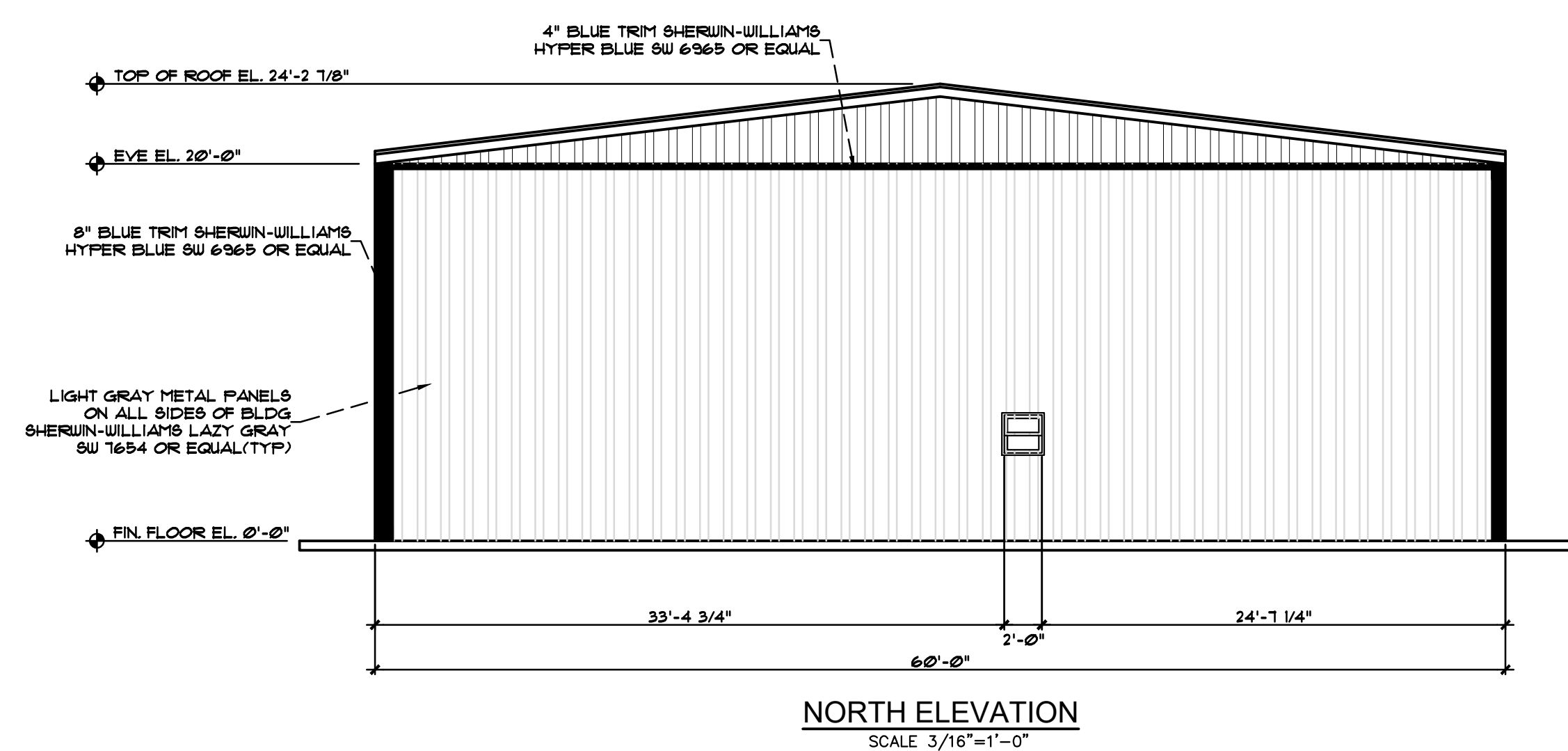
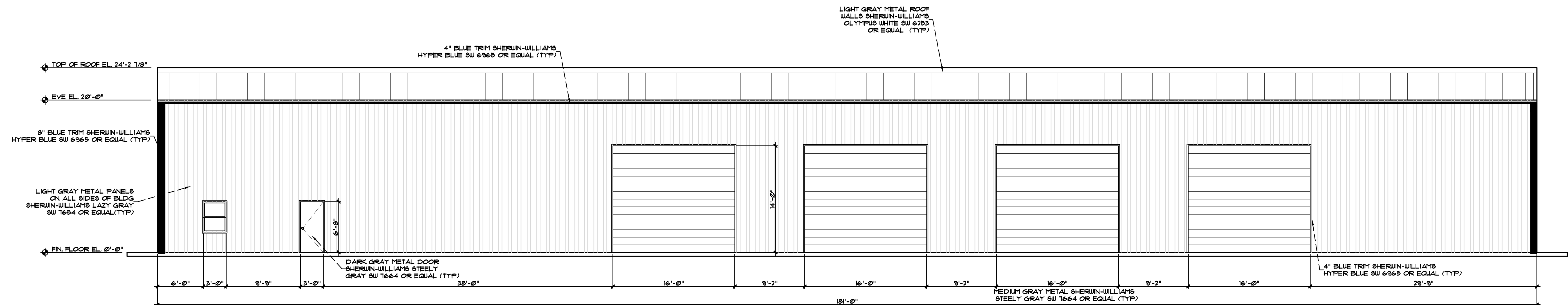
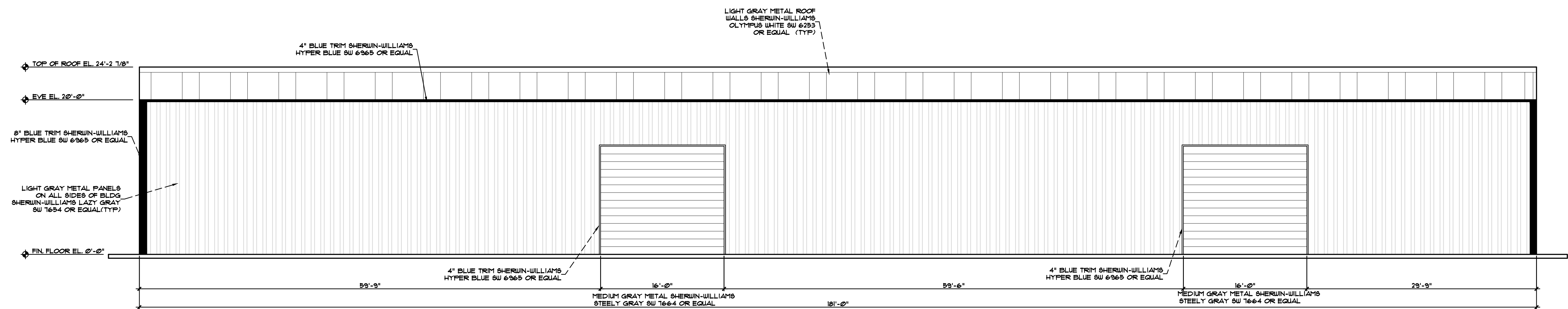
4. DIMENSIONS; ALL DIMENSIONS AND ELEVATIONS SHOWN ON THE STRUCTURAL DRAWINGS MUST BE VERIFIED AND COORDINATED WITH THE ARCHITECTURAL DRAWINGS BY THE CONTRACTOR BEFORE PROCEEDING WITH THE CONSTRUCTION. DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT OR ENGINEER IN WRITING BEFORE PROCEEDING WITH ANY WORK.

5. MINIMUM REQUIRED $\phi_{BV} = 2500 \text{ P.S.F.}$

1. METAL BUILDING MANUFACTURER, MBM1, HAS PROVIDED REACTIONS AT COLUMN BASE TO ENGINEER.
2. METAL BUILDING MANUFACTURER SHALL PROVIDE SHOP DRAWINGS OF METAL BUILDING AND ALL STRUCTURAL COMPONENTS PROVIDED BY THEM.
3. THE LAYOUT OF THE METAL BUILDING FRAMES IS BASED ON MBM1 METAL BUILDINGS. IF ANOTHER BUILDING MANUFACTURER PROPOSED SUBMIT SHOP DRAWINGS TO ENGINEER FOR APPROVAL.

1. BUILDING CLASSIFICATION: FACTORY INDUSTRIAL GROUP F-2
TO ENGINEER
2. THE METAL BUILDING SHALL BE MARKED WITH THE LETTER "R" FOR
LIGHT-FRAME TRUSS ROOF BUILDINGS

DESIGN	TJM	5				NOT VALID FOR CONSTRUCTION UNLESS SIGNED IN THIS BLOCK	<div>Messler & Associates</div> <div>CONSULTING ENGINEERS</div> <div>5746 VIA RIO, JUPITER, FLORIDA 33458</div> <div>Phone (561) 748-6015 Fax (561) 748-6889</div> <div>Certificate of Authorization No. 00003616</div>	DYER INDUSTRIAL WEST	RIVIERA BEACH, FLORIDA	GENERAL NOTES	SEAL	PROJ. NO. 19-012
DRAWN	JAO	4									SCALE AS SHOWN	
CHECKED	TJM	2									DATE MARCH 2019	
		1										
O.C.		NO.	DATE	REVISION	APPD BY							
											<div>TIMOTHY J. MESSLER, P.E.</div> <div>FL. REG. No. 16422</div>	SHT. 2 OF 5



DESIGN <u>TJM</u> DRAWN <u>JAO</u> CHECKED <u>TJM</u> Q.C. _____	5			
	4			
	3			
	2			
	1			
	NO.	DATE	REVISION	APPRO BY

NOT VALID FOR CONSTRUCTION
UNLESS SIGNED IN THIS BLOCK

Messler & Associates
CONSULTING ENGINEERS
5746 VIA RIO, JUPITER, FLORIDA 33458
Phone (561) 748-6015 Fax (561) 748-6889
Certificate of Authorization No. 00003616

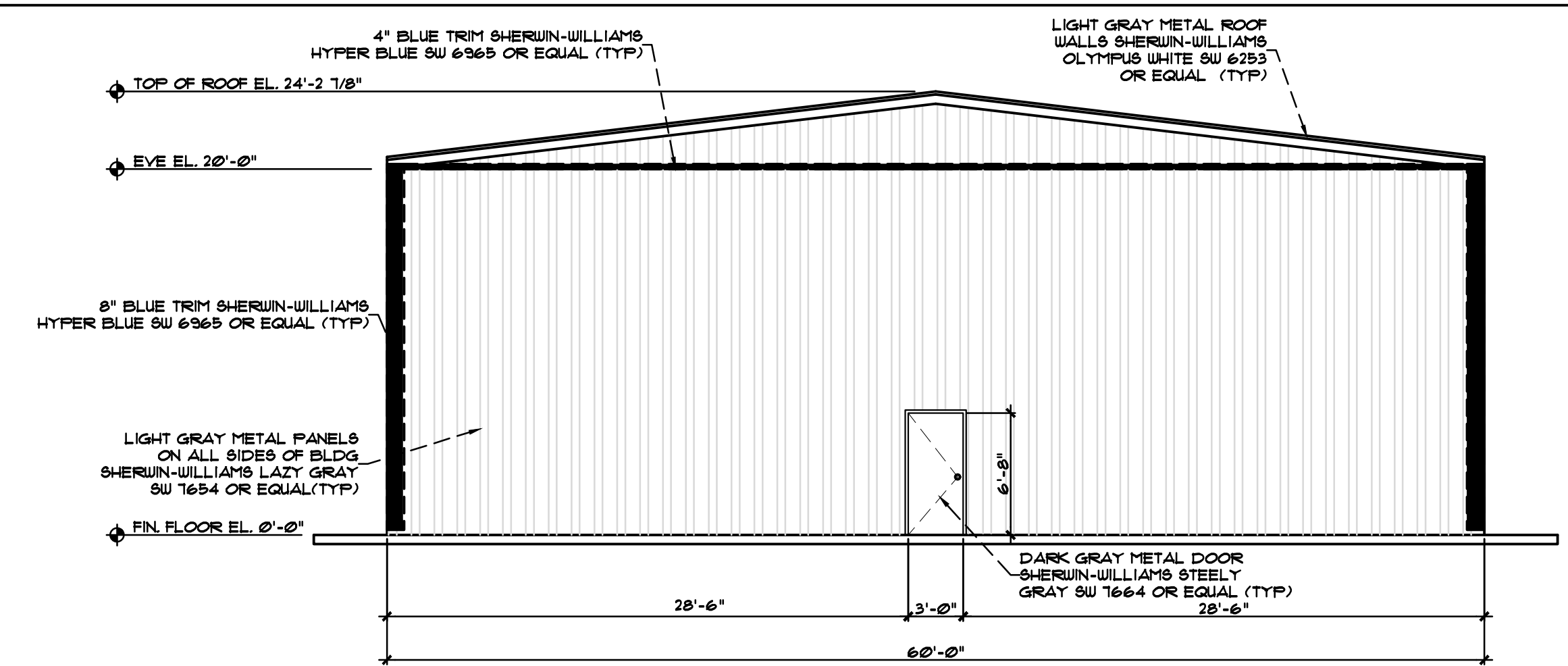
DYER INDUSTRIAL WEST
RIVIERA BEACH, FLORIDA

ELEVATIONS BUILDING 1

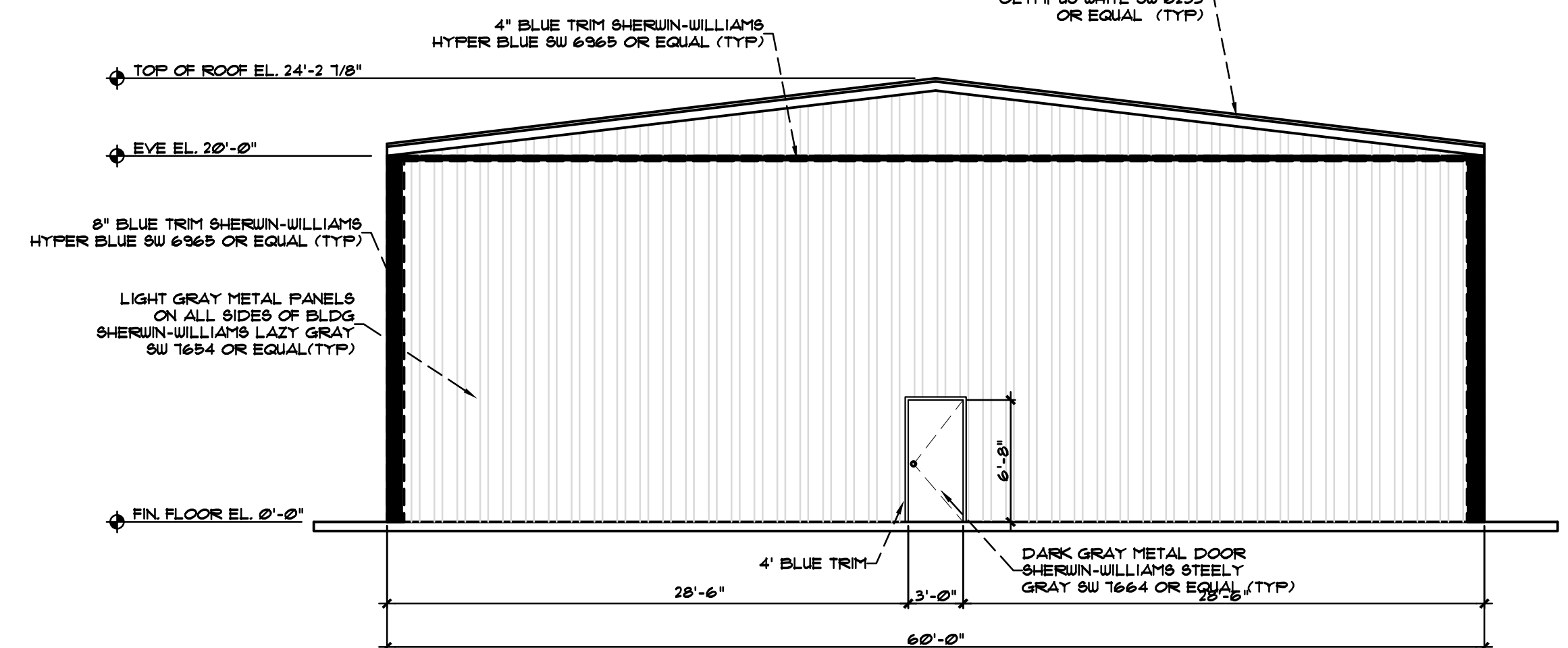
SEAL

TIMOTHY J. MESSLER, P.E.
FL REG No. 16422

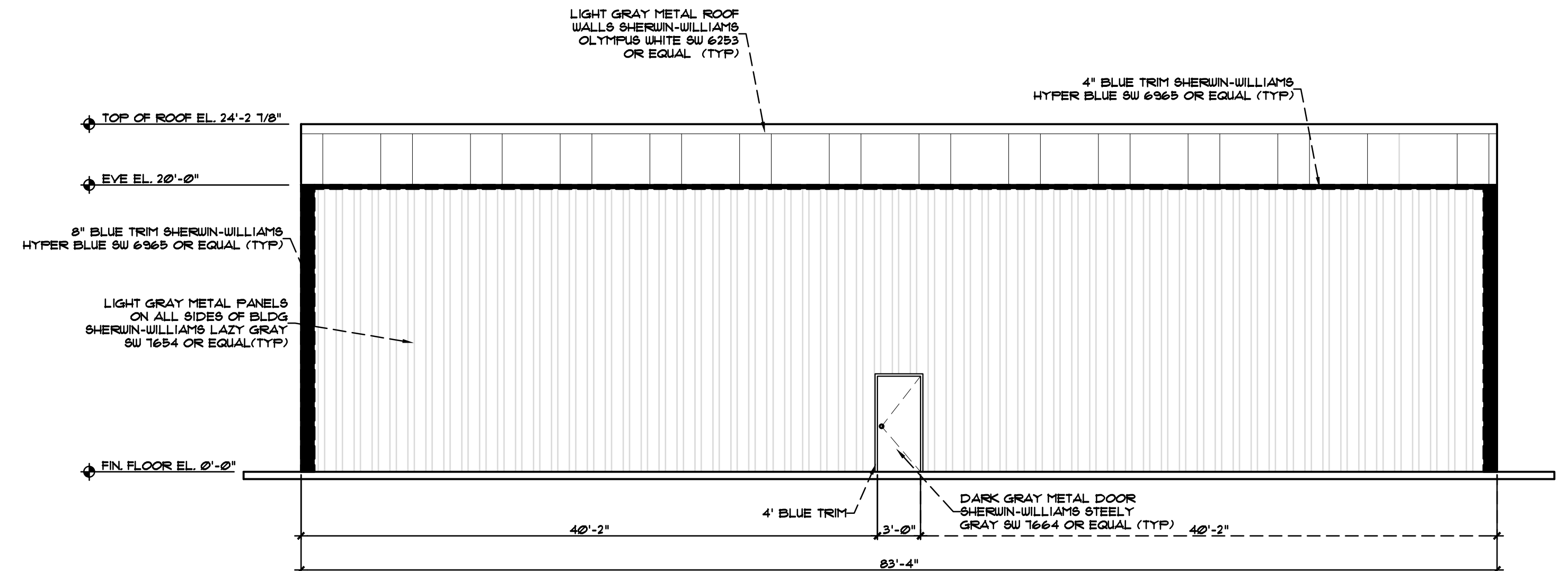
ROJ NO. 19-012
SCALE AS SHOWN
DATE MARCH 2019
SHEET 4 OF 5



EAST ELEVATION
SCALE 3/16"=1'-0"



WEST ELEVATION
SCALE 3/16"=1'-0"



NORTH ELEVATION
SCALE 3/16"=1'-0"

SOUTH ELEVATION
SCALE 3/16"=1'-0"

Messler & Associates
CONSULTING ENGINEERS
5746 VIA RIO, JUPITER, FLORIDA 33458
Phone (561) 748-6015 Fax (561) 748-6889
Certificate of Authorization No. 00003616

FLOOR PLAN & ELEVATIONS

BUILDING 2

SEAL	PROJ. NO. 19-012
	SCALE AS SHOWN
	DATE MARCH 2019
TIMOTHY J. MESSLER, P.E. FL. REG. No. 16422	SHT 5 OF 5

For Staff Use Only

City of Riviera Beach Community Development Department 600 W. Blue Heron Boulevard Riviera Beach, Florida 33404 Phone: (561) 845-4060 Fax : (561) 845-4038	Date:	Case Number:
	Project Title:	
	Fee Paid:	Notices Mailed:
	1st Hearing:	2nd Hearing:
	Publication Dates (if required)	

UNIFORM LAND USE APPLICATION

(Please attach separate sheet of paper for required additional information)

Complete appropriate sections of Application and sign.

APPLICANT	Name of Property Owner(s):	Hinterland Group #2 LLC - Daniel Duke III		
	Mailing Address:	2051 W Blue Heron Blvd		
	Property Address:	6840 N. Haverhill Road		
	Name of Applicant (if other than owner):			
	Home: (561) 882-1550	Work: ()	Fax: ()	
	E-mail Address:	dduke1@hinterlandgroup.com		

PLEASE ATTACH LEGAL DESCRIPTION

PROPERTY	Future Land Use Map Designation:	IND -Industrial	Current Zoning Classification:	IL- Light Industrial
	Square footage of site:	83,848.64 sf	Property Control Number (PCN):	56-42-42-36-00-000-3050
	Type and gross area of any existing non residential uses on site:	site is vacant		
	Gross area of any proposed structure:	10,860 sf 1 story structure and one 4,800 sf structure		
	Is there a current or recent use of the property that is/was in violation of City Ordinance?	[] Yes [✓] No		
	If yes, please describe:	NA		
	Have there been any land use applications concerning all or part of this property in the last 18 months?	[] Yes [✓] No		
	If yes, indicate date, nature and applicant's name:			
	Briefly describe use of adjoining property:	North:	Industrial Use	
		South:	Residential Development - Turtle Cay Townhomes	
	East:	Vacant Industrial		
	West:	Haverhill Rd./Conservation		

REZONE	Requested Zoning Classification:	NA
	Is the requested zoning classification contiguous with existing?	NA
	Is a Special Exception necessary for your intended use?	[] Yes [✓] No
	Is a Variance necessary for your intended use?	[] Yes [✓] No


FUTURE LAND USE	Existing Use: Vacant	Proposed Use: Industrial - Contractor's Storage Yard
	Land Use Designation: Industrial - IND	Requested Land Use: NA
	Adjacent Land Uses: North: Industrial - IND	South: <small>Medium Density Multiple Family Residential</small>
	East: Industrial - IND	West: Conservation - Con
	Size of Property Requesting Land Use Change: NA	

SPECIAL EXCEPTION	Describe the intended use requiring a Special Exception: NA
	Provide specific LDR ordinance section number and page number: NA
	How does intended use meet the standards in the Land Development Code? NA
	Demonstrate that proposed location and site is appropriate for requested use: NA
	Demonstrate how site and proposed building(s) have been designed so they are compatible with adjacent uses and neighborhoods: NA
	Demonstrate any landscaping techniques to visually screen use from adjacent uses: NA
	Demonstrate what is proposed to reduce the impact of any potential hazards, problems, public nuisances generated by use: NA
	Demonstrate how utilities and other service requirements of the use can be met: NA
	Demonstrate how the impact of traffic generated will be handled: On-site: NA
	Off-Site: NA
Other: NA	

VARIANCE	Describe the Variance sought: NA
	Demonstrate that the Variance is needed to overcome a hardship caused by the unique physical conditions of the site: NA
	Specify the minimum Variance requirements including: height, lot area, size of structure, size of yard, setback, buffer or open space: NA
	Other: NA

SITE PLAN	Describe proposed development: NA
	Demonstrate that proposed use is appropriate to site: NA
	Demonstrate how drainage and paving requirement will be met: NA
	Demonstrate any landscaping techniques to visually screen use from adjacent uses: NA
	Demonstrate what is proposed to reduce the impact of any potential hazards, problems, public nuisances generated by use: NA
	Demonstrate how utilities and other service requirements of the use can be met: NA
	Demonstrate how the impact of traffic generated will be handled: On-site: NA Off-site: NA

OTHER	COMMUNICATION TOWER CO-LOCATION REQUIREMENTS:
	<ul style="list-style-type: none"> • Three sets of signed and sealed Construction documents, elevations and all equipment shelters, cabinets, Coax, telephone and power conduits identified. These plans will then be used to obtain the Building Permit. • Antenna manufacture cut sheets including antenna size and shape. • Zoning map of area with site clearly marked. • Photos of existing building or tower and surrounding uses. • Letter of non-interference and FCC compliance from applicant's Radio Frequency Professional. • Map of surrounding carrier existing locations in all directions with type i.e. Guyed, Self-Support, Monopole, Rooftop. • Letter of structural capacity and building code compliance. • Notes on plan or letter demonstrating floor area coverage not in excess of restrictions • Provide Photo Enhancements of proposal. • Statement that proposal is in compliance with Environmental Regulations prior to permit issue.

Confirmation of Information Accuracy	
<p>I hereby certify that the information on this application is correct. The information included in this application is for use by the City of Riviera Beach in processing my request. False or misleading information may be punishable by a fine of up to five hundred dollars (\$500.00) and imprisonment of up to thirty (30) days and may result in the summary denial of this application.</p>	
 Signature	4/9/2019 Date

AGENT AUTHORIZATION FORM

Owner(s) of Record: Hinterland Group #2 LLC

STATE OF FLORIDA
COUNTY OF PALM BEACH

BEFORE ME, the undersigned authority personally appeared Daniel D. Kett

who, being first duly sworn upon oath and personal knowledge say(s) that they are the owner(s) of record of the following described real property:

the street address of which is:

and that we hereby appoint:

Name: George G. Gentile (Gentile Glas Holloway O'Mahoney & Associates, Inc.)
Address: 1907 Commerce Lane, Suite 101
Jupiter, FL 33458
Telephone: 561-575-9557

as our authorized agent, to file applications and papers with the City of Riviera Beach, and to represent me (us) at any Hearing regarding my (our) interest.

(Seal)

(Seal)

(Seal)

Sworn to and subscribed before me this 9th day of April, 2019.

Heather Crossman
Notary Public



Heather Crossman
NOTARY PUBLIC
STATE OF FLORIDA
Comm# FP011573
Expires 8/20/2019



***Dyer Industrial West - Project Narrative
Site Plan Review
City of Riviera Beach
Revised: February 24, 2020***

Request/Location

On behalf of the Owner, Hinterland Group #2, LLC, Gentile Glas Holloway O'Mahoney & Associates, Inc. acting as agent, please accept the attached application requesting site plan approval to allow for contractor's storage (outdoor and enclosed), with an accessory office on the site.

The subject site is vacant, and is 3.16± acres. It is located at the south east corner of the Haverhill Road, and Dyer Boulevard intersection. Further, the site has a land use designation of Industrial, and a zoning designation of IL; Limited Industrial.

Site History

The Palm Beach County Property Appraiser records show that the subject parcel was purchased by Hinterland Group #2 LLC, in January of 2017. While there was no evidence of structural details on the property, current aerials do indicate that there has been some storage of materials on the property. Upon further research, it was determined that the Southern Truss Companies, an open air roof truss manufacturing plant, was in existence on the subject properties from the early 1980s until about 2008, when the company relocated to Fort Pierce.

Compatibility with Surrounding Uses:

The site is located in an existing industrial corridor within the City of Riviera Beach, and the applicant's proposal will be consistent with the Industrial land use and zoning designations. Although the residential abuts the site to the south, there is adequate screening via an existing 50' landscape buffer. The proposed use of an office, covered storage, and contractor's storage yard is consistent and compatible with the surrounding area. Below is a chart listing of the surrounding properties land use and zoning designation.

	Existing Zoning	Existing FLU
Subject Property: Vacant	IL – Limited Industrial	Industrial
North: LKQ Salvage Yard	IG – General Industrial	Industrial
South: Turtle Cay Development	RPUD – Residential Planned Unit Development	Medium Density Multiple Family Residential
East: Vacant	IL—Limited Industrial	Industrial
West: Conservation	CON – Preservation/Conservation District	Conservation

Consistency with the Comprehensive Plan:

The General Industrial Land Use category is defined in the City of Riviera Beach's Comprehensive Plan includes both the limited and general industrial zoning districts of the city. The applicant is consistent with the Future Land Use Designation, as defined in Policy 1.8.1, and meets the maximum impervious requirement of 85% by proposing 79% impervious area.

Consistency with the Zoning Code:

Article III, Section 31-57 of the City of Riviera Beach zoning code states that the purpose of the site plan review process in the City is to ascertain that the development is in conformity with the comprehensive plan, and is not detrimental to the neighboring land use. This code section also states that the project shall be a viable addition to the community.

This application is also consistent with the "Purpose" of the IL – Limited Industrial zoning district as it proposes a use that promotes the development of a low intensity industrial use near a residential areas. Further, the site is in conformance with the code regulations which make it compatible with the adjacent residential use to the south.

The proposed business office, contractor's storage yard and covered storage uses are permitted by right in the IL zoning district as a USE BY RIGHT and is consistent with the Industrial land use designation specified in the City of Riviera Beach Comprehensive Plan.

Site Function and Details:

The nature of work proposed to take place on site is storage and material blending, and it is anticipated that the proposed use will employ roughly 3-5 employees.

There will be two structures on the property: Structure One is proposed to be designated as weather protected storage of equipment and material that will total 10,860 square feet. 910.23 square feet of Structure One will be designated as accessory office.

Structure Two is proposed to be 4,800 sf of enclosed weather protected contractor's storage.

Both proposed structures will be accessory to an 84, 057.37 square foot outdoor contractor's storage yard featuring a combination of pavement and recycled asphalt surfaces.

Landscaping:

The applicant's proposal will provide for a substantial upgrade in landscape material. A site that is currently void of any vegetation will have approximately 27,612.02 sq. ft. or 20% of the site landscaped.

Note, as the majority of this site is a proposed outdoor storage yard, the landscape is concentrated on the perimeter of the affected area and paved parking spaces. Please note, there is also an existing 50' landscape buffer which will adequately screen the site from the adjacent residential to the south.

Traffic and Parking:

The applicant's proposal will cause an insignificant impact on the surrounding roadway network and is in compliance with Palm Beach County Traffic Performance Standards, as demonstrated in the

traffic report prepared by PTC Transportation Consultants. The traffic statement included with this submittal has also been submitted to Palm Beach County Traffic Division for their approval. Once an approval letter is received, it will be forwarded to the City of Riviera Beach staff.

Using the off-street parking ratios in Sec. 31-577 of the City's zoning code, the applicant has provided one space for every 300 sq. ft. of office. To that end, there are 4 spaces required for the 910.23 sf office. The applicant is proposing to provide 4 spaces including 1 handicap space. Please note, to fully comply with ADA requirements, the handicap space and access aisle will be concrete.

Note, the site plan depicts an area within the proposed contractor's storage yard that will permit for overflow parking, should the site ever need it. The overflow parking will ONLY be allowed within the interior portion of the site.

Access:

Ingress/Egress will be provided via Dyer Blvd. An egress only point is also provide on the west side of the property on Haverhill Road.

Architecture:

The applicant proposes a pre-engineered steel building on a concrete slab. The building will provide for six (6) roll up doors, two (2) man-doors, and two (2) windows. Material and finish will be consistent with the adjacent buildings within the existing industrial corridor. Please see provided elevations for proposed colors, and materials.

Conclusion:

This submitted site plan application seeks approval for an office, and outdoor storage yard. As the site is greater than one acre, it is required to obtain site plan approval for the use(s) according to Section 31-58 of the Riviera Beach zoning code. This narrative has demonstrated that it is in compliance with the Riviera Beach Comprehensive Plan, and applicable sections of the City's zoning code. Additionally, there is no detriment to the surrounding area. With that, and on behalf of the applicant, Gentile Glas Holloway O'Mahoney & Associates, Inc. respectfully request review and approval of the submitted site plan application. The project team at Gentile Glas Holloway O'Mahoney & Associates, Inc. consists of George G. Gentile, PLA, Daniel Siemsen, PLA, and Alec Dickerson.



**Department of Engineering
and Public Works**

P.O. Box 21229

West Palm Beach, FL 33416-1229

(561) 684-4000

FAX: (561) 684-4050

www.pbcgov.com

**Palm Beach County
Board of County
Commissioners**

Dave Kerner, Mayor

Robert S. Weinroth, Vice Mayor

Hal R. Valeche

Gregg K. Weiss

Mary Lou Berger

Melissa McKinlay

Mack Bernard

County Administrator

Verdenia C. Baker

December 5, 2019

Andrea M. Troutman, P.E.
Pinder Troutman Consulting, Inc.
2005 Vista Parkway, Suite 111
West Palm Beach, FL 33411

**RE: Dyer Industrial West
Project #: 191106
Traffic Performance Standards Review**

Dear Ms. Troutman:

The Palm Beach County Traffic Division has reviewed the **Dyer Industrial West** Traffic Impact Statement, revised November 8, 2019, pursuant to the Traffic Performance Standards in Article 12 of the Palm Beach County Unified Land Development Code (ULDC). The project is summarized as follows:

Municipality:	Riviera Beach
Location:	SEC of Dyer Blvd and Haverhill Rd
PCN:	56-42-42-36-00-000-3050
Access:	One full access driveway connection onto Dyer Blvd and One full access driveway connection onto Haverhill Rd <u>(As used in the study and is NOT an approval by the County through this letter)</u>
Existing Uses:	Vacant
Proposed Uses:	Outdoor Storage = 1.93 Acres Warehouse = 14,750 SF Gen. Office = 910 SF
New Daily Trips:	97
New Peak Hour Trips:	9 (6/3) AM; 12 (5/7) PM
Build-out:	December 31, 2023

Based on our review, the Traffic Division has determined the proposed development generates less than 20 peak hour trips, and therefore, **meets** the PBC Traffic Performance Standards.

The following should be addressed for site access:

1. The Property Owner shall provide a turnaround for unadmitted vehicles at the gated access driveway on Haverhill Road.

Please note the receipt of a Traffic Performance Standards (TPS) approval letter does not constitute the review and issuance of a Palm Beach County Right-of-Way (R/W) Construction Permit nor does it eliminate any requirements that may be deemed as site related. For work within Palm Beach County R/W, a detailed review of the project will be provided upon submittal for a R/W permit application. The project is required to comply with all Palm Beach County standards and may include R/W dedication.

"An Equal Opportunity
Affirmative Action Employer"



printed on sustainable
and recycled paper



Andrea M. Troutman, P.E.
December 5, 2019
Page 2

No building permits are to be issued by the City after the build-out date specified above. The County traffic concurrency approval is subject to the Project Aggregation Rules set forth in the Traffic Performance Standards Ordinance.

The approval letter shall be valid no longer than one year from date of issuance, unless an application for a Site Specific Development Order has been approved, an application for a Site Specific Development Order has been submitted, or the approval letter has been superseded by another approval letter for the same property.

If you have any questions regarding this determination, please contact me at 561-684-4030 or email QBari@pbcgov.org.

Sincerely,

A handwritten signature in blue ink, appearing to read "Quazi Bari".

Quazi Bari, P.E.
Manager – Growth Management
Traffic Division

QB:HA:rb

cc: Addressee

Mr. Jeff Gagnon, Planning & Zoning Administrator, City of Riviera Beach
Hanane Akif, E.I., Project Coordinator II, Traffic Division
Steve Bohovsky, Technical Assistant III, Traffic Division

File: General - TPS - Mun - Traffic Study Review

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PLANNING AND ZONING DIVISION

CITY OF RIVIERA BEACH

DEVELOPMENT SERVICES DEPARTMENT | 600 WEST BLUE HERON BLVD.
RIVIERA BEACH FL, 33404 | MAIN: (561) 845-4060 | FAX: (561) 845-4038

January 8, 2020

Sent by email: Alec@2gho.com

Alec Dickerson
Gentile, Glas, Holloway, O'Mahoney & Associates, Inc.
1907 Commerce Lane, Suite 101
Jupiter, FL 33458

RE: CITY STAFF REVIEW OF SITE PLAN AMENDMENT SP-19-19 - DYER INDUSTRIAL
WEST PROPOSED AT 6840 HAVERHILL BOULEVARD- **SECOND SUBMITTAL**

Dear Mr. Dickerson,

The intent of this letter is to inform you that City staff has completed departmental review for the proposed Dyer Industrial West Site Plan Amendment (SP-19-19) based on November 12, 2019 submittal. The City is responding to SP-19-19 with the following comments:

Please be advised that it is the responsibility of the agent to follow-up with all applicable reviewing agencies / departments prior to resubmittal and ensure that all comments are satisfied.

Building Department (561) 845-4020 – see attached. **RESOLVED**

Engineering/Public Works Department (561) 845-3472 – see attached. **RESOLVED**

Police Department (561) 845-4123 – see attached. **RESOLVED**

Code Enforcement – N/A.

Fire (561) 845-4137 – see attached. **RESOLVED**

Utility District Department (561) 845-4185 – see attached. **RESOLVED**

Planning and Zoning:

Site Data & SP-1

- ~~1. Provide the application name.~~ **RESOLVED**
- ~~2. Provide the application number.~~ **RESOLVED**
- ~~3. Delete the word "existing" from Uses(s) and correct to "Proposed Use".~~ **RESOLVED**
- ~~4. Correct the Use to Contractor Storage Yard to comply with Code Sec. 31-362.~~ **RESOLVED**
- ~~5. Remove the word "Existing" and correct to read "Future Land Use Designation".~~ **RESOLVED**
- ~~6. Provide Section, Township and Range.~~ **NEW:** Delete letters from numbers. **RESOLVED**
- ~~7. Label Total Gross Acreage.~~ **RESOLVED**



PLANNING AND ZONING DIVISION

CITY OF RIVIERA BEACH

DEVELOPMENT SERVICES DEPARTMENT | 600 WEST BLUE HERON BLVD.
RIVIERA BEACH FL, 33404 | MAIN: (561) 845-4060 | FAX: (561) 845-4038

8. Provide the Total Gross Floor Area (GFA). **RESOLVED**
9. Provide GFA broken down by use, acreage, square footage and percentage i.e., Industrial (acreage/SF and %). **RESOLVED**
10. Provide Floor to Area Ratio (FAR). **RESOLVED**
11. Provide the TAZ. **RESOLVED**
12. Under Building Data, add unit of measurement to total building area. **RESOLVED**
13. Provide scale graphic and written 1" = 20' minimum. **RESOLVED**
14. Delete the word "Building" from Lot Coverage. **RESOLVED**
15. Provide building coverage percentage. **RESOLVED**
16. Provide actual building height. **RESOLVED**
17. Provide a Property Development Regulation (PDR) Chart required and proposed regulations. **RESOLVED**
18. Clarify and label "North" arrow. **RESOLVED**
19. Provide pervious and impervious area square footage calculation individually by each use of space and percentage for each i.e., building / sf / %, concrete, asphalt, walkways, etc). Show computation. **OUTSTANDING. RESOLVED**
20. Provide overall impervious percentage. **OUTSTANDING-RESOLVED**
21. Label and show limits and maximum depth for any retention/dry detention areas.
22. Provide correct parking data including actual parking required and proposed per Code (if parking calculation result in fractions, round up to the nearest whole number per Code Sec. 31-566. **NEW:** Revise parking data to include some additional parking spaces based on the 4,800 sf building. You may use 1/1000 ratio. **NEW:** Delete the words 'Concrete parking'. **RESOLVED**
23. Dimension parking spaces. **RESOLVED**
24. Dimension ADA space. **RESOLVED**
25. Provide at least one loading space 12'X30' minimum. **RESOLVED**
26. Show rear and side wall as a six foot 'concrete finished masonry wall'. **RESOLVED**
27. Dimension accessory use. **RESOLVED**
28. Provide directional arrows for vehicular use from all access points. **RESOLVED**
29. Dimension opening of overhead doors. **RESOLVED**
30. Label length of driveway and throat distance. Reduce font size. **RESOLVED**
31. Label distance to first parking space from property line. **RESOLVED**
32. Identify and provide dimension of all safe site triangles. **RESOLVED**
33. Provide terminal islands in accordance with Code. **RESOLVED**
34. Provide dimensions and setbacks of dumpster from property line. **RESOLVED**
35. Provide the centerline on Dyer Boulevard. **RESOLVED**
36. Will a monument sign be on the property? If so, indicate on plan. **RESOLVED**
37. Provide bearings and distances around boundary on site plan consistent with survey/plat. **RESOLVED**
38. Correct the surrounding zoning districts. **RESOLVED**
39. Provide a floor plan that matches the site plan (floor plan is inconsistent with site plan). Hard copies 24"X36" not provided. Provide upon resubmittal. **See note #39 RESOLVED**



CITY OF RIVIERA BEACH

DEVELOPMENT SERVICES DEPARTMENT | 600 WEST BLUE HERON BLVD.
RIVIERA BEACH FL, 33404 | MAIN: (561) 845-4060 | FAX: (561) 845-4038

PLANNING AND ZONING DIVISION

40. ~~Provide the overall square footage on floor plan to match square footage on site plan. See #39.~~ **RESOLVED**
41. ~~Provide the finishes (color, materials) on the elevations. See #39.~~ **RESOLVED**
42. ~~Provide a color rendition of the building. 24'x36'. Provide a revised narrative to include the estimated employment and type of jobs to be generated by the proposed project.~~ **RESOLVED**
43. ~~Provide boundary name and plat book page. Not platted.~~ **N/A**
44. ~~Label distance between access points and dimension to the closet point.~~ **RESOLVED**
45. ~~Provide turning and directional arrows of drive aisle.~~ **RESOLVED**
46. ~~Dimension the drive lanes.~~ **RESOLVED**
47. ~~Provide and label throat distance.~~ **RESOLVED**
48. ~~Label and dimension pedestrian path to building entrance from parking lot.~~ **RESOLVED**
49. ~~On Justification Statement, correct South zoning district and Future Land Use. (Page 4).~~ **RESOLVED**
50. ~~Provide a lighting/photometric plan.~~ **NEW: Provide detail to show height of pole.** **RESOLVED**
51. ~~Provide Drainage and Utility Plan with square footages to match site plan (inconsistent).~~ **RESOLVED**

LP-1

52. ~~Provide required screening for dumpster/trash receptacles per Code Sec. 31-600.~~ **RESOLVED**
53. ~~Identify and label all perimeter buffers.~~ **RESOLVED**
54. **NEW:** ~~Show the utility easement as is on the survey (TO BE ABANDONED).~~ Duplicate

LP-2

55. ~~Correct misspelled word in Landscape Certification.~~ **RESOLVED**
56. ~~In a chart, identify which trees are shade and accent trees with proposed and provided to include Code compliance percentages (%).~~ **RESOLVED**
57. ~~Provide an irrigation plan.~~ **RESOLVED**
58. ~~Provide parking area interior landscaping per Code Sec 31-610(c).~~ **RESOLVED**
59. ~~Please revise landscape plans to comply with current Code Sec. 31-606 and 31-610(c).~~ **RESOLVED**

Comment: Please be advised that modifications / amendments made to documents and plans may trigger additional comments.

NEW COMMENTS: **RESOLVED**

60. **NEW:** ~~Revise site data to include a breakdown of square footage and % of use on each buildings. Revisions may be necessary to FAR, building coverage.~~ **RESOLVED**
61. **NEW:** ~~Label the use of space for the 4,800 square foot building, i.e., clarify what the building is used for.~~ **RESOLVED**
62. **NEW:** ~~Delete reference to lake retention/detention, if none.~~ **RESOLVED**
63. **NEW:** ~~Show the utility easement as is on the survey "To be Abandoned".~~ **RESOLVED**
64. **NEW:** ~~Show foundational planting for both buildings.~~ **RESOLVED**



PLANNING AND ZONING DIVISION

CITY OF RIVIERA BEACH

DEVELOPMENT SERVICES DEPARTMENT | 600 WEST BLUE HERON BLVD.
RIVIERA BEACH FL, 33404 | MAIN: (561) 845-4060 | FAX: (561) 845-4038

Floor Plans and Elevations– Building #1

- 65. **NEW:** Delineate and dimension each use of space and provide the square footage in each room on the Floor Plan. **RESOLVED**
- 66. **NEW:** Correct the page numbering for Building #1 **RESOLVED**
- 67. **NEW:** Provide the gross square footage calculations (breakdown by room and square footage). The calculation must match the Site Plan (SP-1). **RESOLVED**

Floor Plans and Elevations– Building #2

- 68. **NEW:** Delineate the use of space (label what the building is used for i.e. storage) **RESOLVED**
- 69. **NEW:** **SP-1 Dimensions and square footage calculations are inconsistent.** **RESOLVED**

Please respond to the above comments in writing and submit the revised documents as necessary. It is important to note that a detailed narrative addressing each comment must be included when submitting the revised documents. Any revisions submitted without a detailed narrative shall be returned to the applicant without any further processing by the City. Resubmittals must include hard copies and a digital copy of all documents provided on a CD (in PDF format). *USB drives will not be accepted.*

Please feel free to contact me at (561) 845-4060 or by email at Adeveaux@rivierabeach.org should you have any questions or concerns.

Sincerely,

Ann DeVeaux, Senior Planner | adeveaux@rivierabeach.org | Direct: 561-845-4061 | Main: 561-845-4060

cc: Jeff Gagnon, AICP - Acting Director of Development Services Department



**STAFF REPORT - CITY OF RIVIERA BEACH
DYER INDUSTRIAL EAST SP-19-20
SEPTEMBER 10, 2020**

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF RIVIERA BEACH, PALM BEACH COUNTY, FLORIDA, APPROVING SITE PLAN APPLICATION (SP-19-20) FOR A CONTRACTOR STORAGE YARD AND ACCESSORY OFFICE USE, TOTALING APPROXIMATELY 3.00 ACRES, LOCATED AT 4922 DYER BOULEVARD, ASSOCIATED WITH PARCEL CONTROL NUMBERS 56-42-42-36-00-000-3070; 56-42-42-36-00-000-3050 HAVING AN INDUSTRIAL FUTURE LAND USE DESIGNATION; A LIMITED INDUSTRIAL (IL) ZONING DESIGNATION; AND PROVIDING FOR AN EFFECTIVE DATE.

-
- A. Applicant:** Steve Zeiger and Spencer Zeiger / Hinterland Group #2 LLC - Owner
Authorized Agent: Dan Siemsen, Gentile Glas Holloway O'Mahoney & Associates, Inc.
- B. Request:** The applicant is requesting site plan approval for a contractor storage yard and accessory office use.
- C. Location:** The subject site is located on Dyer Boulevard approximately 340.92 feet east of the intersection of North Haverhill Road and Dyer Boulevard, and 0.329 miles west of North Military Trail, addressed as 4922 Dyer Boulevard, identified by Parcel Control Numbers: 56-42-42-36-00-000-3070; 56-42-42-36-00-000-3050 within the City of Riviera Beach municipal boundary, as depicted on Exhibit A (see attached location map).
- D. Property Description and Uses:** The subject property description and uses are as follows:

Parcel Control Numbers: 56-42-42-36-00-000-3070; 56-42-42-36-00-000-3050

Parcel Size: +/-3.00 Acres

Existing Use: Vacant (Undeveloped)

Zoning: Limited Industrial (IL) Zoning District

Future Land Use: Industrial (IND) Future Land Use

E. Adjacent Property Description and Uses:

North: General Industrial (IG) Zoning District: MCI Telecommunications.

South: Residential Planned Unit Development (R-PUD) Zoning District: Turtle Cay – townhomes, zero lot line homes.

East: Limited Industrial (IL) Zoning District: warehouse/distribution terminal.

West: Limited Industrial (IL) Zoning District: vacant.

F. Background:

On November 12, 2019, Gentile Glas Holloway O'Mahoney & Associates, Inc., authorized agent for the applicant, Steve Zeiger and Spencer Zeiger, submitted an application for site plan approval (SP-19-20) for a contractor storage yard and accessory use. This application is also being reviewed concurrently with an associated plat application (PA-19-03). Staff conducted an initial review and provided the applicant with comments. Subsequent resubmittals were reviewed and comments were resolved prior to the application's placement on the Planning and Zoning Board Agenda. The proposed use will consist of a 76,294.74 square foot contractor storage yard (outdoor), and 5,895 square foot (enclosed) contractor storage including 1,930 square feet of accessory office.

The subject site consists of 3.00 acres of vacant land (130,680 square foot land area) located on Dyer Boulevard, approximately 340.92 feet east of the intersection of North Haverhill Road and Dyer Boulevard, 0.329 miles west of North Military Trail, and identified by Parcel Control Number 56-42-42-36-00-000-3070. According to Palm Beach County Property Appraiser's records, the subject parcel was acquired on/about January 2017 by Hinterland Group #1 LLC. Prior to the acquisition, the subject parcel was in use by Southern Truss Companies and operated as an open-air roof truss manufacturing company from approximately 1980 to 2008, and has since relocated to Fort Pierce. While remnants of roof truss materials still exist on the subject site, there is no record or evidence of a building structure ever existing on the site. The Applicant is requesting site plan approval for a 76,294.74 square-foot outdoor contractor storage yard, and 5,895 square-foot (enclosed) contractor storage including 1,930 square-foot accessory office.

The site plan application for the subject property has been scheduled to be heard by the Planning and Zoning Board on Thursday, September 10, 2020 at 06:30 P.M.

G. Staff Analysis:

Proposed Use: Contractor Storage Yard.

Zoning Regulations: The proposed use as a contractor storage yard is a permitted use in the Limited Industrial (IL) Zoning District. The proposed use and accessory office are consistent with the development patterns in the industrial corridor, and complies with the requirements of the City's Land Development Regulations.

Comprehensive Plan: The proposed use is consistent with the City's Comprehensive Plan, including the Industrial Future Land Use category.

Compatibility: The proposed use is compatible with the surrounding parcels within the industrial corridor and does not impose any adverse impact to surrounding properties. Although, a residential development abuts the south (rear) of the proposed use, the site plan and landscape plan demonstrates adequate buffers and screening, such as a 50-foot landscape easement buffer, 10-foot landscape buffer and a six-foot high finished masonry wall along the south property line abutting adjacent residential - a mitigation measure to any potential noise or visual impacts.

Levels of Service: Customary services such as roads, water, sewer, and garbage collection are currently available to the site.

Landscaping: The proposed landscape plan is adequate and complies with the City's Land Development Regulations.

Parking/Traffic: The site plan proposes the required four (4) parking spaces, including one (1) ADA space per Code requirement for a contractor storage yard and accessory office use. Four to five employees are estimated to remain on site during the workday. The site plan also proposes twenty-one (21) additional parking spaces, to accommodate crane operators and truck drivers (employees), park and leave their vehicle on site, and deliver and pick up cranes off-site. The proposed parking is ample and complies with the City's Land Development Regulations.

The site plan indicates two ingress/egress points from Dyer Boulevard. Palm Beach County Traffic Division reviewed the applicant's Traffic Impact Statement and determined that the proposed development meets the Traffic Performance Standards of Palm Beach County and does not have a significant peak-hour traffic impact on the roadway network.

H. Staff Conclusion: Staff recommends that the Planning and Zoning Board recommend to the City Council approval of the proposed site plan application for a contractor storage yard and accessory office use, located at 4922 Dyer Boulevard with the following conditions:

1. A two-year landscaping performance bond for 110% of the value of landscaping and irrigation shall be required before a Certificate of Occupancy or Certificate of Completion is issued for the Addition.
2. Construction and landscaping improvements must be initiated within 18 months of the effective date of this Resolution in accordance with Section 31-60(b), of the City Code of Ordinances. Demolition, site preparation and/or land clearing shall not be considered construction. Building permit application and associated plans and documents shall be submitted in its entirety and shall not be accepted by City staff in a partial or incomplete manner.
3. City Council authorizes City staff to approve future amendments to this site plan administratively so long as the site plan does not deviate greater than 5% from the originally approved site plan.
4. This development must receive final Certificate of Occupancy from the City for all buildings and units approved within five years of the approval of the adopting resolution or the adopting resolution shall be considered null and void, requiring the applicant to resubmit application for site plan and special exception approval and re-initiate the site plan approval process.
5. All future advertising must state that the development is located in the City of Riviera Beach. Fees and penalties in accordance with City Code Sec. 31-554 will be levied against the property owner and/or business for violation of this condition.
6. Once approved, this resolution shall supersede any previous site plan approval resolutions associated with this property, causing previous site plan approval resolutions to be null and void.
7. Prior to issuance of building permit, the Florida Power and Light 10-foot easement (identified to be abandoned on the proposed site plan and located on

the northern property line) shall be abandoned and said documents recorded in the Official Records of Palm Beach County. The Official Records Book and Page Number shall be provided to the City's Development Services Department upon recordation.

8. Prior to issuance of building permit, a copy of the Palm Beach County driveway and drainage permit shall be provided to the City's Public Works Department (Engineering Division).
9. Due to the close proximity to existing residential uses and Limited Industrial Zoning Designation, the open storage of goods and materials shall not exceed twenty (20) feet in height per City Code Sec. 31-363(2). Any equipment or vehicles stored on site, including but not limited to crane arms, shall be lowered to the lowest possible level upon close of business to mitigate visual impacts.

Exhibit A. Location Map.

Dyer Industrial East

Location Map

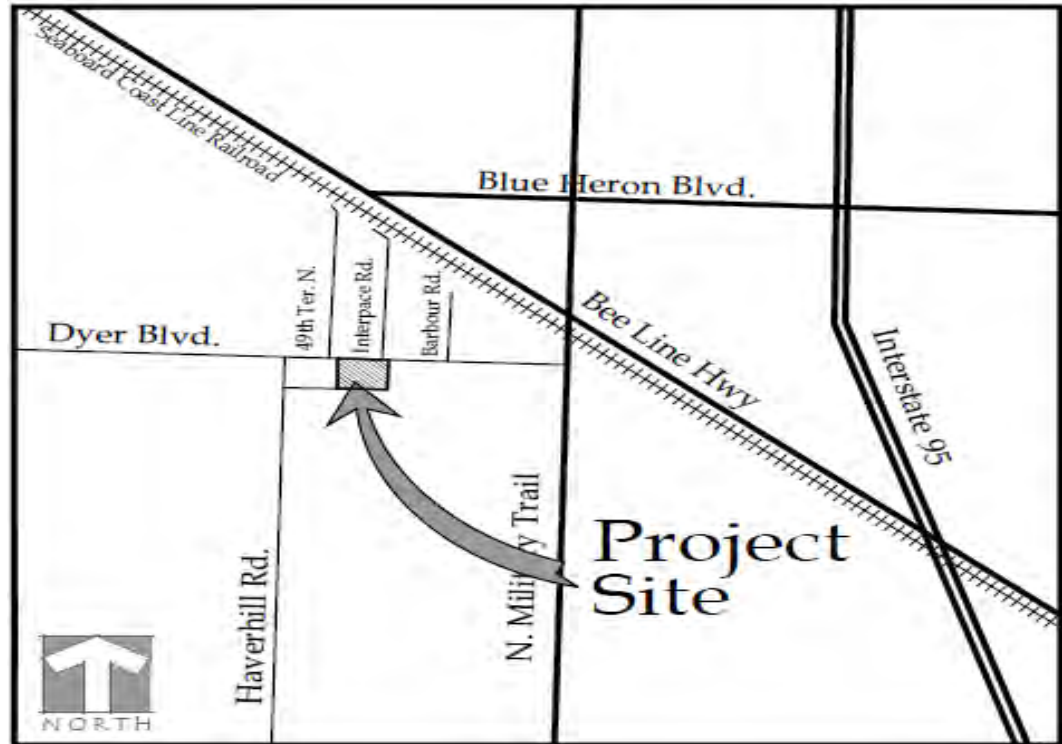
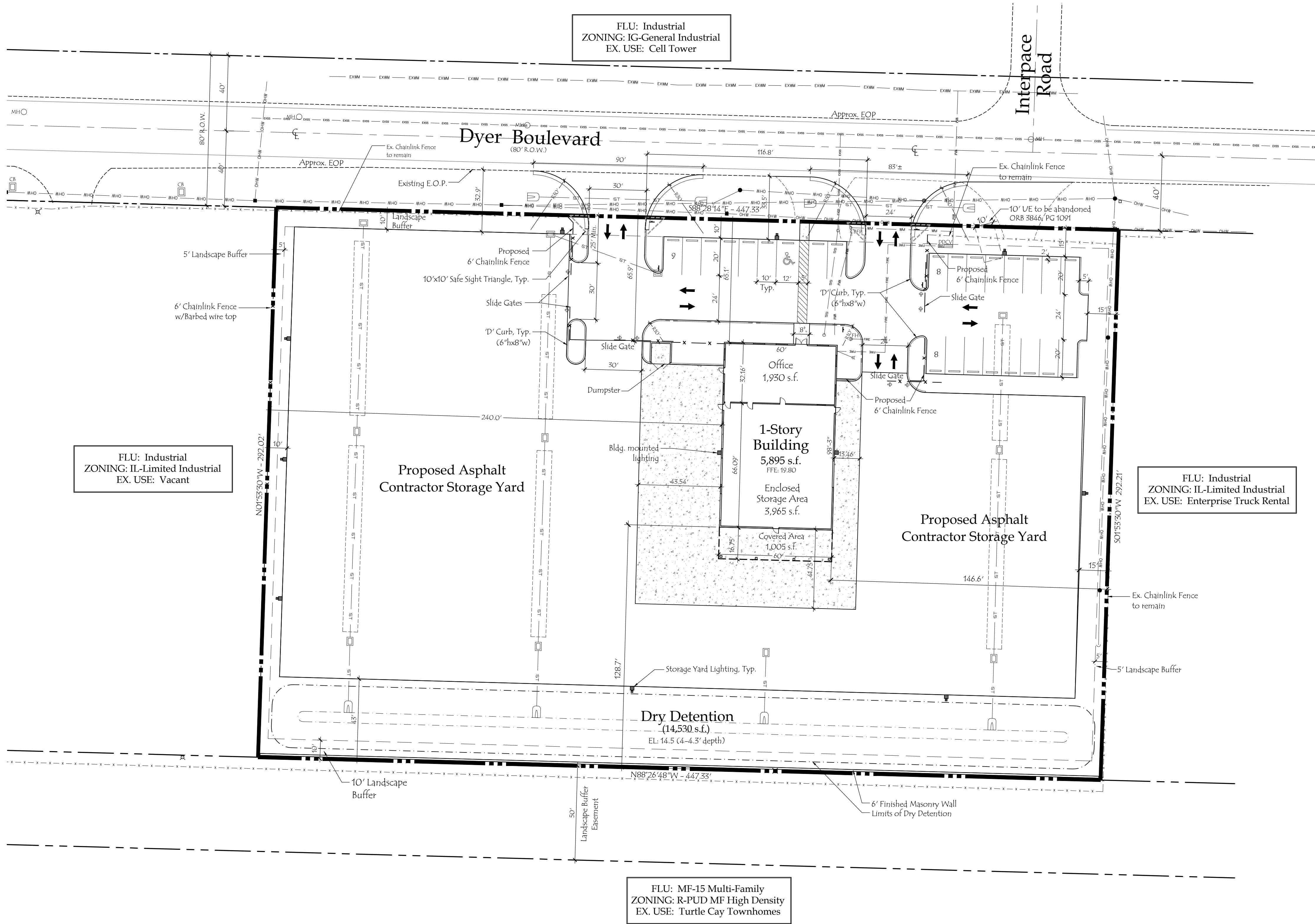
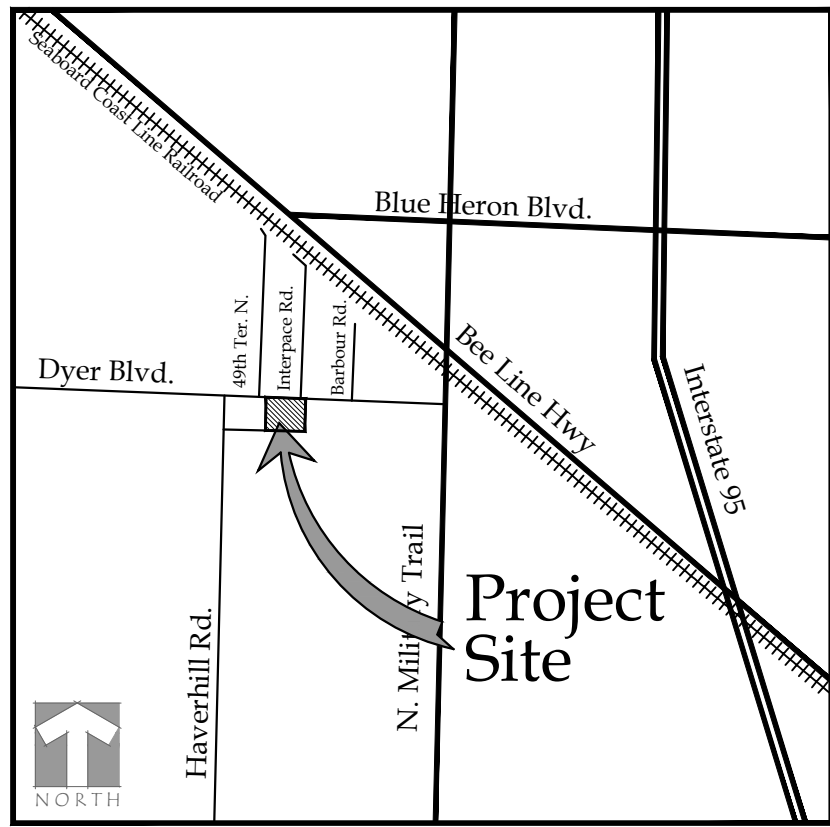


Exhibit B. Legal Description.

The West 632.64 feet of the East 2,371.96 feet of the North Half (N ½) of the South Half (S ½) of the North Half (N ½) of the Northwest Quarter (NW ¼) of Section 36, Township 42 South, Range 42 East, Palm Beach County, Florida, LESS the North 40.00 feet conveyed to the County of Palm Beach as recorded in Official Records Book 445, Page 315, Public Records of Palm Beach County, Florida.



Location Map



Site Data

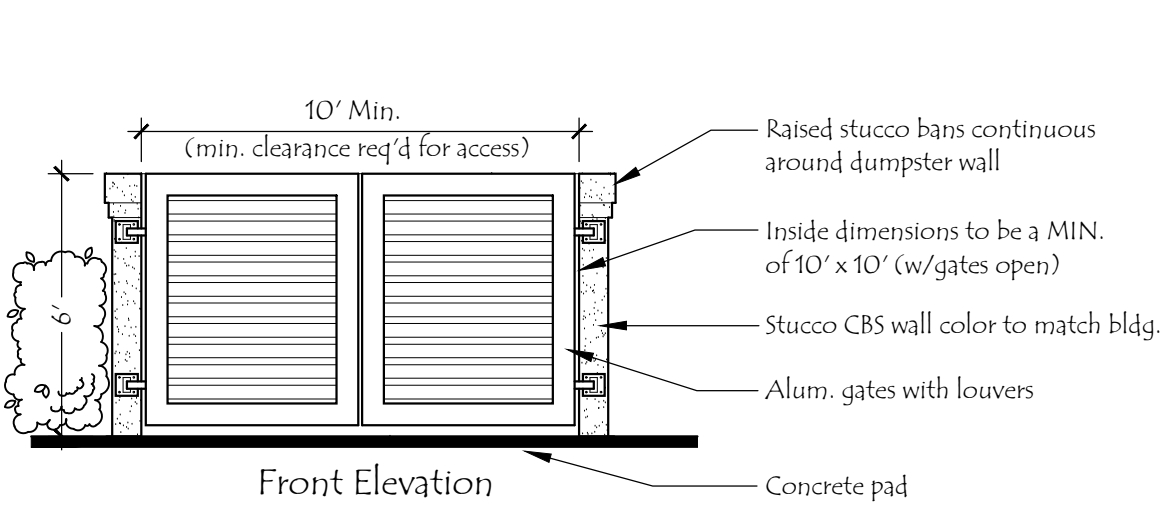
Application Number	SP-19-20
Name of Project	Dyer Industrial East
Future Land Use Designation	Industrial
Zoning District	IL; Limited Industrial District
Proposed Use(S)	Contractor Storage Yard
Section, Township & Range	36-42-42
PCN(S)#	56-42-42-36-00-000-3070
TAZ	116
Total Gross Acreage	3.00 Acres; 130,679.56 s.f.
Total G.F.A.	5,895 s.f.
Office:	1,930 s.f.
Enclosed Storage Area:	3,965 s.f.

	Concurrency Approval
Office	1,930 s.f.
Enclosed Storage Area	3,965 s.f.
Contractor Storage Yard	76,294.74 s.f.

Pervious Area Provided	32,694 s.f.; 25.0%
Impervious Area Provided	97,985.56 s.f.; 25.0%
Buildings	5,895 s.f.
Pavement / Walks	92,090 s.f.
Total Site Area	130,679.56 s.f.; 100.0%
Landscape Area Required	26,135.9 s.f. (20% Min.)
Landscape Area Provided	32,694 s.f. 25.0%
Building Height	21'-3" (1-Story)
Office	20.15'
Encl. Contractor Storage	19.82'

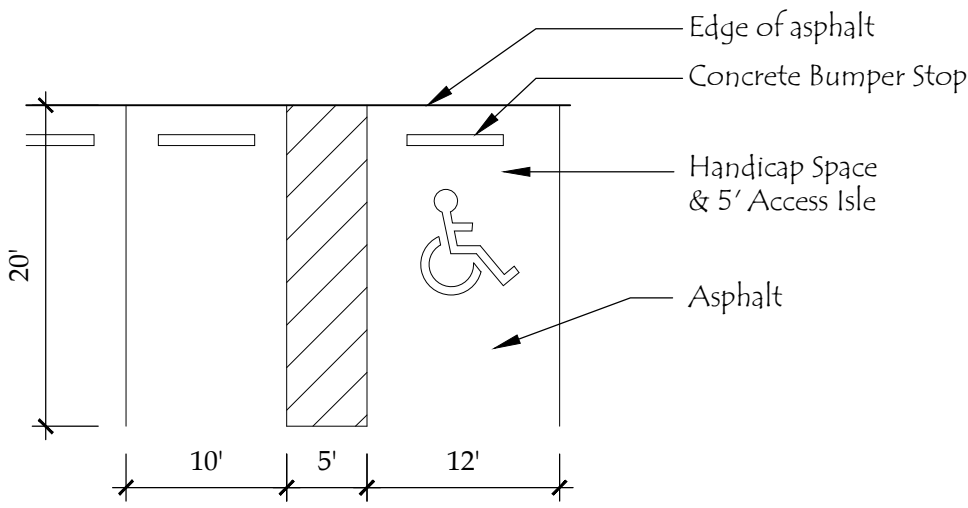
Parking Data

	Required	Provided
Office Use (1,930 s.f.)	6.4 Spaces (1/300 s.f.)	
Industrial Use (3,965 s.f.)	7.9 Spaces (1/500 s.f.)	
Total Parking	14 Spaces	25 Spaces
Handicap Parking	1 Space	1 Space



Dumpster Enclosure Detail

N.T.S.

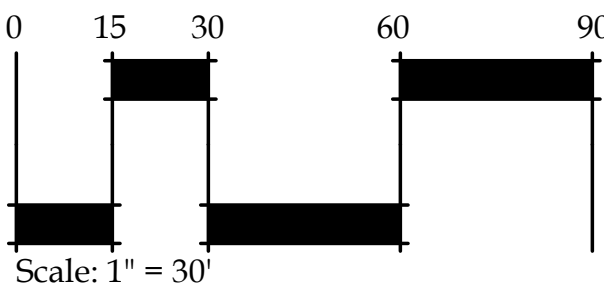
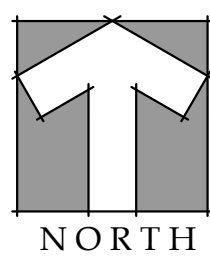


Parking Stall Detail

N.T.S.

Property Development Regulations

	Zoning District	Min. Property Size	Max. Bldg. Height	GFA	FAR	Bldg. Coverage	Min. Setbacks			
							Front	Side E.	Side W.	Rear
Required	IL	20,000 S.F.	35.0'	N/A	.85	45.0%	40'	15'	15'	20'
Proposed	IL	130,679.56 S.F.	21'-3"	5,895 S.F.	.05	5.3%	65.1'	146.6'	240.0'	128.7'



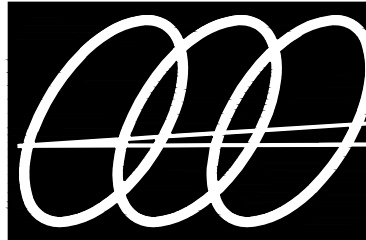
AMENDMENTS



ZONING STAMP



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Gentile Glas
Holloway
O'Mahoney
& Associates, Inc.
Landscape Architects
Planners and
Environmental Consultants

1907 Commerce Lane
Suite 101
Jupiter, Florida 33458
561-575-9557
561-575-5260 FAX
www.2GHO.com

Site Development Plan
Dyer Industrial East
Riviera Beach, Florida

Designed: MTH/DSS
Drawn: MTH
Approved: GGG/MTH/EMO
Date: 11/30/18
Job no.
Revisions: 12/4/19
3/2/20

Cad no. CAD0

Seal

LC C000177

Sheet Title:

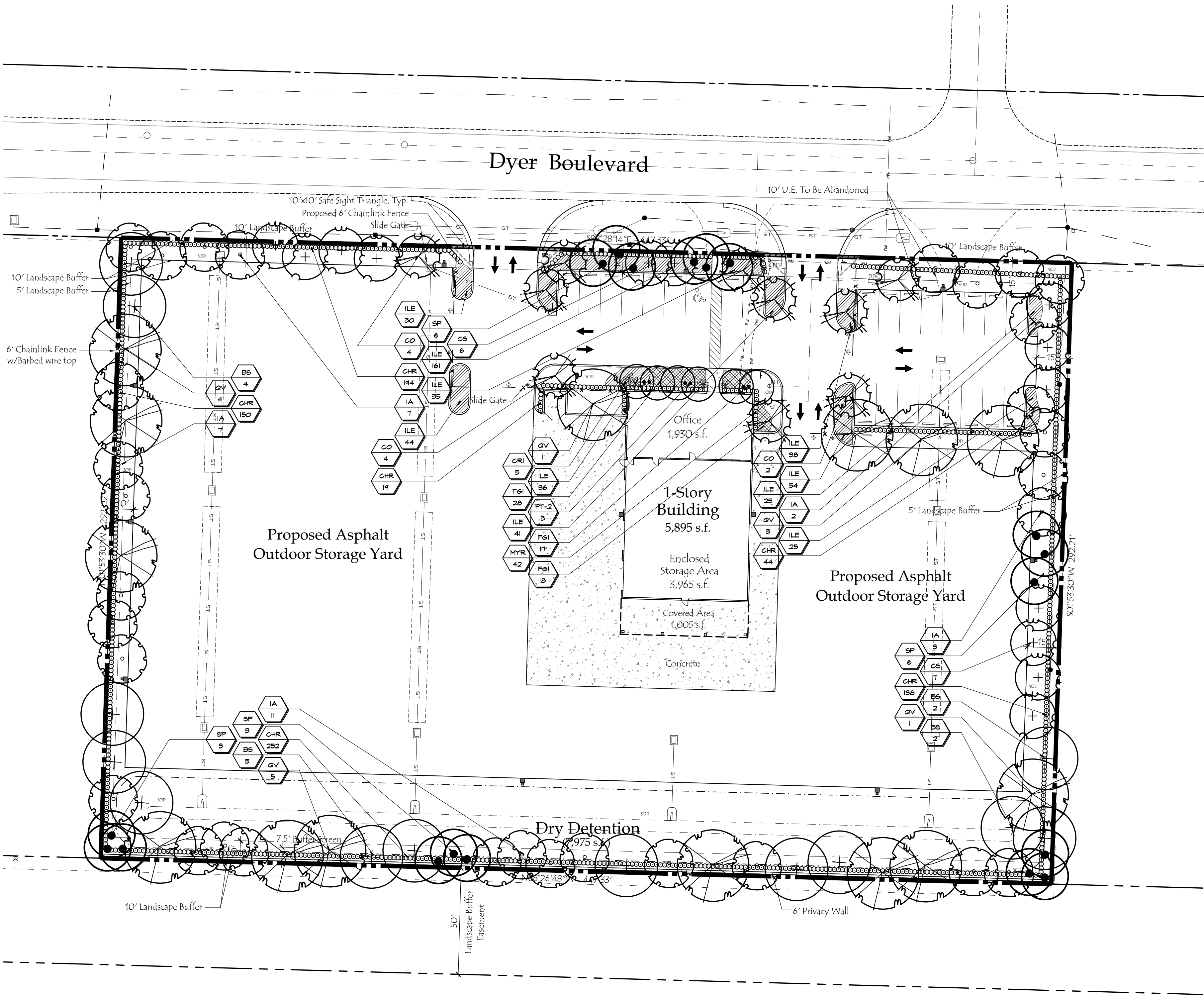
Site
Development
Plan

Scale: 1" = 30'

Sheet No.

SP-1

00-0000



LANDSCAPE DATA:

SITE AREA : 3.00 AC. (130,679.56 s.f.)
TOTAL LANDSCAPE AREA REQUIRED: 26,135.9 s.f. (20%)
TOTAL LANDSCAPE AREA PROVIDED: 32,684 s.f. (25.0%)

LANDSCAPE REQUIREMENTS:

	REQUIRED	PROVIDED
NORTHERN PERIMETER (395.35 L.F.) (Excludes -28' (X2) drives For Calculation)	20 TREES	20 TREES (1:20 L.F.)
SOUTHERN PERIMETER (447.35 L.F.)	22 TREES	23 TREES (1:20 L.F.)
WESTERN PERIMETER (292.03 L.F.)	15 TREES	16 TREES (1:20 L.F.)
EASTERN PERIMETER (292.71 L.F.)	15 TREES	15 TREES (1:20 L.F.)
TERMINAL ISLAND TREES	6 TREES	6 TREES (1 PER ISLAND)
TERMINAL LANDSCAPING (1/1500 s.f.) (Landscape Areas Excludes Buffers)	6 TREES	6 TREES
TOTAL TREES	84 TREES	86 TREES
VEGETATION SPECIES MIX	6 SPECIES	7 SPECIES (OVER 75 REQUIRED TREES REQUIRES A MIX OF 6 SPECIES INCLUDING PALMS)
PALM SUBSTITUTION (25% MAX)	25 PALMS MAX	21 PALMS; 21.2% (21 OUT OF 99)

NATIVE REQUIREMENTS:

	REQUIRED	PROVIDED
NATIVE/ PREFERRED SPECIES TREES & PALMS	50%	97% (98 out of 101)
NATIVE/PREFERRED SPECIES SHRUBS & GROUNDCOVERS	25%	94.9% (1,267 out of 1,335)
TOTAL PERCENTAGE OF NATIVE SPECIES	70%	95.0% (1,365 out of 1,436)
TOTAL PERCENTAGE OF NATIVE SHADE TREES	50 TREES (60%)	72 TREES (85.7%)
TOTAL PERCENTAGE OF NATIVE ACCENT TREES	8 TREES (10%)	10 TREES (10%)

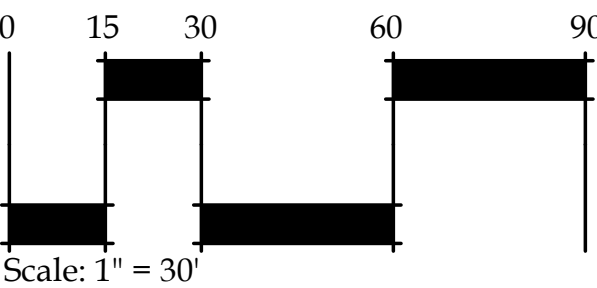
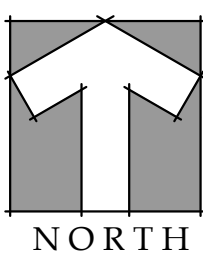
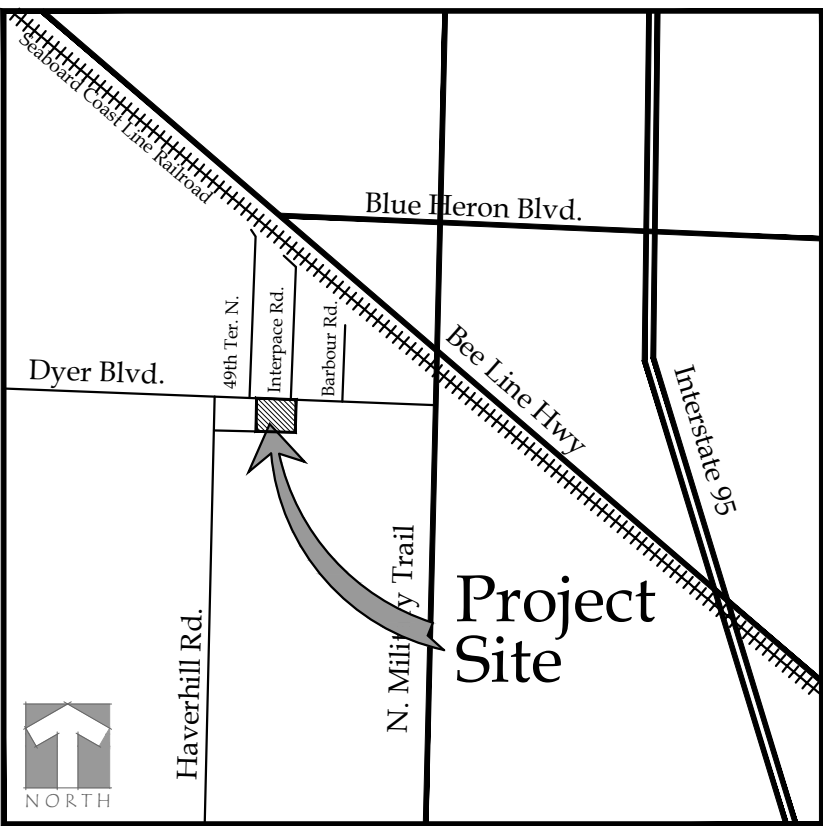
LANDSCAPE NOTES:

- THE LANDSCAPE ARCHITECT OF RECORD SHALL VERIFY THAT THE INSTALLATION COMPLIES WITH THE APPROVED PLAN OF RECORD. THIS VERIFICATION INCLUDES THE SPECIES (TYPE, QUANTITY, AND OTHER ORIGINAL PLANTING, SPECIFICATIONS) DESIGN OR LOCATION, IRRIGATION, AND ALL OTHER LANDSCAPE STRUCTURES AND MATERIAL USED IN ACCORDANCE WITH THE SITE PLAN.
- ALL PLANTING AREAS SHALL RECEIVE 100% COVERAGE FROM A FULLY AUTOMATIC IRRIGATION SYSTEM, EQUIPPED WITH A RAIN SENSOR AND SHALL BE DESIGNED IN ACCORDANCE TO SECTION 20-124 OF RIVERA BEACH LANDSCAPE SECTION.
- IRRIGATION SOURCE SHALL BE POTABLE OR WELL WATER SOURCE.
- ALL PLANTING BEDS/ISLANDS SHALL BE FREE OF SHELL/ROCK THREE (3) AND CONSTRUCTION DEBRIS, EXCAVATED TO A DEPTH OF 30" OR TO CLEAN NATIVE SOILS AND BACKFILLED WITH THE SPECIFIED BACKFILL MIXTURE
- ALL TREES UNDER FPL POWER LINES ARE REQUIRED TO COMPLY WITH THE FPL PLANT THE RIGHT TREE IN THE RIGHT PLACE' GUIDELINES.
- ALL LANDSCAPE ISLANDS SHALL INCORPORATE THE INSTALLATION OF MOUNDING OF NATIVE SOILS A MIN. OF 6" ABOVE THE TOP OF CURB.
- ALL PLANT MATERIAL SHALL MEET THE FLORIDA GRADES AND STANDARDS OF FL. #1 QUALITY OR BETTER.

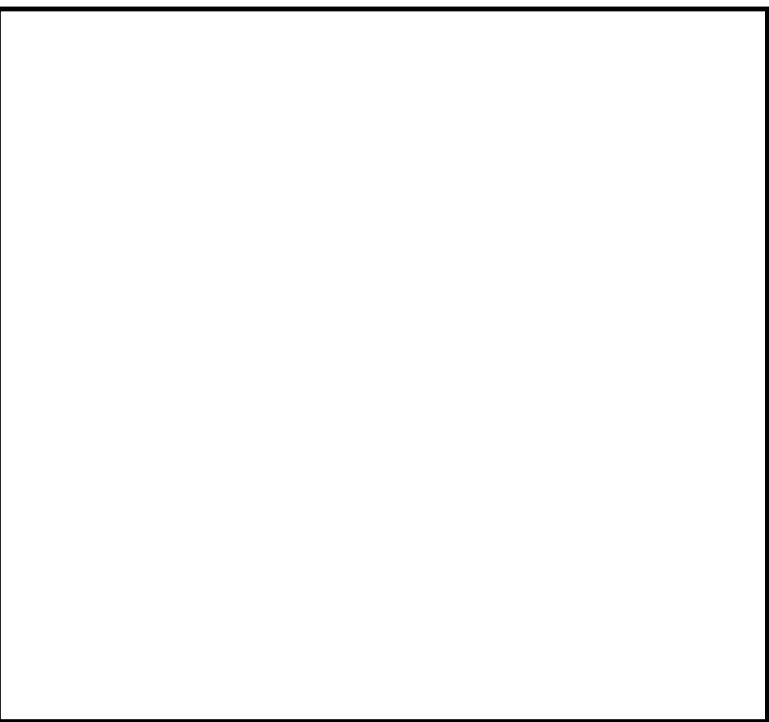
PLANT LEGEND:

- | | |
|-------------------------|----------------------|
| Gumbo Limbo | Holly 'East Palatka' |
| Silver Buttonwood | Orange Geiger |
| Sabal Palm | Crinum 'Queen Emma' |
| Live Oak 'High Rise' | Ilex |
| Alexander Palm 'Double' | Green Island Ficus |
| | Red Tip Cocoplum |
| | Simpson's Stopper |

Location Map



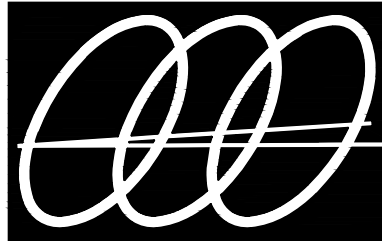
AMENDMENTS



ZONING STAMP



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Site Development Plan
Dyer Industrial East
Riviera Beach, Florida

Designed: MTM BRD
Drawn: BRD
Approved: GGG MTM EMO
Date: 11/12/18
Job no. _____
Revisions: 08/28/19
10/16/19
12/4/19
3/2/20

Cad no. CAD0

Seal

LC C000177

Sheet Title:

Landscape
Development
Plan

Scale: 1" = 30'

Sheet No.

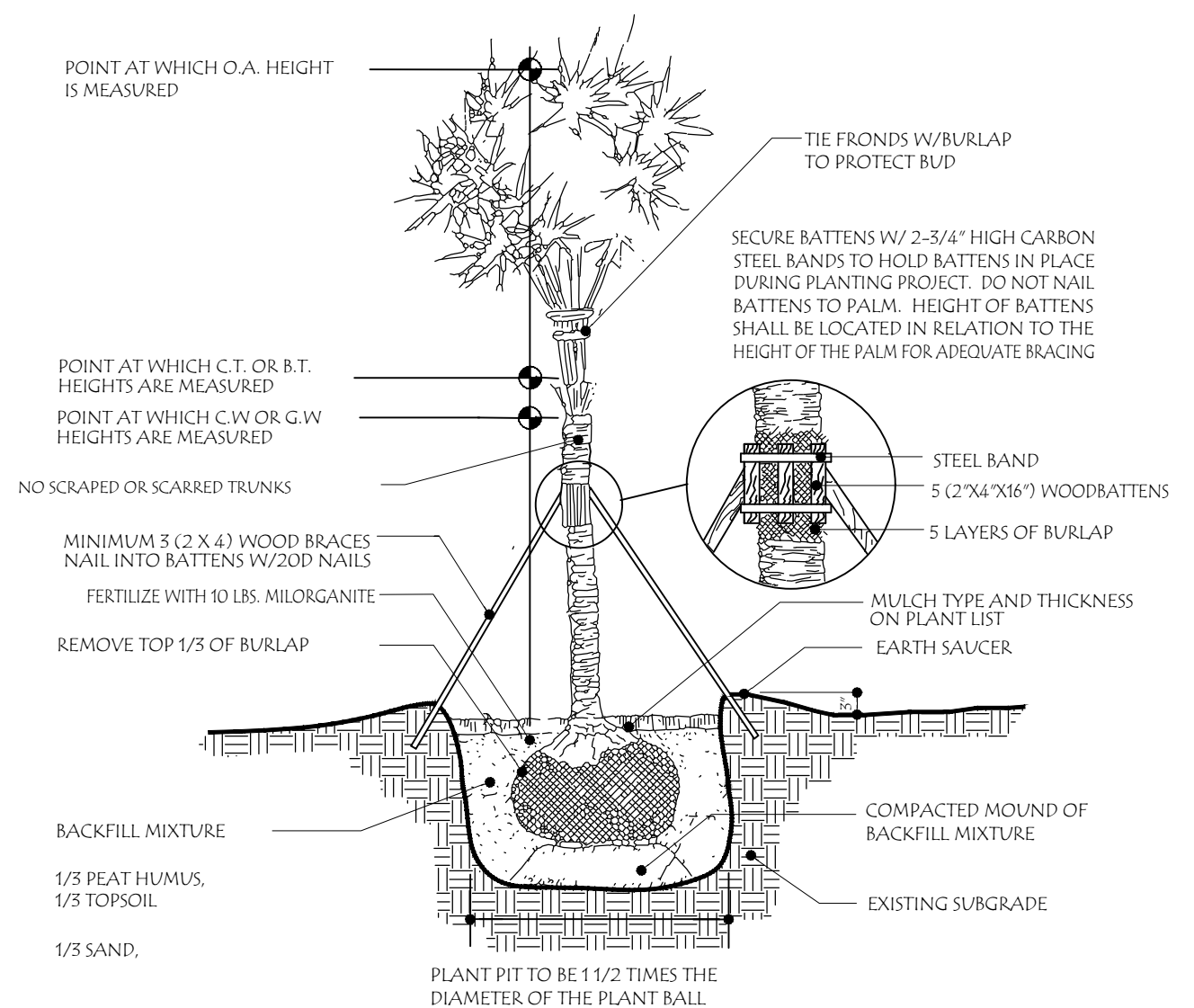
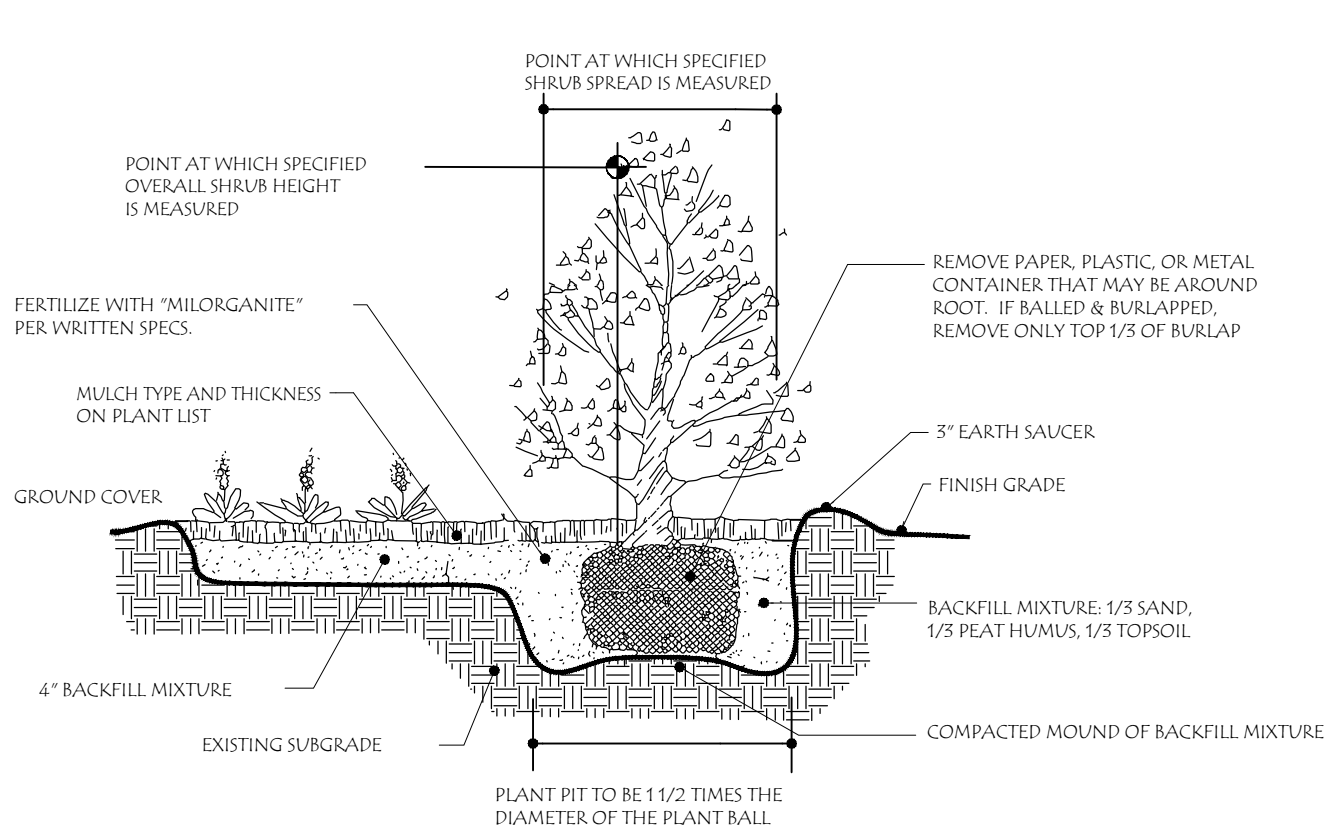
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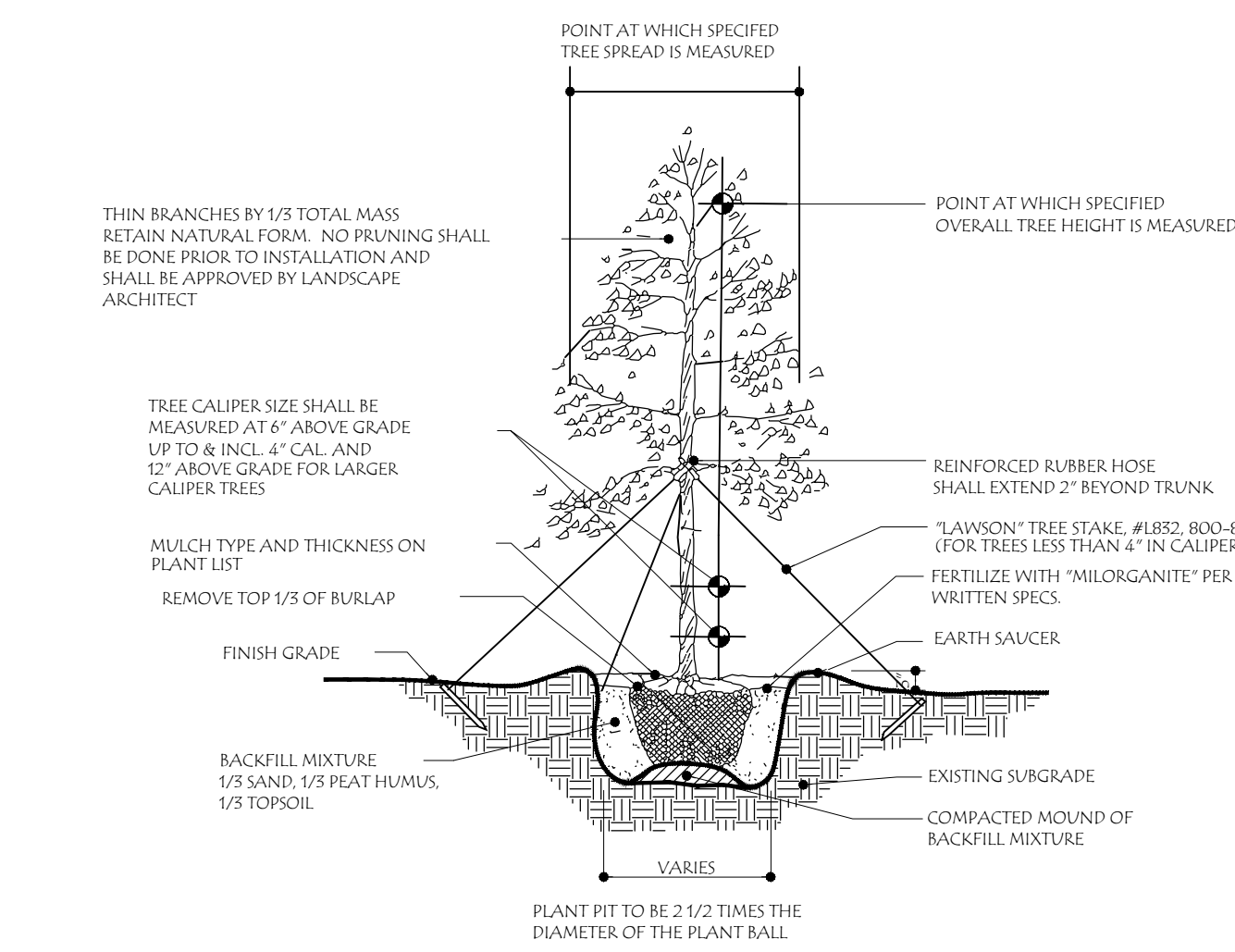
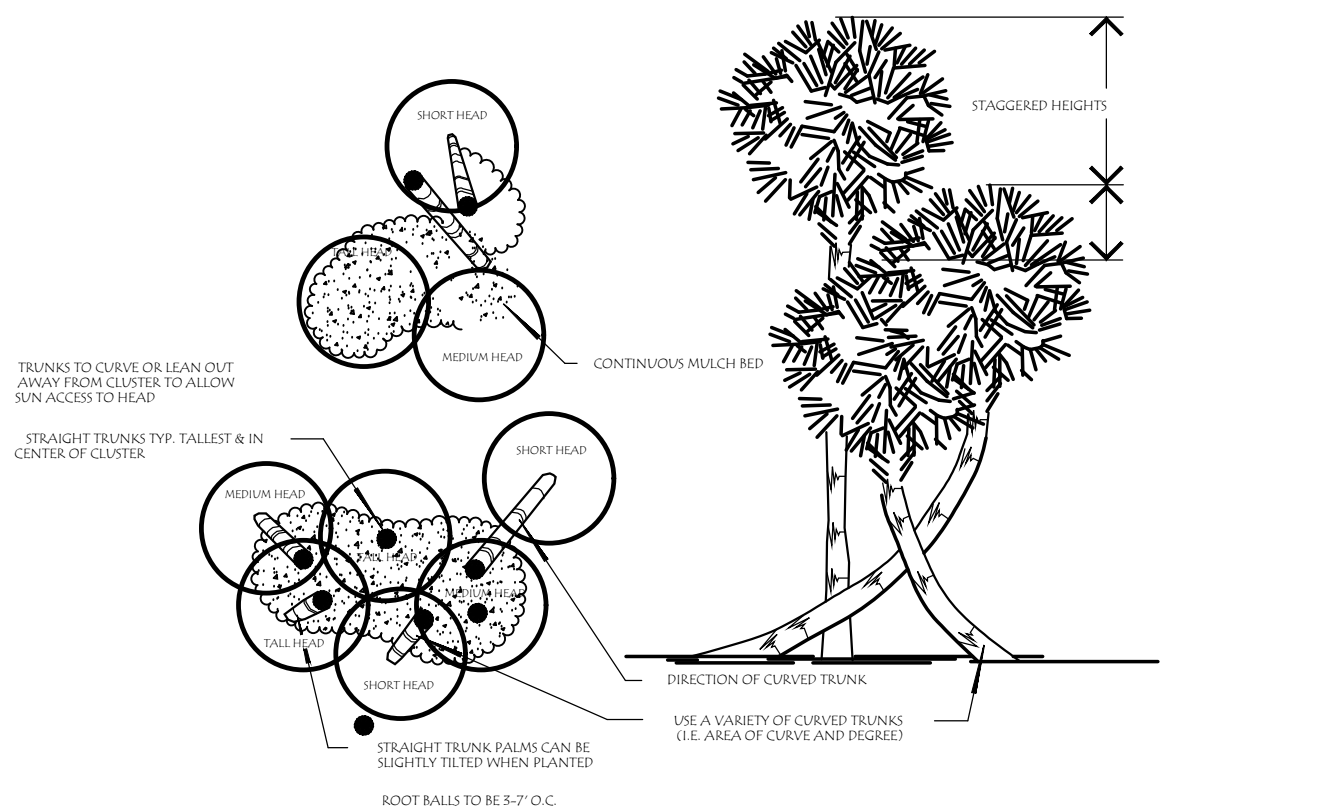
TREES & PALMS	PLANT LIST																			
	WATER USE	DROUGHT TOLERANT	SALT TOLERANT	LIGHT LEVELS	WIND RESISTANT	GROWTH RATE	KEY	QTY.	BOTANICAL NAME	COMMON NAME	SIZE	SPREAD	SPACING	REMARKS						
	MW	Y	Y	HL	M	M	CO	10	Cordia sebestena	ORANGE GEIGER	12' O.A., 2" D.B.H.	5-6'	A.S.	FULL & THICK, HEAVY TRUNKS						
	LW	Y	Y	HL	H	F	*CS	15	Coniarcus erectus sericues	SILVER BUTTWOOD STD.	12' O.A., 2" D.B.H.	5-6'	A.S.	FULL & THICK, THICK CANOPY						
	LW	Y	Y	HL	H	M	*OV	14	Quercus virginiana	HIGH RISE OAK	12' O.A., 2" D.B.H.	5-6'	A.S.	FULL & THICK, THICK CANOPY						
	LW	Y	Y	HL	H	F	*BS	13	Bursea simaruba	GUMBO LIMBO	12' O.A., 2" D.B.H.	5-6'	A.S.	FULL & THICK, THICK CANOPY						
	LW	Y	Y	HL	M	M	*IA	30	Ilex x attenuata	ILEX 'EAST PALATKA'	12' O.A., 2" D.B.H.	5-6'	A.S.	FULL & THICK, THICK CANOPY						
	LW	N	M	HL	M	M	PE-2	3	Ptychosperma elegans	ALEXANDER PALM 'DOUBLE'	8' G.W.	8-10'	A.S.	FULL & THICK, THICK CANOPY, SCAR FREE						
	LW	Y	Y	HL	H	S	*SP	18	Sabal palmetto	CABBAGE PALM	12-22" C.T.		A.S.	HURRICANE CUT HEAD, STAGGER HTS IN GROUPS						
														2/3 CURVED TRUNKS, SLICK						

SHRUBS & GROUND COVERS	WATER USE	DROUGHT TOLERANT	SALT TOLERANT	LIGHT LEVELS	WIND RESISTANT	GROWTH RATE	KEY	QTY.	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	REMARKS
	MW	N	Y	HL	H	M	FGI	65	FICUS MICROCARPA	FICUS 'GREEN ISLAND'	#3, 12" X 14" O.A.	24" O.C.	FULL & THICK TO BASE
	LW	Y	Y	HL	H	F	* CHR	1797	CHRYSOBALANUS ICACO	COCOPILUM 'RED TIP'	#3, 24" O.A.	24" O.C.	FULL & THICK TO BASE
	LW	Y	Y	HL	H	S	* ILE	42B	ILEX VOMITORIA 'STOKES DWF.'	DWF. YAUPON HOLLY	#3, 12 X 12"	24" O.C.	FULL & THICK TO BASE
	LW	Y	Y	HL	M	S	* MYR	42	MYRCANTHES FRAGRANS	SIMPSON'S STOPPER	#3, 24" O.A.	24" O.C.	FULL & THICK TO BASE
	MW	N	M	HL	M	F	CRJ	5	CRINUM AUGUSTUM	CRINUM LILLY 'QUEEN EMMA'	#7, 24" O.A.	A.S.	FULL & THICK TO BASE, 1 P.P.P.

- *• DENOTES NATIVE MATERIAL
- *SOD- ST. AUGUSTINE OR BAHIA
- *MULCH- TO BE APPLIED TO ALL PLANTING BEDS, 3" THICK MIN., SHREPPED MELALUECA MULCH OR FLORI-MULCH
- *ALL PLANTING AREAS SHALL RECEIVE 100% COVERAGE FROM A FULLY AUTOMATIC IRRIGATION SYSTEM EQUIPPED WITH A RAIN SENSOR.
- *HW= HIGH WATER USE
- *MW= MEDIUM WATER USE
- *LW= LOW WATER USE
- *N= NO
- *Y= YES
- *HL= FULL SUN/ LIGHT REQUIREMENTS
- *ML= MEDIUM SUN/ LIGHT REQUIREMENTS
- *LL= LOW SUN/ LIGHT REQUIREMENTS
- *H= HIGH
- *M= MEDIUM
- *L= LOW
- *F= FAST
- *S= SLOW



PALM PLANTING DETAIL



SPECIFICATIONS

PLANT MATERIAL: PROVIDE SIZES AND SPECIFICATIONS OF PLANTS AS SHOWN ON PLANS OR LISTED ON PLANT LIST. PLANT QUANTITIES SHOWN ON THE PLANS SHALL CONTROL OVER QUANTITIES SHOWN IN THE PLANT LIST. ALL TREES, PALMS, SHRUBS, GROUND COVERS AND OTHER PLANTS SHALL CONFORM TO THE STANDARD OF FLORIDA NO. 1 OR BETTER AS GIVEN IN THE LATEST EDITION OF GRADES AND STANDARDS FOR NURSERY PLANTS BY FLORIDA DEPARTMENT OF AGRICULTURE, PART I AND II. PLANT MATERIAL SHALL ALSO CONFORM TO THE AMERICAN ASSOCIATION OF NURSERYMEN, INC. (ANSI) BULLETIN 2 601-1-1990 AND AS REVISED.

SPECIMEN PLANTS SHALL BE FLORIDA FANCY OR BETTER AND SHALL CONFORM TO THE LITERATURE STANDARDS LISTED ABOVE.

SOD SHALL MEET AMERICAN SOD PRODUCES ASSOCIATION STANDARDS FOR NURSERY GROWN SOD FOR THICKNESS OF CUT, PAD SIZE, STRENGTH OF SECTIONS, MOISTURE CONTENT AND THATCH. SOD SHALL BE GUARANTEED TO BE UNIFORM IN COLOR, LEAF TEXTURE, AND SHOOT DENSITY AND FREE OF WEEDS, DISEASE, FUNGUS, INSECTS OR OTHER IMPERFECTIONS AND SUFFICIENTLY KNITTED TO SUSTAIN GROWTH. SOD SHALL BE MOWED FOR FINAL ACCEPTANCE.

WARRANTY: WARRANT ALL PLANT MATERIAL FOR A PERIOD OF NINETY (90) DAYS FROM THE DATE OF FINAL ACCEPTANCE AGAINST DEATH AND UNHEALTHY CONDITION, EXCEPT AS MAY RESULT FROM NEGLIGENCE BY OWNER, DAMAGE BY OTHERS AND UNUSUAL PHENOMENA BEYOND CONTRACTOR'S CONTROL. REPLACEMENTS SHALL BE MADE WITH COMPATIBLE SIZE AND QUALITY OF MATERIAL AT A TIME REQUESTED OR ACCEPTABLE BY THE OWNER OR LANDSCAPE ARCHITECT. PLANT MATERIAL REJECTED DURING THE COURSE OF CONSTRUCTION SHALL BE REMOVED WITHIN FIVE (5) WORKING DAYS AND REPLACED BEFORE THE FINAL INSPECTION FOR COMPLETION WILL BE SCHEDULED. WARRANTY ON REPLACEMENT PLANTS SHALL BE 90 DAYS FROM THE DATE OF FINAL ACCEPTANCE OF THE REPLACEMENTS. ANY DAMAGE TO SODDED OR SEEDING AREAS DURING REPLACEMENT OF PLANT MATERIAL SHALL BE CORRECTED BY THE LANDSCAPE CONTRACTOR.

QUANTITIES, LOCATION AND SUBSTITUTIONS: THE QUANTITIES OF PLANT MATERIALS SHOWN ON PLANS SHALL TAKE PRECEDENCE OVER THE PLANT QUANTITIES ON THE PLANT LIST. THE LANDSCAPE ARCHITECT RESERVES THE RIGHT TO ADJUST THE NUMBER AND LOCATIONS OF THE DESIGNATED TYPES AND SPECIES OF PLANTS TO BE USED AT ANY OF THE LOCATIONS SHOWN. THE OWNER SHALL RECEIVE A CREDIT OR DEBIT FOR THE UNIT PRICE OF THE PLANT MATERIAL. NO SUBSTITUTION OF PLANT MATERIAL TYPES, SPECIFICATIONS OR SIZES WILL BE PERMITTED WITHOUT WRITTEN AUTHORIZATION FROM THE LANDSCAPE ARCHITECT. THE OWNER AND/OR LANDSCAPE ARCHITECT RESERVES THE RIGHT TO NOT ACCEPT PLANT MATERIAL THAT DOES NOT, IN THE OPINION OF THE OWNER AND/OR LANDSCAPE ARCHITECT, MEET THE SPECIFICATIONS HEREIN.

FERTILIZATION:

PROVIDE FERTILIZER UNIFORM IN COMPOSITION, DRY, AND IN A FREE FLOWING CONDITION FOR APPLICATION BY SUITABLE EQUIPMENT, AND DELIVER IN UNOPENED BAGS OR CONTAINERS, EACH FULLY LABELED.

FERTILIZE TREES, SHRUBS AND GROUND COVERS WITH "MILORGANITE" OR AN APPROVED COMPLETE FERTILIZER. APPLY "MILORGANITE" IN A CIRCLE AROUND THE PLANT BEFORE MULCHING. DO NOT TOUCH THE PLANT WITH THE FERTILIZER. WATER IN FERTILIZER AFTER MULCHING. APPLY "MILORGANITE" FERTILIZER AT THE FOLLOWING RATE:

5.00 LBS. OR 14.5 CUPS / PALMS
3.00 LBS. OR 8.70 CUPS / 12-16" MATERIAL
2.00 LBS. OR 5.80 CUPS / 8-12" MATERIAL
0.69 LBS OR 2.00 CUPS / 6-8" MATERIAL
0.19 LBS OR 1/2 CUP / 3 GAL. MATERIAL
0.10 LBS. OR 1/4 CUP / 1 GAL. MATERIAL

FERTILIZE TURF AREAS WITH TYPE I FERTILIZER, COMPLYING WITH THE STATE FERTILIZER LAWS. THE FERTILIZER SHALL BE CHEMICALLY DESIGNATED WITH 12-8-8. PROVIDE AT LEAST 50% OF THE PHOSPHORIC ACID FROM NORMAL SUPER PHOSPHATE OR AN EQUIVALENT SOURCE PROVIDING A MINIMUM OF TWO UNITS OF SULFUR. THE AMOUNTS OF SULFUR AND ALL OTHER CHEMICALS SHALL BE INDICATED ON THE QUANTITATIVE ANALYSIS CARD ATTACHED TO THE UNOPENED BAG.

SUPER ABSORBENT POLYMER: "TERRA SORB" OR APPROVED EQUAL AS PACKAGED IN 3 OZ. HANDY PAC COMPOSED OF SYNTHETIC ACRYLAMIDE COPOLYMER, POTASSIUM, ACRYLATE. PARTICLE SIZE OF 10 MM TO 3.0 MM AND ABSORPTION RATE OF 300 TIMES ITS WEIGHT IN WATER. APPLY DRY, USING THE FOLLOWING AMOUNTS:

1 PAC / TREE - 36" BALL
2 PACS / TREE - OVER 36" BALL
1 PAC / 20 GAL.
0.5 PACS / 7-10 GAL.
0.25 PACS / 3 GAL.
0.12 PACS / 1 GAL.

BACKFILL MIXTURE: 1/3 SAND, 1/3 TOPSOIL, 1/3 PEAT HUMUS.

SAND SHALL BE CLEAN, SALT-FREE AND CONTAINING NO EXTRANEOUS MATTER.

TOPSOIL SHALL BE FRIABLE FERTILE SOIL WITH REPRESENTATIVE CHARACTERISTICS OF AREA SOILS. IT SHOULD BE FREE OF HEAVY CLAY, SILT, STONE, EXCESS LIME, SHELL ROCK, PLANT ROOTS, DEBRIS OR OTHER FOREIGN MATTER. IT SHALL NOT CONTAIN NOXIOUS PLANT GROWTH (SUCH AS BERMUDA, TORPEDO OR NUT GRASS). IT SHALL TEST BETWEEN THE PH RANGE OF 5.0 TO 7.0 UNLESS OTHERWISE SPECIFIED AND CONTAIN NO TOXIC RESIDUE OR SUBSTANCES THAT WOULD ENDANGER PLANT GROWTH. IF TOPSOIL IS NOT AVAILABLE ON SITE, IT SHALL BE IMPORTED FROM LOCAL SOURCES WITH SIMILAR SOIL CHARACTERISTICS TO THAT FOUND AT PROJECT SITE. OBTAIN TOPSOIL ONLY FROM NATURALLY, WELL-DRAINED SITES WHERE TOPSOIL OCCURS IN A DEPTH NOT LESS THAN 4".

PEAT HUMUS SHALL BE DECOMPOSED PEAT WITH NO IDENTIFIABLE FIBERS OR IF AVAILABLE, MUCK MAY BE SUBSTITUTED AND SHALL BE FREE FROM STONES, EXCESSIVE PLANT ROOTS, DEBRIS OR OTHER FOREIGN MATTER. MUCK SHALL NOT BE OVERLY SATURATED WITH WATER.

UTILITIES: ABOVE AND BELOW GROUND UTILITIES SHALL BE VERIFIED AND LOCATED BY THE LANDSCAPE CONTRACTOR PRIOR TO COMMENCING WORK IN THE PROJECT AREA. IF UTILITY PLANS ARE AVAILABLE, THE CONTRACTOR SHALL EXAMINE THEM AND BRING ANY AND ALL CONFLICTS TO THE ATTENTION OF THE OWNER AND/OR LANDSCAPE ARCHITECT.

WHEN WORKING IN AN AREA WHERE KNOWN UTILITIES EXIST, UTILITY LOCATIONS MAY NEED TO BE STAKED BY A SURVEYOR OR THE UTILITY COMPANIES. THE CONTRACTOR HAS THE OPTION TO CONTACT U.N.C.L.E. AT 1-800-432-4770 TO SCHEDULE LOCATION OF THE UTILITIES WHICH SUBSCRIBE TO THEIR SERVICE.

WEEDS: PRIOR TO THE INSTALLATION OF PLANTS, THE SITE SHALL BE FREE OF WEEDS, GRASS, SOD, DEBRIS, ROCKS OR OTHER MATERIAL MAKING THE SITE UNPLANTABLE. FOR FINAL ACCEPTANCE ALL PLANTED AREAS SHALL BE WEED FREE.

GRADING: THE LANDSCAPE CONTRACTOR SHALL COORDINATE THE INSTALLATION AND GRADING OF TOPSOIL, IF NECESSARY, WITH THE GENERAL CONTRACTOR, TO INSURE THE SITE IS AT FINISH GRADE PRIOR TO INSTALLING PLANTS.

PLANTING TREES:

LAYOUT PLANTS ACCORDING TO LANDSCAPE PLANS. IF A CONFLICT ARISES AS TO THE LOCATION, SPACING OR OTHER CONFLICT, CONTACT THE LANDSCAPE ARCHITECT IMMEDIATELY.

EXCAVATE PIT TO TWO AND ONE-HALF (2 1/2) TIMES THE DIAMETER OF TREE BALL AND NOT LESS THAN 6" DEEPER. COMPACT A LAYER OF BACKFILL MIXTURE IN PIT TO LOCATE COLLAR OF PLANT PROPERLY IN A SLIGHTLY DISHED FINISH GRADE. BACKFILL AROUND BALL WITH BACKFILL MIXTURE, COMPACTED TO ELIMINATE VOIDS AND AIR POCKETS, WATERING THOROUGHLY AS LAYERS ARE PLACED. BUILD 3" HIGH BERM OF SOIL BEYOND EDGE OF EXCAVATION. APPLY FERTILIZER AS SPECIFIED AND THEN MULCH WITH THE TYPE AND THICKNESS SPECIFIED ON PLANT LIST.

PRUNING SHALL BE DONE ON SITE AFTER PLANTING FOR DAMAGED LIMBS OR AS DIRECTED TO IMPROVE OVERALL PLANT APPEARANCE. DO NOT REMOVE MORE THAN 15% OF BRANCHES. PRUNING METHODS SHALL FOLLOW STANDARD HORTICULTURAL PRACTICES USING APPROPRIATE TOOLS. LOPPING, SHEARING OR TOPPING OF PLANT MATERIAL WILL BE GROUNDS FOR REJECTION. DAMAGED, SCARRED, FRADED, SPLIT OR SKINNED BRANCHES, LIMBS OR ROOTS TO BE PRUNED BACK TO LIVE WOOD. THE CENTRAL LEADER OR BUD SHALL BE LEFT INTACT UNLESS SEVERELY DAMAGED.

GUY AND STAKE TREES: LESS THAN 4" IN CALIPER, IN THREE DIRECTIONS WITH "LAWSON" TREE STAKES, 8' STRAPS, 32" STAKES, MODEL #1832. STAKE TREES IMMEDIATELY AFTER PLANTING. FOR MULTI-TRUNK PLANT MATERIAL, ATTACH GUYS TO THREE (3) LARGEST LIMBS. CARE MUST BE TAKEN NOT TO MAKE GUYS TOO TIGHT. FOR TREES 4" IN CALIPER AND OVER, TREES MUST BE STAKED WITH WOOD 2X4 METHOD. FOLLOW PALM STAKING DETAIL FOR REQUIREMENTS. THE LANDSCAPE ARCHITECT RESERVES THE RIGHT TO ELIMINATE GUYING OR STAKING. THE OWNER SHALL RECEIVE A CREDIT OR DEBIT FOR THE UNIT PRICE OF THE GUYING OR STAKING.

PLANTING SHRUBS:

EXCAVATE PITS OR TRENCH TO ONE AND ONE-HALF (1-1/2) TIMES DIAMETER OF BALLS OR CONTAINERS, AND 3" DEEPER THAN REQUIRED FOR POSITIONING AT PROPER HEIGHT. COMPACT A LAYER OF BACKFILL MIXTURE IN BOTTOM BEFORE PLACING PLANTS. CONTAINER GROWN MATERIALS SHALL BE PLANTED WITH 48 HOURS AFTER DELIVERY TO SITE. PLACE PLANT IN PIT AND BACKFILL AROUND PLANTS WITH BACKFILL MIXTURE, COMPACTED TO ELIMINATE VOIDS AND AIR POCKETS. WATER THOROUGHLY AS LAYERS ARE PLACED. FORM A 3" HIGH BERM OF SOIL BEYOND THE EDGES OF EXCAVATION. APPLY FERTILIZER AS SPECIFIED AND THEN MULCH WITH THE TYPE AND THICKNESS SPECIFIED ON PLANT LIST.

PRUNE SHRUBS TO REMOVE DAMAGED BRANCHES, IMPROVE NATURAL SHAPE, THIN OUT STRUCTURE AND REMOVE NOT MORE THAN 15% OF BRANCHES.

PLANTING GROUND COVERS:

LOOSEN SUBGRADE TO DEPTH OF 4" IN AREAS WHERE TOPSOIL HAS BEEN STRIPPED, AND SPREAD BACKFILL MIXTURE.

SPACE PLANTS AS OTHERWISE INDICATED. DIG HOLES LARGE ENOUGH TO ALLOW FOR SPREADING OF ROOTS. COMPACT BACKFILL TO ELIMINATE VOIDS, AND LEAVE GRADE SLIGHTLY DISHED AT EACH PLANT. WATER THOROUGHLY. APPLY FERTILIZER AS SPECIFIED AND THEN MULCH WITH THE TYPE AND THICKNESS SPECIFIED ON PLANT LIST. LIFTING PLANT FOLIAGE ABOVE MULCH. MULCH SHALL BE SPREAD BEFORE PLANTING PLANTS IN POTS LESS THAN 1 GALLON SIZE (4", LINERS, ETC.).

PLANTING LAWS:

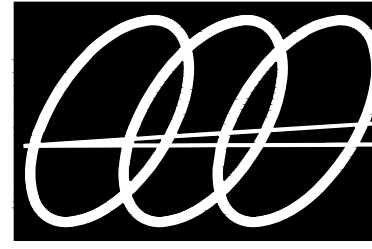
SOD TYPE SPECIFIED ON PLANT LIST SHALL BE MACHINE STRIPPED NOT MORE THAN 24 HOURS PRIOR TO LAYING.

LOOSEN SUBGRADE TO DEPTH OF 4" AND GRADE WITH TOPSOIL EITHER PROVIDED ON SITE OR IMPORTED TO FINISH DESIGN ELEVATIONS. ROLL PREPARED LAWN SURFACE. WATER THOROUGHLY, BUT DO NOT CREATE MUDDY SOIL CONDITION.

FERTILIZE SOIL AT THE RATE OF APPROXIMATELY 10 LBS. PER 1000 S.F. SPREAD FERTILIZER OVER THE AREA TO RECEIVE GRASS BY USING AN APPROVED DISTRIBUTION DEVICE CALIBRATED TO DISTRIBUTE THE APPROPRIATE QUANTITY. DO NOT FERTILIZE WHEN WIND VELOCITY EXCEEDS 15 M.P.H.. THOROUGHLY MIX FERTILIZER INTO THE TOP 2" OF TOPSOIL.

LAY SOD STRIPS WITH TIGHT JOINTS, DO NOT OVERLAP. STAGGER STRIPS TO OFFSET JOINTS IN ADJACENT COURSES. WORK SIFTED SOIL MIX INTO MINOR CRACKS BETWEEN PIECES OF SOD AND REMOVE EXCESS SOIL DEPOSITS FROM SODDED AREAS. SOD ON SLOPES GREATER THAN 3:1 SHALL BE STAKED IN PLACE. ROLL OR TAMP LIGHTLY AND WATER THOROUGHLY WITH A FINE SPRAY IMMEDIATELY AFTER PLANTING.

LANDSCAPE MAINTENANCE: MAINTENANCE AND GENERAL CLEAN UP SHALL BE PERFORMED DAILY. MAINTENANCE SHALL INCLUDE BUT NOT BE LIMITED TO WATERING, WEEDING, CULTIVATING, RESTORATION OF GRADE, REMOVAL OF LITTER, MOWING, PRUNING, RESETTLED PLANTS, REMOVING, REPAIRING OR REPLACING STAKES AND GUYS, PROTECTION FROM INSECTS AND DISEASES, FERTILIZATION AND SIMILAR OPERATIONS AS NEEDED TO ENSURE NORMAL GROWTH AND HEALTHY PLANT MATERIAL. MAINTENANCE SHALL BEGIN AFTER EACH PLANT IS PLANTED AND SHALL CONTINUE FOR NINETY (90) DAYS FROM THE DATE OF FINAL ACCEPTANCE.



Gentile Glas
Holloway
O'Mahoney
& Associates, Inc.
Landscape Architects
Planners and
Environmental Consultants

1907 Commerce Lane
Suite 101
Jupiter, Florida 33458
561-575-9557
561-575-5260 FAX
www.2GHO.com

Conceptual Site Development Plan
Dyer Industrial East
Riviera Beach, Florida

Designed: MTH BRD
Drawn: BRD
Approved: GGG MTH EMO
Date: 11/12/18
Job no.
Revisions: 08/28/19
12/4/19
3/2/20

Cad no. CAD0

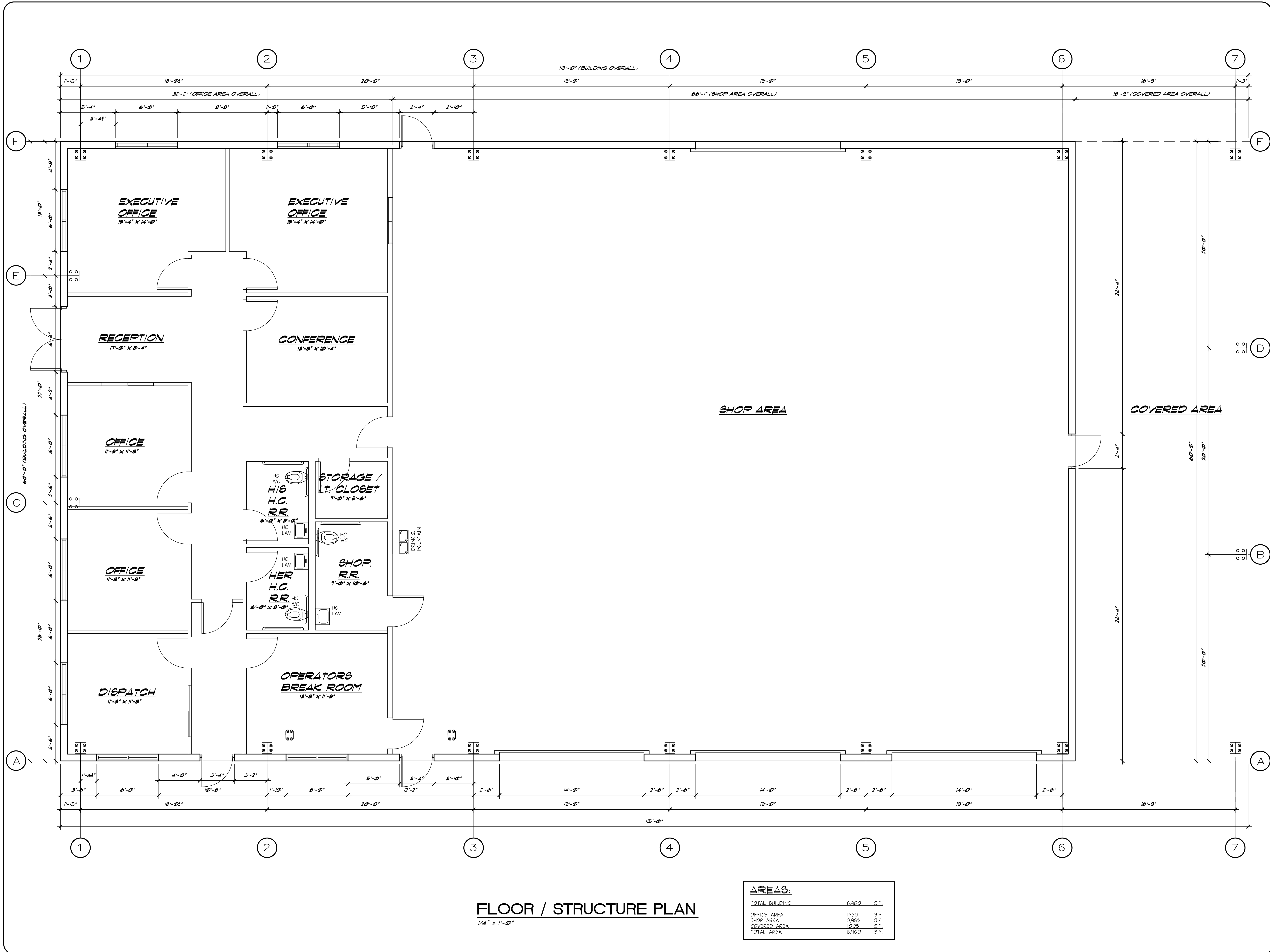
Seal


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Landscape
Specification
Plan

Scale: N.T.S.

Sheet No.

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DATE
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RENTAL**

4922 DYER BOULEVARD

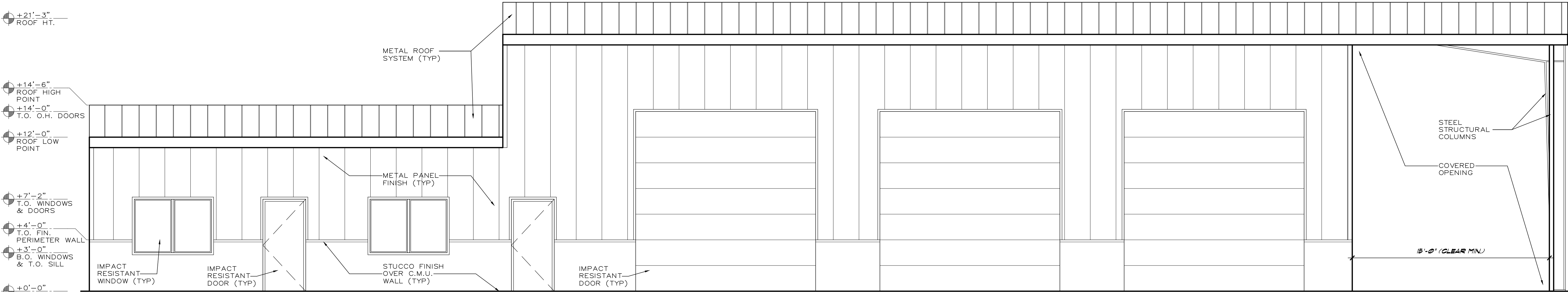
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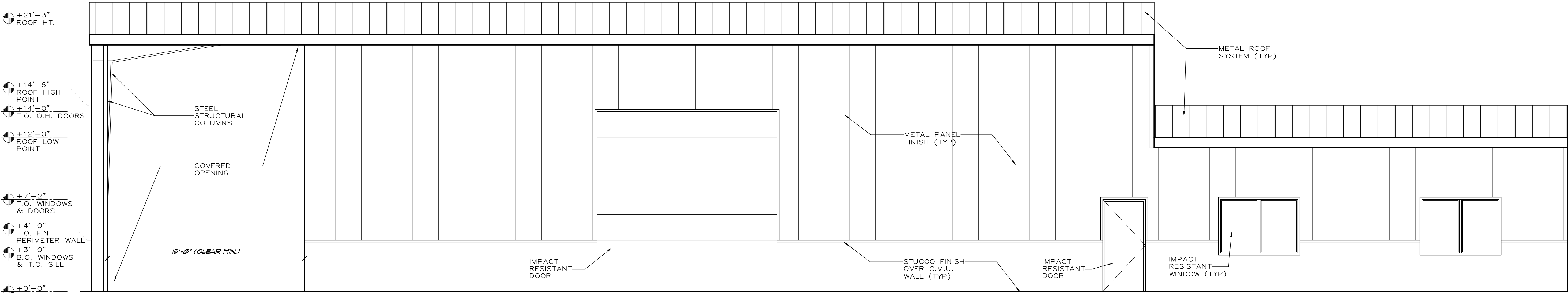
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OF 6

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WEST ELEVATION
1/4" = 1'-0"



EAST ELEVATION
1/4" = 1'-0"



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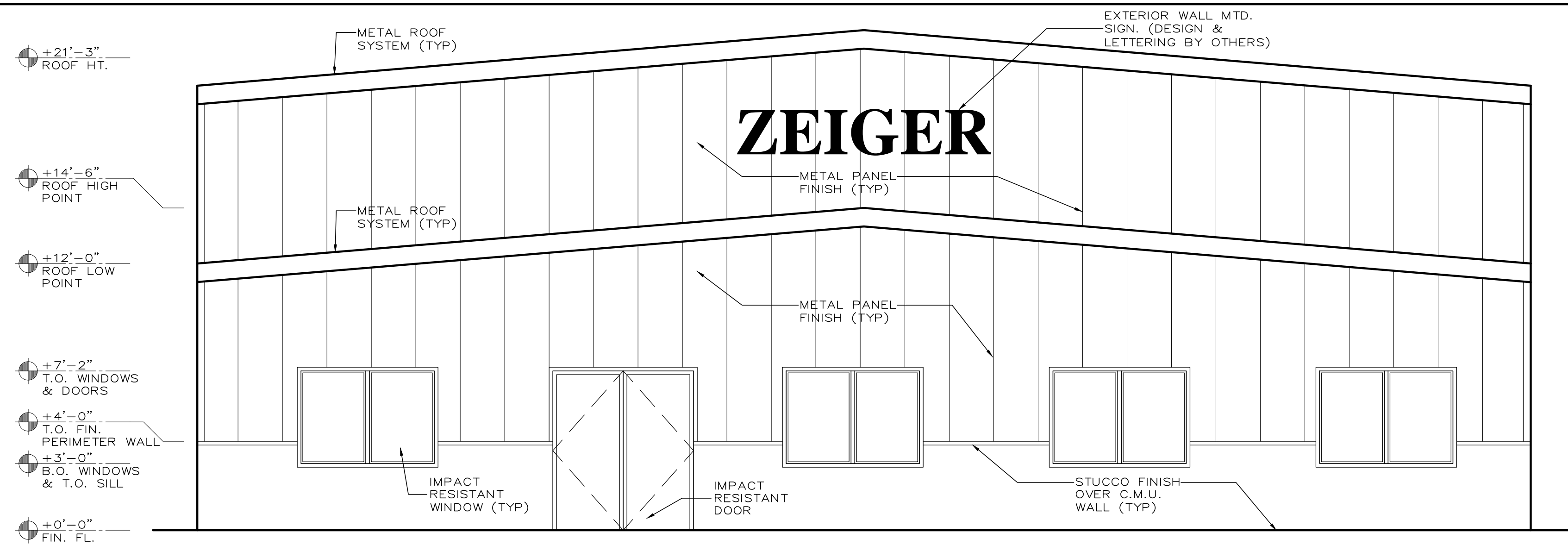
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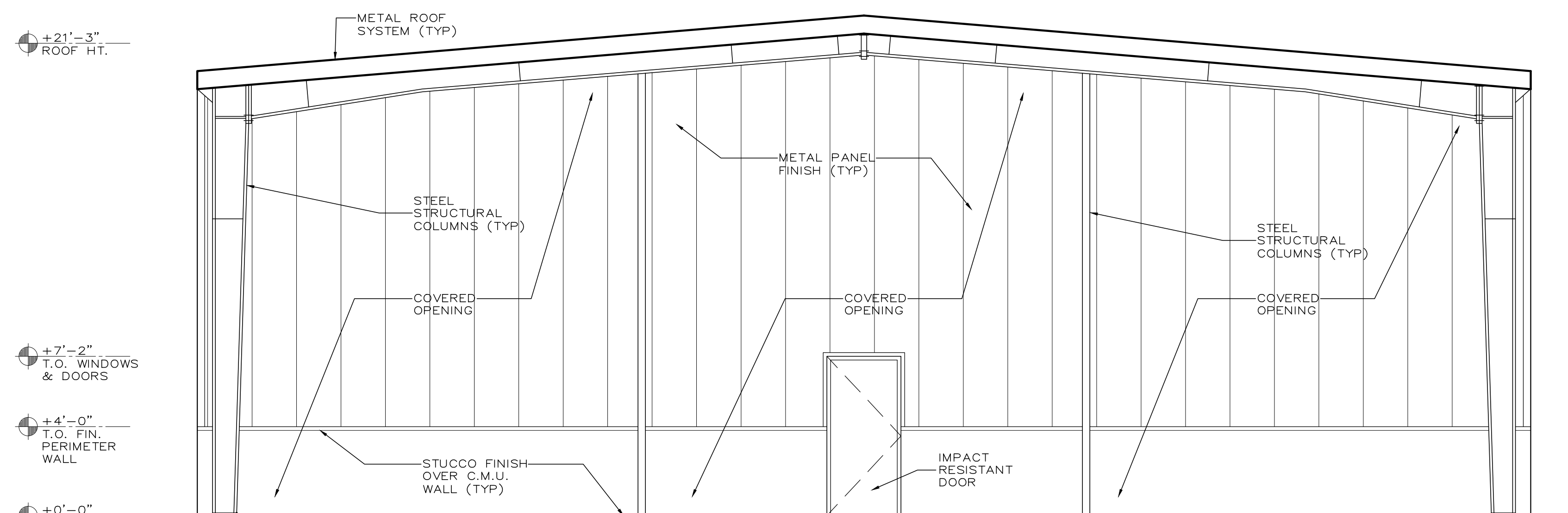
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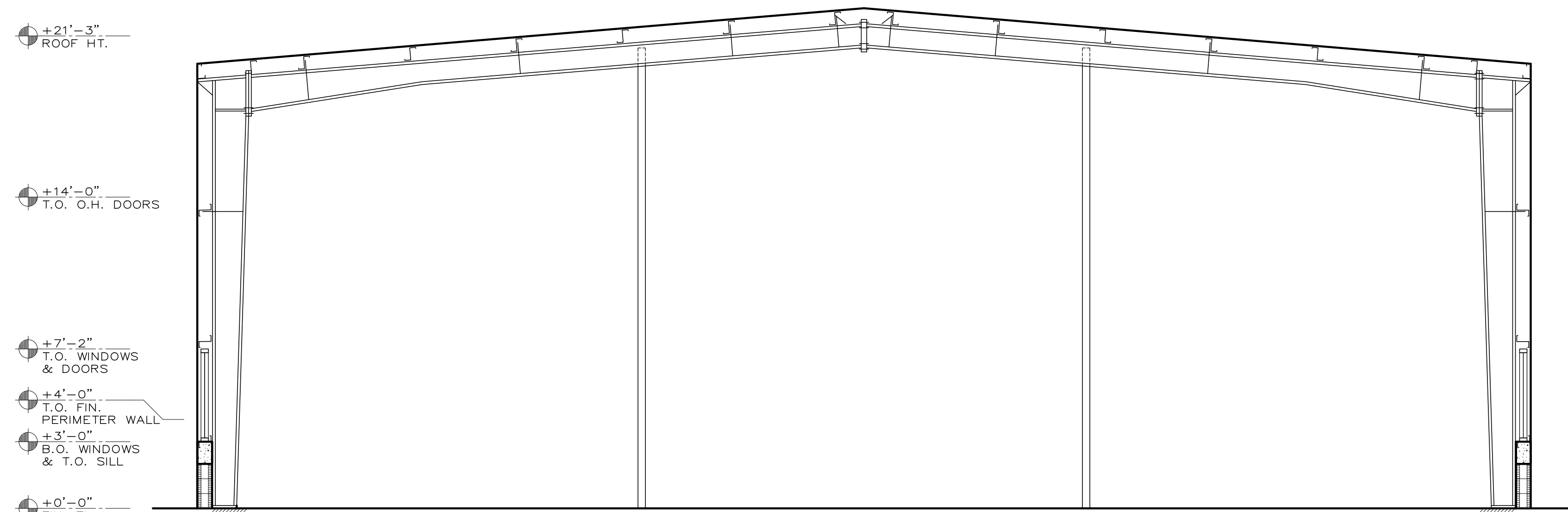
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NORTH ELEVATION
1/4" = 1'-0"



SOUTH ELEVATION
1/4" = 1'-0"



BUILDING SECTION
1/4" = 1'-0"



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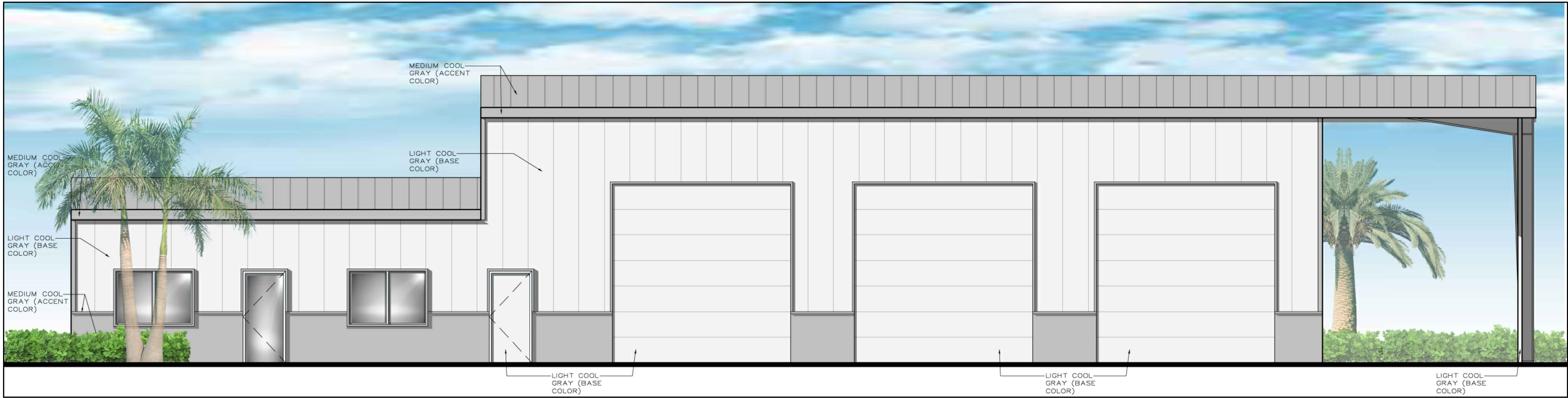
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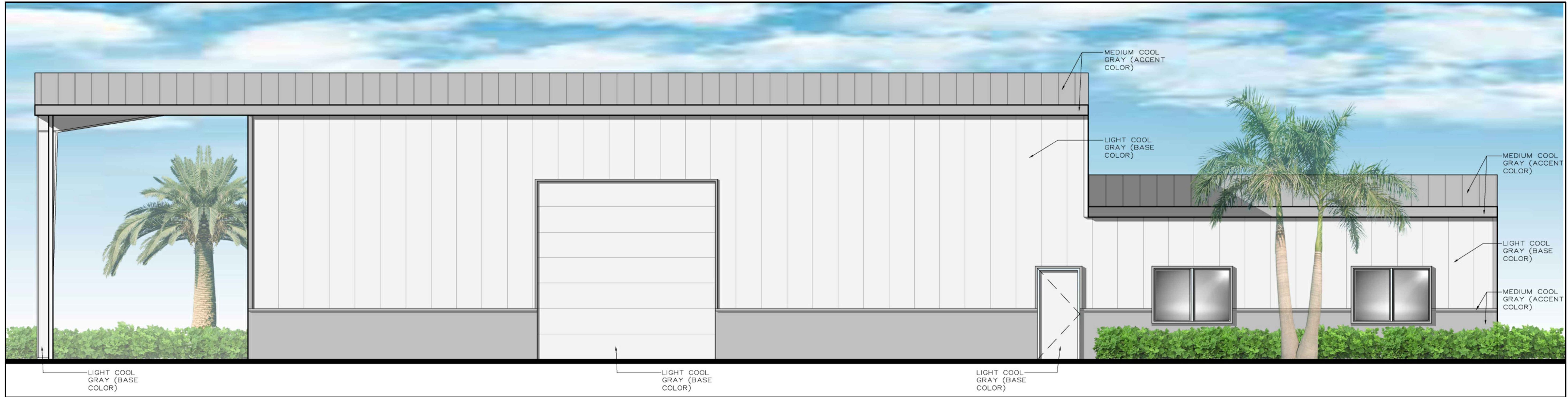
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OF 6

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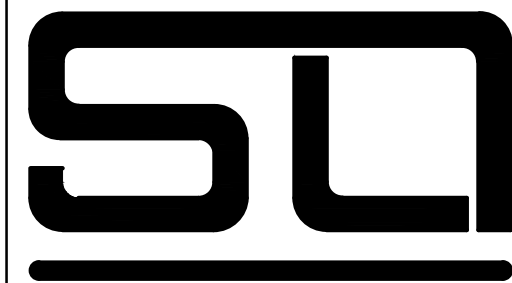
WEST ELEVATION

1/4" = 1'-0"



EAST ELEVATION

1/4" = 1'-0"



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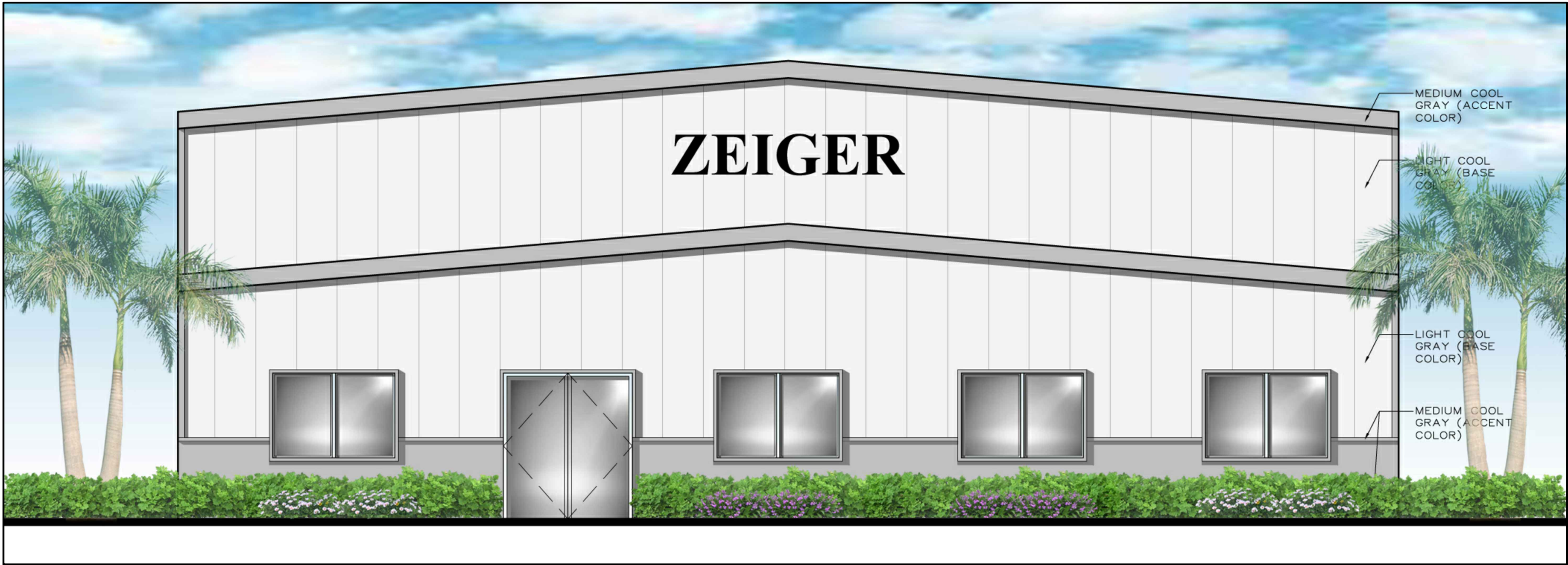
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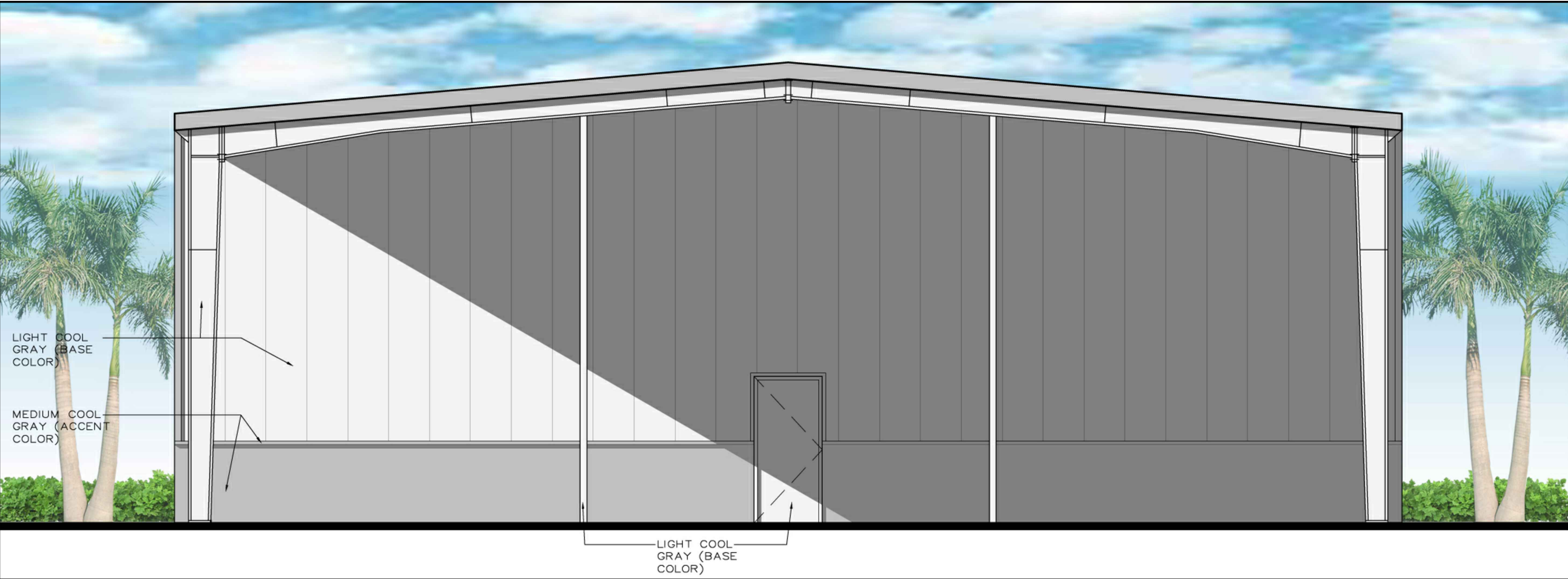
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NORTH ELEVATION



SOUTH ELEVATION



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RENTAL

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RIVIERA BEACH,
FLORIDA

SHEET

A-5

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LAST DATE PRINTED 2-14-17 (PRELIM) / 5-14-18 (ELEVATIONS) / 5-16-18 (REVISED PLANS & ELEVATIONS) / 8-23-18 (ZONING COMMENTS)

For Staff Use Only

City of Riviera Beach Community Development Department 600 W. Blue Heron Boulevard Riviera Beach, Florida 33404 Phone: (561) 845-4060 Fax : (561) 845-4038	Date:	Case Number:
	Project Title:	
	Fee Paid:	Notices Mailed:
	1st Hearing:	2nd Hearing:
	Publication Dates (if required)	

UNIFORM LAND USE APPLICATION

(Please attach separate sheet of paper for required additional information)

Complete appropriate sections of Application and sign.

APPLICANT	Name of Property Owner(s):	Hinterland Group #2 LLC - Daniel Duke III		
	Mailing Address:	2051 W. Blue Heron Blvd, Riviera Beach, FL 33404		
	Property Address:	4922 Dyer Blvd.		
	Name of Applicant (if other than owner):	Steve Zeiger/Spencer Zeiger		
	Home: (561) 882-1550	Work: ()	Fax: (561) 882-1650	
	E-mail Address:	spencer@zeigercrane.com		

PLEASE ATTACH LEGAL DESCRIPTION

PROPERTY	Future Land Use Map Designation:	IND -Industrial	Current Zoning Classification:	IL- Light Industrial
	Square footage of site:	130,679.56 sf	Property Control Number (PCN):	56-42-42-36-00-000-3070
	Type and gross area of any existing non residential uses on site:	site is vacant		
	Gross area of any proposed structure:	5,895 sf one story building		
	Is there a current or recent use of the property that is/was in violation of City Ordinance?	[] Yes [x] No		
	If yes, please describe:	NA		
	Have there been any land use applications concerning all or part of this property in the last 18 months?	[] Yes [x] No		
	If yes, indicate date, nature and applicant's name:			
	Briefly describe use of adjoining property:	North:	Industrial Use - MCI Telecommunications	
		South:	Residential Development -	
	East:	Vacant Industrial		
	West:	Conservation		

REZONE	Requested Zoning Classification:	NA
	Is the requested zoning classification contiguous with existing?	NA
	Is a Special Exception necessary for your intended use?	[] Yes [x] No
	Is a Variance necessary for your intended use?	[] Yes [x] No


FUTURE LAND USE	Existing Use: Vacant	Proposed Use: Industrial - Contractor's Storage
	Land Use Designation: Industrial - IND	Requested Land Use: NA
	Adjacent Land Uses: North: Industrial - IND South: MF-15 Residential High Density	
	East: Industrial - IND West: Vacant - Industrial	
Size of Property Requesting Land Use Change: NA		

SPECIAL EXCEPTION	Describe the intended use requiring a Special Exception: NA
	Provide specific LDR ordinance section number and page number: NA
	How does intended use meet the standards in the Land Development Code? NA
	Demonstrate that proposed location and site is appropriate for requested use: NA
	Demonstrate how site and proposed building(s) have been designed so they are compatible with adjacent uses and neighborhoods: NA
	Demonstrate any landscaping techniques to visually screen use from adjacent uses: NA
	Demonstrate what is proposed to reduce the impact of any potential hazards, problems, public nuisances generated by use: NA
	Demonstrate how utilities and other service requirements of the use can be met: NA
	Demonstrate how the impact of traffic generated will be handled: On-site: NA Off-Site: NA Other: NA

VARIANCE	Describe the Variance sought: NA
	Demonstrate that the Variance is needed to overcome a hardship caused by the unique physical conditions of the site: NA
	Specify the minimum Variance requirements including: height, lot area, size of structure, size of yard, setback, buffer or open space: NA
	Other: NA

SITE PLAN	Describe proposed development: NA
	Demonstrate that proposed use is appropriate to site: NA
	Demonstrate how drainage and paving requirement will be met: NA
	Demonstrate any landscaping techniques to visually screen use from adjacent uses: NA
	Demonstrate what is proposed to reduce the impact of any potential hazards, problems, public nuisances generated by use: NA
	Demonstrate how utilities and other service requirements of the use can be met: NA
	Demonstrate how the impact of traffic generated will be handled: On-site: NA Off-site: NA

OTHER	COMMUNICATION TOWER CO-LOCATION REQUIREMENTS:
	<ul style="list-style-type: none"> • Three sets of signed and sealed Construction documents, elevations and all equipment shelters, cabinets, Coax, telephone and power conduits identified. These plans will then be used to obtain the Building Permit. • Antenna manufacture cut sheets including antenna size and shape. • Zoning map of area with site clearly marked. • Photos of existing building or tower and surrounding uses. • Letter of non-interference and FCC compliance from applicant's Radio Frequency Professional. • Map of surrounding carrier existing locations in all directions with type i.e. Guyed, Self-Support, Monopole, Rooftop. • Letter of structural capacity and building code compliance. • Notes on plan or letter demonstrating floor area coverage not in excess of restrictions • Provide Photo Enhancements of proposal. • Statement that proposal is in compliance with Environmental Regulations prior to permit issue.

Confirmation of Information Accuracy	
<p>I hereby certify that the information on this application is correct. The information included in this application is for use by the City of Riviera Beach in processing my request. False or misleading information may be punishable by a fine of up to five hundred dollars (\$500.00) and imprisonment of up to thirty (30) days and may result in the summary denial of this application.</p>	
 Signature	4/9/2019 Date

AGENT AUTHORIZATION FORM

Owner(s) of Record: Hinterland Group #2 LLC

STATE OF FLORIDA
COUNTY OF PALM BEACH

BEFORE ME, the undersigned authority personally appeared Daniel Duke III

who, being first duly sworn upon oath and personal knowledge say(s) that they are the owner(s) of record of the following described real property:

the street address of which is: 4922 Dyer Blvd

and that we hereby appoint:

Name: George G. Gentile (Gentile Glas Holloway O'Mahoney & Associates, Inc. / Zeiger Crane
Address: 1907 Commerce Lane, Suite 101
Jupiter, FL 33458
Telephone: 561-575-9557

as our authorized agent, to file applications and papers with the City of Riviera Beach, and to represent me (us) at any Hearing regarding my (our) interest.

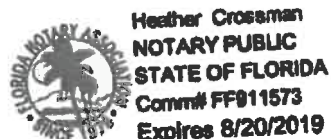
____ (Seal)

____ (Seal)

____ (Seal)

Sworn to and subscribed before me this 9th day of April, 2019.

Heather Crossman
Notary Public





Dyer Industrial East - Zeiger Crane
City of Rivera Beach
Project Narrative
Site Plan Review
May 22, 2019
Revised: March 2, 2020

On behalf of the applicant, Zeiger Crane Rental, Inc., Gentile Glas Holloway O'Mahoney & Associates, Inc. acting as agent, hereby requests review and approval of the submitted application requesting site plan approval to allow for an industrial contractor's storage yard with a 5,895 sf 1-story building on the subject site.

The subject site is 3.00± acres and is located at 4922 Dyer Blvd, approximately 330 feet ± east of the Dyer Blvd/Haverhill Road intersection. Further, the site has a land use designation of Industrial, and a zoning designation of IL; Limited Industrial District.

Site History

The Palm Beach County Property Appraiser records show that the subject parcel was purchased by Hinterland Group #2, LLC in January of 2017. The only other information found about the site is that there was a chain link fence added to the perimeter in 1980. While there was no evidence of structural details on the property, current aerials do indicate that there has been some storage of materials on the property. Upon further research, it was determined that the Southern Truss Companies, an open air roof truss manufacturing plant, was in existence on the subject properties from the early 1980s until about 2008, when the company relocated to Fort Pierce.

Compatibility with Surrounding Uses:

The site is located on Dyer Blvd, in a corridor that contains multiple industrial uses. The proposed use of an office/shop area and contractor's storage yard is consistent and compatible with the surrounding area. Below is a chart listing of the surrounding properties land use and zoning designation.

	Existing Zoning	Existing FLU
Subject Property: <i>Vacant</i>	IL – Light Industrial District	Industrial
North: <i>Communications Tower</i>	IG – General Industrial District	Industrial
South: <i>Turtle Cay Residential Development</i>	R-PUD – Residential Planned Unit Development	MF-15 – Residential High Density
East: <i>Enterprise Truck Rental</i>	IL – Light Industrial District	MF-20 Residential High Density

West: <i>Vacant</i>	IL – Light Industrial District	Industrial
-------------------------------	-----------------------------------	------------

Consistency with the Comprehensive Plan:

The applicant is consistent with the Future Land Use Designation of Industrial, as defined in Policy 1.8.1, “General Industrial.”

Consistency with the Zoning Code:

Article III, Section 31-57 of the City of Riviera Beach zoning code states that the purpose of the site plan review process in the City is to ascertain that the development is in conformity with the comprehensive plan, and is not detrimental to the neighboring land use. This code section also states that the project shall be a viable addition to the community.

This application is also consistent with the “Intent” of the IL – Limited Industrial zoning District as it supports low intensity commercial and industrial uses that will provide increased employment opportunities for the residents of the area.

The proposed office and contractor’s storage uses are permitted in the IL zoning district as a USE BY RIGHT and is consistent with the Industrial land use designation specified in the City of Riviera Beach Comprehensive Plan. The site does not pose a detriment to the neighboring properties as they all have an industrial land use designation. Further the site will be extremely buffered from the adjacent residential to the south, so no adverse impacts are anticipated.

Site Function and Details:

As stated, the applicant is requesting site plan approval for a 5,895 sf office/shop area to be accessory to the proposed 76,294.74 square foot asphalt outdoor storage yard. More specifically, the office use is 1,930 square feet, and the enclosed contractor’s storage use is 3,965 sf. The intended use of this site is to be used as a crane storage area. Circulation will occur via two ingress/egress points on Dyer Boulevard. The parking area will be situated north of the office area/ and outdoor storage area, so employees, and visitors of the site will not have to travel far into the shop area.

The majority of the employees for Zeiger Crane will be working off-site (crane operating at various job sites and truck driving to deliver and/or pick up cranes). The physical office will only maintain 4-5 employees in a typical work day. Additionally, it should be noted that the crane operators and truck drivers usually arrive at the site before the work day begins, and return after the work day is over minimizing any undesired effects with peak hour traffic patterns. This is consistent with the existing operation at the facility which currently operates within the City of Riviera Beach.

Landscaping:

The applicant’s proposal reflects a substantial upgrade in landscape material on a site that is essentially void of vegetation. The total landscaped area will consist of approximately 32,694 square feet or 25.0% of the site. Note, as the majority of this site is a proposed outdoor storage yard, the landscape is concentrated on the perimeter of the site and adjacent to the proposed office.

Traffic and Parking:

The applicant's proposal will cause an insignificant impact on the surrounding roadway network and is in compliance with Palm Beach County Traffic Performance Standards, as demonstrated in the traffic report prepared by Jeff H. Iravani, Inc. The traffic statement included with this submittal has also been submitted to Palm Beach County Traffic Division for their approval. Once an approval letter is received, it will be forwarded to the City of Riviera Beach staff.

Using the off-street parking ratios in Sec. 31-577 of the City's zoning code, the applicant has provided one space for every 300 sq. ft. of office, and one space for every 500 sq. ft. of industrial space. To that end, there are 14 spaces required for the property. The applicant is proposing to provide 25 spaces including 1 handicap space. Please note, to fully comply with ADA requirements, the handicap space and access aisle will be concrete.

Architecture:

The proposed building is 60'x115' and will consist of 4 individual offices, in addition to a break room and conference room for business activities. The overall height of the building will be below the code required maximum of 50', with the roof high point being at 21' - 3".

Conclusion:

This submitted site plan application seeks approval for an outdoor storage yard, and accessory office. As the site is greater than one acre, it is required to obtain site plan approval for the use(s) according to Section 31-58 of the Riviera Beach zoning code. This narrative has demonstrated that it is in compliance with the Riviera Beach Comprehensive Plan, and applicable sections of the City's zoning code. Additionally, there is no detriment to the surrounding area. With that, and on behalf of the applicant, Gentile Glas Holloway O'Mahoney & Associates, Inc. respectfully request review and approval of the submitted site plan application. The project team at Gentile Glas Holloway O'Mahoney & Associates, Inc. consists of George G. Gentile, FASLA, Dan Siemsen, PLA and Alec Dickerson.



**Department of Engineering
and Public Works**

P.O. Box 21229

West Palm Beach, FL 33416-1229

(561) 684-4000

FAX: (561) 684-4050

www.pbcgov.com



**Palm Beach County
Board of County
Commissioners**

Mack Bernard, Mayor

Dave Kerner, Vice Mayor

Hal R. Valeche

Gregg K. Weiss

Robert S. Weinroth

Mary Lou Berger

Melissa McKinlay

County Administrator

Verdenia C. Baker

June 17, 2019

Jeff H. Iravani, P.E.
Jeff H. Iravani, Inc.
1934 Commerce Lane, Suite 5
Jupiter, FL 33458

**RE: Dyer Industrial East
Project #: 190603
Traffic Performance Standards Review**

Dear Mr. Iravani:

The Palm Beach County Traffic Division has reviewed the **Dyer Industrial East** Traffic Impact Statement, dated January 15, 2019, pursuant to the Traffic Performance Standards in Article 12 of the Palm Beach County Unified Land Development Code (ULDC). The project is summarized as follows:

Municipality:	Riviera Beach
Location:	South side of Dyer Blvd, about 400 feet east of Haverhill Rd
PCN:	56-42-42-36-00-000-3070
Access:	Two access driveway connections onto Dyer Blvd (As used in the study and is NOT an approval by the County through this letter)
Existing Uses:	Vacant
Proposed Uses:	Light Industrial = 4,070 SF Gen. Office = 1,930 SF
New Daily Trips:	46
New Peak Hour Trips:	6 (5/1) AM; 7 (2/5) PM
Build-out:	December 31, 2020

Based on the review, the Traffic Division has determined that the proposed development **meets** the Traffic Performance Standards of Palm Beach County. The proposed development does not have significant peak hour traffic impact (as defined in PBC TPS) on the roadway network.

Please note the receipt of a Traffic Performance Standards (TPS) approval letter does not constitute the review and issuance of a Palm Beach County Right-of-Way (R/W) Construction Permit nor does it eliminate any requirements that may be deemed as site related. For work within Palm Beach County R/W, a detailed review of the project will be provided upon submittal for a R/W permit application. The project is required to comply with all Palm Beach County standards and may include R/W dedication.

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and recycled paper



Jeff H. Iravani, P.E.
June 17, 2019
Page 2

No building permits are to be issued by the City after the build-out date specified above. The County traffic concurrency approval is subject to the Project Aggregation Rules set forth in the Traffic Performance Standards Ordinance.

The approval letter shall be valid no longer than one year from date of issuance, unless an application for a Site Specific Development Order has been approved, an application for a Site Specific Development Order has been submitted, or the approval letter has been superseded by another approval letter for the same property.

If you have any questions regarding this determination, please contact me at 561-684-4030 or email QBari@pbcgov.org.

Sincerely,

A handwritten signature in blue ink that reads "Quazi Bari".

Quazi Bari, P.E.
Senior Professional Engineer
Traffic Division

QB:HA:jc
ec:

Mr. Jeff Gagnon, Planning & Zoning Administrator, City of Riviera Beach
Hanane Akif, E.I., Project Coordinator II, Traffic Division
Steve Bohovsky, Technical Assistant III, Traffic Division

File: General - TPS - Mun - Traffic Study Review
F:\TRAFFIC\HA\MUNICIPALITIES\APPROVALS\2019\190603 - DYER INDUSTRIAL EAST.DOCX



PLANNING AND ZONING DIVISION

CITY OF RIVIERA BEACH

DEVELOPMENT SERVICES DEPARTMENT | 600 WEST BLUE HERON BLVD.
RIVIERA BEACH FL, 33404 | MAIN: (561) 845-4060 | FAX: (561) 845-4038

January 10, 2020 (Applicant response submitted 3/2/20).

Sent by email: Alec@2gho.com

Alec Dickerson
Gentile, Glas, Holloway, O'Mahoney & Associates, Inc.
1907 Commerce Lane, Suite 101
Jupiter, FL 33458

RE: CITY STAFF REVIEW OF SITE PLAN AMENDMENT FOR DYER INDUSTRIAL EAST
(SP-19-20) PROPOSED AT 4922 DYER BOULEVARD - #2 SUBMITTAL

Dear Mr. Dickerson,

The intent of this letter is to inform you that City staff has completed departmental review for the proposed Dyer Industrial East Site Plan Amendment (SP-19-20) based on *November 12, 2019* submittal. The City is responding to SP-19-20 with the following comments:

Please be advised that it is the responsibility of the agent to follow-up with all applicable reviewing agencies / departments prior to resubmittal and ensure that all comments are satisfied.

Building Department (561) 845-4020 – ALL PLANS MUST COMPLY WITH ALL APPLICABLE BUILDING CODE SECTIONS AT TIME OF PERMITS. **RESOLVED**

Engineering/Public Works Department (561) 845-3472 – see attached. **RESOLVED**

Police Department (561) 845-4123 – see attached. **RESOLVED**

Code Enforcement – N/A.

Fire (561) 845-4137 – no further comments. **RESOLVED**

Utility District Department (561) 845-4185 – satisfied; see attached. **RESOLVED**

Planning and Zoning:

Site Data & SP-1

- ~~1. Provide the name of the project and the application number.~~ **RESOLVED**
- ~~2. Remove unnecessary drawings, codes and lines around the building and on the site plan and show the footprint, dimensions and actual setbacks of all structures from all property lines.~~ **RESOLVED**
- ~~3. Remove the word "Existing" and include "Future" in Land Use.~~ **RESOLVED**
- ~~4. Add "District" to Zoning.~~ **RESOLVED**



PLANNING AND ZONING DIVISION

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RIVIERA BEACH FL, 33404 | MAIN: (561) 845-4060 | FAX: (561) 845-4038

5. Provide the name of the use and accessory use as stipulated in the Code. **RESOLVED**
6. Provide the Section, Township and Range. **NEW: Remove letters from 36-42-42. RESOLVED**
7. Provide the Total Gross Floor Area (GFA). **RESOLVED**
8. Provide GFA broken down by use, acreage, square footage and percentage (use/acreage/SF and % o). **RESOLVED**
9. Provide Floor to Area Ratio (FAR). **RESOLVED**
10. Clarify building square footage 6,000 sf versus 6,900 sf (Building dimensions are 60' X 115'=6,900 square feet. **RESOLVED**
11. Provide the TAZ. **RESOLVED**
12. Provide a Property Development Regulation (PDR) Chart. **RESOLVED**
13. Provide graphic scale 1 inch = 20' minimum. **NEW: Relocate written scale under graphic scale. RESOLVED**
14. Provide building coverage percentage (show calculation). **RESOLVED**
15. Provide pervious and impervious area square footage and percentage. **RESOLVED**
16. Show limits and maximum depth for dry detention area. **RESOLVED**
17. Remove the word "allowable" and provide actual building height. **RESOLVED**
18. Show rear wall as a six foot finished masonry wall. **RESOLVED**
19. Add maximum lot coverage to PDR chart. **RESOLVED**
20. Remove the word "Conceptual" from the title block on all plans. **OUTSTANDING-RESOLVED**
21. Provide the lighting *photometric plan*. **NEW: Provide surrounding land uses and provide a detail to show height of pole. RESOLVED**
22. Provide the overall square footage on **floor plan** to match square footage on site plan. **NEW: Submitted disc only. Provide hard copies of floor plan. RESOLVED**
23. Provide the setback of dumpster from the property line. **NEW: Show landscaping around dumpster on site plan. Consider relocating dumpster. RESOLVED**
24. Correct the misspelled word "Pollution" on the Construction Plans cover sheet and on C-9. **RESOLVED**
25. Show the dimensions and square footage calculation for office. **RESOLVED**
26. Show the dimensions and calculation for the shop area. **New: Label building as "Storage Area" on all plans. Names of 'use of space' are inconsistent on various plans. RESOLVED**
27. Graphically dimension and label ROW width. **RESOLVED**
28. Will there be any signs proposed on the property? If so, indicate on site plan. **RESOLVED**
29. Correct parking data and provide actual parking required and proposed. **RESOLVED**
30. Show all bearings and distances around boundary on site plan consistent with survey/plat. **RESOLVED**
31. Provide lot dimensions. **RESOLVED**
32. Architectural elevations contain multiple sheets. Number the sheets consecutively. **NEW: Hard copies not provided. On disc only. Provide hard copies upon resubmittal. RESOLVED**
33. Provide the finishes (color, materials) on the elevations. **See note 32. RESOLVED**



CITY OF RIVIERA BEACH

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PLANNING AND ZONING DIVISION

- 34. Provide a color rendition of the building. **See note 32. RESOLVED**
- 35. Provide a revised narrative to include the estimated employment and type of jobs to be generated by the proposed project. **RESOLVED**
- 36. Correct the surrounding zoning to north to reflect General Industrial District (IG). **RESOLVED**
- 37. In the employee parking lot, dimension and label the backup aisle width. **RESOLVED**
- 38. Remove the words Asphalt Employee Parking from the plan. **RESOLVED**
- 39. Label the 10'X10' Safe Sight Triangle. **RESOLVED**
- 40. Dimension and label the covered area. **NEW:** (a) Add square footage total for the 16.75'x60' 'covered area'. **RESOLVED**
- 41. Remove the word "concrete". **RESOLVED**
- 42. Provide authorization for fence to encroach the utility easement from Florida Power and Light. Authorization not provided. **NEW:** 10-foot utility easement will require abandonment before issuance of building permit. This will be a 'Condition of Approval'.
- 43. Provide centerline from property line for Dyer Boulevard. **RESOLVED**
- 44. Dimension the curb cuts. **RESOLVED**
- 45. Provide boundary name and plat book and page on SP-1. (unplatted) **N/A**
- 46. Label distance between access points and dimension to the closet point. **RESOLVED**
- 47. Indicate number of drive lanes aisles and provide turning direction of each. **RESOLVED**
- 48. Dimension the drive lanes aisles. **RESOLVED**
- 49. Provide and label throat distance. **RESOLVED**
- 50. Label and dimension pedestrian path to building entrance from parking lot. **RESOLVED**
- 51. Label and dimension covered area. Duplicate item 40. **N/A**
- 52. **NEW:** Provide O.R.B. & page for the 10 foot utility easement on the site plan. **RESOLVED**
- 53. **NEW:** Label curb and dimension it. Graphically correct sizing. **RESOLVED**
- 54. **NEW:** Provide foundation planting around building. **RESOLVED**
- 55. **NEW:** Graphically correct sizing of access points on all plans. **RESOLVED**

LP-1

- 56. Clarify number of interior islands. **RESOLVED**
- 57. Correct access points measurements and dimension from the closest point. Duplicate **N/A**
- 58. In a chart, identify which trees are shade and accent trees and include number and percentages per Code. **RESOLVED**
- 59. **NEW:** Correct illegible Landscape Data. **RESOLVED**
- 60. **NEW:** Show 10 foot utility easement to be abandoned. **RESOLVED**
- 61. **NEW:** Revise Justification Statement. Landscape area % is inconsistent with SP-1. **RESOLVED**
- 62. **NEW:** Delete "Asphalt Employee Parking". **RESOLVED**
- 63. **NEW:** Include square footage on each use of space and name and name consistent with site plan. Delete the name 'Shop Area' from all plans. **RESOLVED**
- 64. **NEW:** Relocate written scale under graphic scale or within close proximity. **RESOLVED**
- 65. **NEW:** Darken lines for parking. **RESOLVED**



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LP-2

66. ~~NEW: Digital stamp illegible. Correct.~~ **RESOLVED**

67. ~~NEW: Show buffer detail. Note: Please refer to Florida Friendly Sec. 31-600; Sec. 31-606 & Sec. 31-606(c).~~ **RESOLVED**

CIVILS

68. ~~NEW: All civil are not consistent with site plan, i.e. C-2, C-3 etc. Update 'old' civils dated 10-25-18.~~ **RESOLVED**

Comment: Please be advised that modifications / amendments made to documents and plans may trigger additional comments.

Please respond to the above comments in writing and submit the revised documents as necessary. It is important to note that a detailed narrative (numbered) addressing each comment must be included when submitting the revised documents. Any revisions submitted without a detailed narrative shall be returned to the applicant without any further processing by the City. Resubmittals must include hard copies and a digital copy of all documents provided on a CD (in PDF format). *USB drives will not be accepted.*

Please feel free to contact me at (561) 845-4060 or by email at Adeveaux@rivierabeach.org should you have any questions or concerns.

Sincerely,

Ann DeVeaux

Senior Planner | adeveaux@rivierabeach.org | Direct: 561-845-4061 | Main: 561-845-4060

cc: Jeff Gagnon, AICP - Acting Director of Development Services Department



**STAFF REPORT - CITY OF RIVIERA BEACH
DYER INDUSTRIAL PLAT (EAST AND WEST), PA-19-03
SEPTEMBER 10, 2020**

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF RIVIERA BEACH, PALM BEACH COUNTY, FLORIDA, APPROVING PLAT APPLICATION (PA-19-03) FROM HINTERLAND GROUP #2, LLC REQUESTING PLAT APPROVAL TO PLAT TWO CONTIGUOUS VACANT LOTS ASSOCIATED WITH 6840 NORTH HAVERHILL ROAD AND 4922 DYER BOULEVARD, KNOWN BY PARCEL CONTROL NUMBER 56-42-42-36-00-000-3050 TOTALING 3.159 ACRES; 56-42-42-36-00-000-3070 TOTALING 3.00 ACRES OF LAND; HAVING AN INDUSTRIAL FUTURE LAND USE DESIGNATION; A LIMITED INDUSTRIAL (IL) ZONING DESIGNATION; AND PROVIDING FOR AN EFFECTIVE DATE.

-
- A. Applicant:** Hinterland Group #2 LLC – Owner
Authorized Agent: Dan Siemsen of Gentile Glas Holloway O'Mahoney & Associates, Inc.
- B. Request:** The applicant is requesting plat approval of two existing contiguous lots as identified above, in conjunction with the request for site plan approvals (SP-19-19 & SP-19-20) to reconfigure the existing parcels into separate Contractor Storage Yard and accessory office uses.
- C. Location:** The subject parcels are located southeast of the intersection at North Haverhill Road and Dyer Boulevard and is approximately 0.32 miles west of North Military Trail, with postal address 6840 North Haverhill Road and 4922 Dyer Boulevard, identified by Parcel Control Numbers: 56-42-42-36-00-000-3050; 56-42-42-36-00-000-3070 within the City of Riviera Beach municipal boundary, as depicted on Exhibit A (location map).
- D. Property Description and Uses:** The subject property description and uses are as follows:

Parcel Control Numbers: 56-42-42-36-00-000-3050; 56-42-42-36-00-000-3070.

Parcel Size: +/- 6.159 Acres (combined)

Existing Use: Vacant (Undeveloped)

Zoning: IL (Limited Industrial)

Future Land Use: Industrial

E. Adjacent Property Description and Uses:

North: General Industrial (IG) Zoning District: Dyer Blvd., auto sales, MCI Telecommunications, warehouse.

South: Residential Planned Unit Development (R-PUD) Zoning District: Turtle Cay – townhomes, zero lot lines homes.

East: Limited Industrial (IL) Zoning District: warehouse/distribution terminal.

West: Palm Beach County Owned: Conservation.

F. Background:

The Applicant originally submitted the plat application on November 12, 2019. In order to implement the proposed site plans, a plat was required and is being presented concurrently with Site Plan Applications SP-19-19 and SP-19-20.

City Departmental Staff and Engenuity Group, Inc. (Consultant) reviewed the Plat Application (PA-19-03) and provided corresponding comments to the applicant. All comments were addressed by the applicant and City Staff has no objections to the Plat application.

The plat application for the subject property is scheduled to be heard by the Planning and Zoning Board on Thursday, September 10, 2020 at 06:30 P.M.

G. Staff Analysis:

Proposed Use: Contractor Storage Yard with an Accessory Office.

Zoning Regulations: The proposed plat is consistent with the City's Land Development Regulations.

Comprehensive Plan: The proposed plat is consistent with the City's Comprehensive Plan.

Compatibility: N/A, this plat is required in order to implement the proposed site plans mentioned above.

Levels of Service: City services such as roads, water, sewer, and garbage collection are currently available to the site.

Landscaping: N/A

Parking/Traffic: N/A

Dry Detention / Retention Area: The Applicant is proposing a 14,530 square foot dry detention area along the breadth of the southern portion (rear) of the property.

H. Staff Recommendation: Staff recommends approval of this plat application (PA-19-03) to plat two existing contiguous lots associated with 4922 Dyer Boulevard, known by parcel control numbers 56-42-42-36-00-000-3070 and 56-42-42-36-00-000-3050, totaling 6.159 acres of land.

Exhibit A. Location Map.

DYER INDUSTRIAL

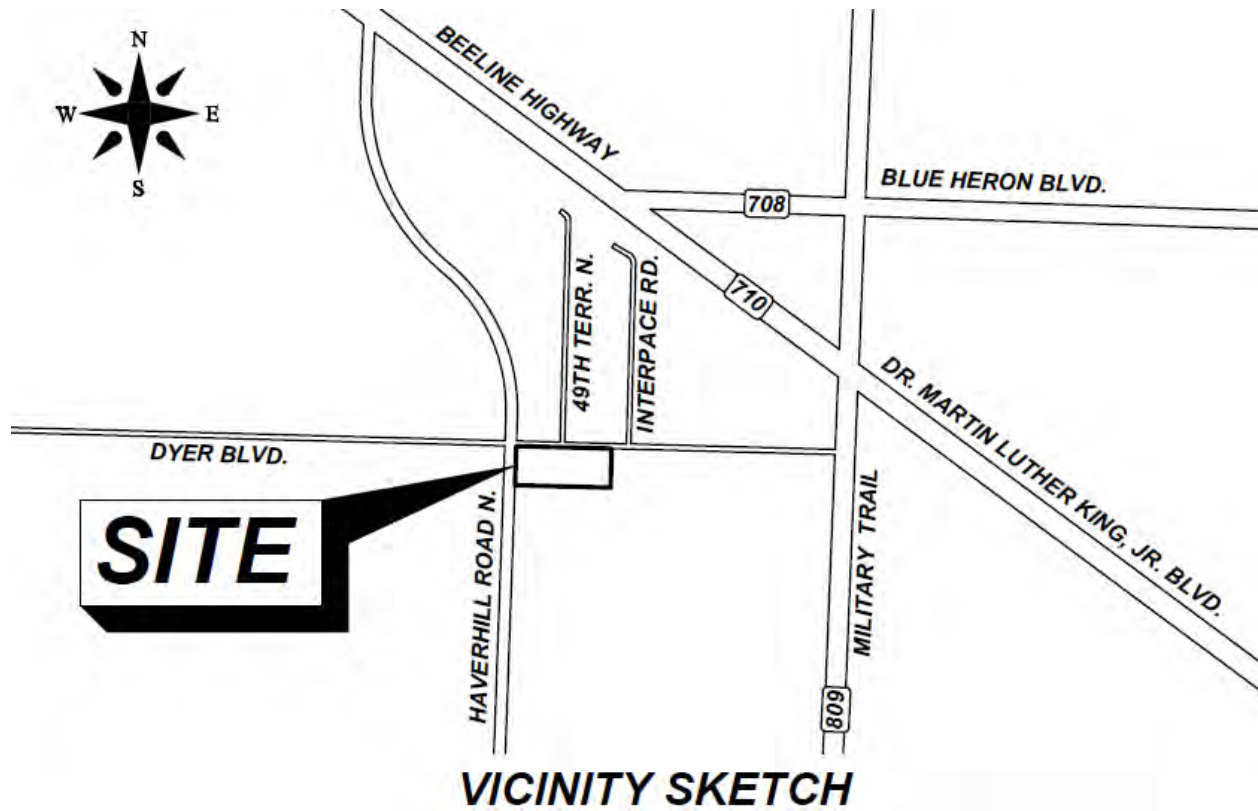


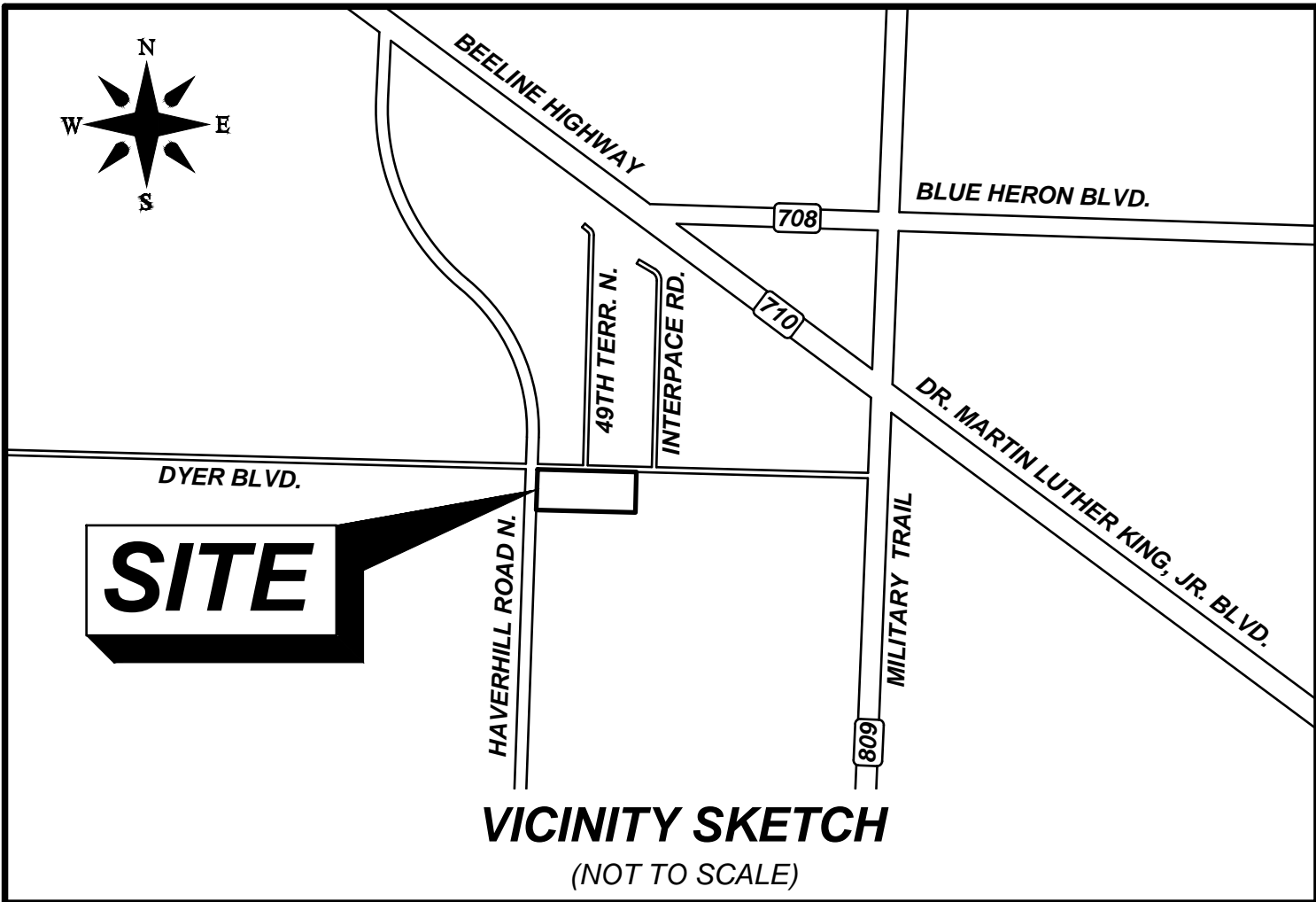
Exhibit B. Legal Description:

PARCEL A:

THE WEST 632.64 FEET OF THE EAST 2,371.96 FEET OF THE NORTH HALF (N $\frac{1}{2}$) OF THE SOUTH HALF (S $\frac{1}{2}$) OF THE NORTH HALF (N $\frac{1}{2}$) OF THE NORTHWEST QUARTER (NW $\frac{1}{4}$) OF SECTION 36, TOWNSHIP 42 SOUTH, RANGE 42 EAST, PALM BEACH COUNTY, FLORIDA, LESS THE NORTH 40.00 FEET CONVEYED TO THE COUNTY OF PALM BEACH AS RECORDED IN OFFICIAL RECORDS BOOK 445, PAGE 315, PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA.

PARCEL B:

THE NORTH $\frac{1}{2}$ OF THE SOUTH $\frac{1}{2}$ OF THE NORTH $\frac{1}{2}$ OF THE NORTHWEST $\frac{1}{4}$, LESS THE EAST 2,371.96 FEET THEREOF IN SECTION 36, TOWNSHIP 42 SOUTH, RANGE 42 EAST, PALM BEACH COUNTY, FLORIDA, AND LESS THOSE PORTIONS THEREOF CONVEYED TO THE COUNTY OF PALM BEACH AS RECORDED IN OFFICIAL RECORDS BOOK 445, PAGE 315 AND OFFICIAL RECORDS BOOK 2690, PAGE 189, BOTH OF THE PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA.



DEDICATION AND RESERVATIONS

KNOW ALL MEN BY THESE PRESENTS that Hinterland Group #2, LLC, a Florida limited liability company, owner of the land shown hereon as **DYER INDUSTRIAL**, lying in the Northwest quarter (NW 1/4) of Section 36, Township 42 South, Range 42 East, City of Riviera Beach, Palm Beach County, Florida, being more particularly described as follows:

LEGAL DESCRIPTION:

A parcel of land lying in the Northwest quarter (NW 1/4) of Section 36, Township 42 South, Range 42 East, City of Riviera Beach, Palm Beach County, Florida, being more particularly described as follows:

COMMENCE at the point of intersection of the West line of the Northwest quarter (NW 1/4) of Section 36, Township 42 South, Range 43 East and the South right-of-way line of Dyer Boulevard as recorded in Official Records Book 445, Page 315, of the Public Records of Palm Beach County, Florida, said point of intersection also being the Northwest corner of an additional 9 foot wide strip of land conveyed to Palm Beach County for additional right-of-way for Haverhill Road as recorded in Official Records Book 2690, Page 189, said Public Records; thence South 88°28'14" East, along the North line of said additional right-of-way and North line of additional Safe Corner right-of-way a recorded in said Official Records Book 2690, Page 189, a distance of 34.00 feet to the **POINT OF BEGINNING** of the following described parcel; thence continue along the South right-of-way line of said Dyer Boulevard, South 88°28'14" East a distance of 894.98 feet to a point on the West line of the East 1,739 feet of the Northwest quarter (NW 1/4) of said Section 36; thence South 01°53'30" West, along said West line, a distance of 292.21 feet to the South line of the North half (N 1/2) of the South half (S 1/2) of the North half (N1/2) of the Northwest quarter of said Section 36 (said South line being common with the North line of Tract "O-6", **NORTH COUNTY P.U.D. PLAT 1**, according to the plat thereof, as recorded in Plat Book 94, Page 160, and common with the North line of Tract "O-9", **NORTH COUNTY P.U.D. PLAT 2**, according to the plat thereof, as recorded in Plat Book 97, Page 1, both of the said Public Records of Palm Beach County; thence North 88°26'44" West, along said common line, a distance of 919.61 feet to the East right-of-way line of Haverhill Road as recorded in Official Records Book 2690, Page 189, said Public Records; thence North 01°49'15" East, along said East right-of-way line, a distance of 266.81 feet to the Southwest corner of said Safe Corner right-of-way; thence along the East line of said Safe Corner right-of-way, North 46°40'30 East, a distance of 35.44 feet to a point on the South right-of-way of Dyer Boulevard and the **POINT OF BEGINNING**.

Containing in all, 6.159 Acres, more or less.

has caused the same to be surveyed and platted as shown hereon and does hereby reserve and dedicate as follows:

LOTS 1 & 2

Lots 1 & 2, as shown hereon, are hereby reserved for Hinterland Group #2, LLC, a Florida limited liability company, its successors and assigns, for purposes consistent with the zoning regulations of the City of Riviera Beach, and is the perpetual maintenance obligation of said Hinterland Group #2, LLC, a Florida limited liability company, its successors and assigns, without recourse to the City of Riviera Beach, Florida.

UTILITY EASEMENT(S)

The Utility Easement(s) as shown hereon are exclusive easements and are hereby dedicated in perpetuity to the City of Riviera Beach Utility District, its successors and assigns, for the installation, operation, maintenance, repair, expansion and replacement of potable water pipelines, raw water pipelines, wastewater pipelines, reclaimed water pipelines, and related appurtenances. The maintenance of the land underlying these easements shall be the perpetual maintenance obligation of the property owner.

IN WITNESS WHEREOF, the above-named limited liability company has caused these presents to be signed by its Manager, and its company seal (if available) to be affixed hereto by and with the authority of its Board of Directors, this ____ day of _____, 2020.

Hinterland Group #2, LLC,
a Florida limited liability company

WITNESS: _____

Printed Name

BY: _____
Daniel A. Duke, III, Manager

WITNESS: _____

Printed Name

DYER INDUSTRIAL

LYING IN THE NORTHWEST QUARTER OF SECTION 36, TOWNSHIP 42 SOUTH, RANGE 42 EAST,
CITY OF RIVIERA BEACH, PALM BEACH COUNTY, FLORIDA.

ACKNOWLEDGEMENT

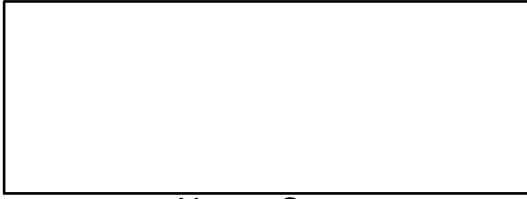
State of Florida
County of Palm Beach

The foregoing instrument was acknowledged before me by means of ____ physical presence or ____ online notarization, this ____ day of _____, 2020, by Daniel A. Duke, III, as Manager of Hinterland Group #2, LLC, a Florida limited liability company, on behalf of said company, who is ____ personally known to me or has produced _____ (type of identification) as identification.

WITNESS my hand and official seal this ____ day of _____, 2020.

My Commission Expires

My Commission Number



Notary Stamp

Signature of Notary Public

Printed Name of Notary Public

MORTGAGEE'S JOINDER AND CONSENT

State of Florida
County of _____

The undersigned hereby certifies that it is the holder of a mortgage upon the property described hereon and does hereby join in and consent to the dedication of the land described in said dedication by the owner thereof and agrees that its mortgage which is recorded in Official Records Book 28829, at Page 1768, of the Public Records of Palm Beach County, Florida, shall be subordinated to the dedication shown hereon.

IN WITNESS WHEREOF, the said corporation has caused these presents to be signed by its Vice President and its corporate seal to be affixed hereon by and with the authority of its Board of Directors this ____ day of _____, 2020.

Centerstate Bank, N.A.,
successor by merger to Harbor Community Bank

WITNESS: _____

Printed Name

BY: _____
Stephen Wood, Vice President

WITNESS: _____

Printed Name

ACKNOWLEDGEMENT

State of Florida
County of _____

The foregoing instrument was acknowledged before me by means of ____ physical presence or ____ online notarization, this ____ day of _____, 2020, by Stephen Wood, as Vice President of Centerstate Bank, N.A., successor by merger to Harbor Community Bank, on behalf of said company, who is ____ personally known to me or has produced _____ (type of identification) as identification.

WITNESS my hand and official seal this ____ day of _____, 2020.

My Commission Expires

My Commission Number



Notary Stamp

Signature of Notary Public

Printed Name of Notary Public

TITLE CERTIFICATION

I, Robert Lee Shapiro, Esquire, a duly licensed attorney in the state of Florida, do hereby certify that I have examined the title to the hereon described property; that I find the title to the property is vested in Hinterland Group #2, LLC, a Florida limited liability company; that the current taxes have been paid; that all mortgages not satisfied or released of record nor otherwise terminated by law are shown hereon; and that there are encumbrances of record, but those encumbrances do not prohibit the creation of the subdivision depicted by this plat.

Dated this ____ day of _____, 2020.

Robert Lee Shapiro, Esquire
Florida Bar Number 129436

NOTICE:
THIS PLAT, AS RECORDED IN ITS GRAPHIC FORM, IS THE OFFICIAL DEPICTION OF THE SUBDIVIDED LANDS DESCRIBED HEREIN AND WILL IN NO CIRCUMSTANCES BE SUPPLANTED IN AUTHORITY BY ANY OTHER GRAPHIC OR DIGITAL FORM OF THE PLAT. THERE MAY BE ADDITIONAL RESTRICTIONS THAT ARE NOT RECORDED ON THIS PLAT THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY.

This instrument prepared by:

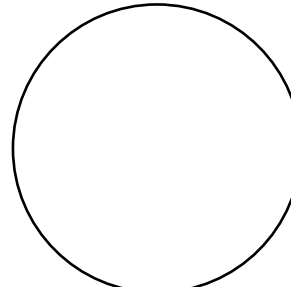
Robert J. Cajal in the office of
Wallace Surveying Corporation
5553 Village Boulevard,
West Palm Beach, Florida 33407
561-640-4551

STATE OF FLORIDA
COUNTY OF PALM BEACH
THIS PLAT WAS FILED FOR
RECORD AT _____. M.
THIS ____ DAY OF _____
A.D. 20__ AND DULY RECORDED
IN PLAT BOOK _____ ON
PAGES _____.

SHARON R. BOCK
CLERK AND COMPTROLLER

BY: _____
DEPUTY CLERK

SHEET 1 OF 2



CLERK'S SEAL

REVIEWING SURVEYOR APPROVAL

On behalf of the City of Riviera Beach, in accordance with Chapter 177.081 (1) Florida Statutes, this plat has been reviewed for conformity to Chapter 177.091, Florida Statutes, and the ordinances of the City of Riviera Beach. This review does not include the verification of the geometric data, or the field verification of the permanent reference monuments (p.r.m.'s), permanent control points (p.c.p.'s) and monuments at lot/tract corners.

Dated this ____ day of _____, 2020.

John J. Rice
Professional Surveyor and Mapper
State of Florida No. 4506

SURVEYOR & MAPPER'S CERTIFICATE

This is to certify that the plat shown hereon is a true and correct representation of a survey made under my responsible direction and supervision; that said survey is accurate to the best of my knowledge and belief; that permanent reference monuments (p.r.m.'s) and monuments according to Sec. 177.091 (9), F.S., have been placed as required by law; and, further, that the survey data complies with all the requirements of Chapter 177, Florida Statutes, as amended, and the ordinances of the City of Riviera Beach, Florida.

Dated this ____ day of _____, 2020.

Robert J. Cajal
Professional Surveyor and Mapper
Florida Certificate No. 6266

CITY OF RIVIERA BEACH APPROVALS

County of Palm Beach
State of Florida

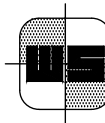
It is hereby certified that this Plat of Dyer Industrial has been officially approved for record by the City of Riviera Beach, Florida, this ____ day of _____, 2020.

By: _____
Ronnie L. Felder, Mayor

By: _____
Claudene L. Anthony, CMC, City Clerk

By: _____
Terrence N. Bailey, P.E., City Engineer
Professional Engineer No. 60706

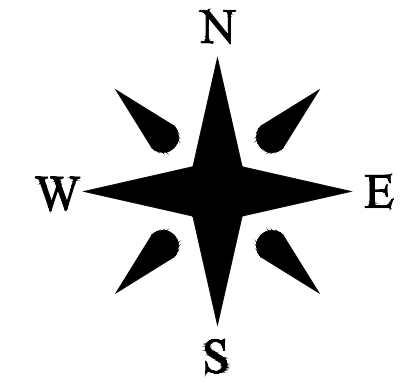
DYER INDUSTRIAL



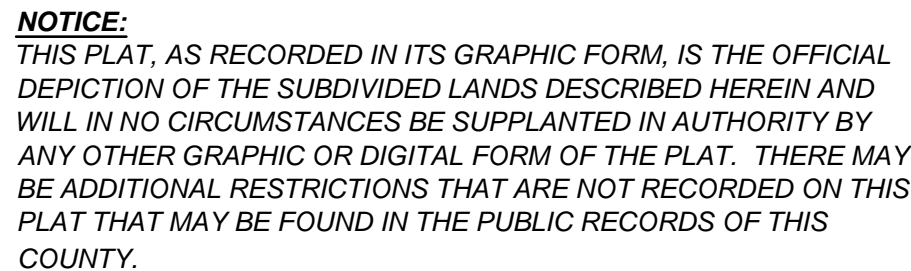
WALLACE SURVEYING
CORP. LICENSED BUSINESS # 4069
5553 VILLAGE BOULEVARD, WEST PALM BEACH, FLORIDA 33407 * (561) 640-4551

FIELD:	JOB No.: 15-1119.10	F.B. PG.
OFFICE: R.C.	DATE: APRIL 2018	DWG. No.: 14-1247-4
C'K'D:	REF.: 15-1119-4.DWG	SHEET 1 OF 2

**LYING IN THE NORTHWEST QUARTER OF SECTION 36, TOWNSHIP 42 SOUTH, RANGE 42 EAST,
CITY OF RIVIERA BEACH, PALM BEACH COUNTY, FLORIDA.**



NORTH 1/4 CORNER,
SECTION 36/42/42
(FOUND P.B.C. MONUMENT
3/12/1996)
N: 890164.6180
E: 947382.1700



NOTES

1. Coordinates shown hereon are grid and are referenced to the Transverse Mercator Projection of the Florida East Zone, NAD 83-1990 Adjustment.
2. Unless noted otherwise, all distances are ground and are based on U.S. Survey Feet as measured on horizontal plane.
3. Scale Factor = 1.0000369227
4. Ground distance x scale factor = grid distance.
5. No building or any kind of construction, trees or shrubs shall be placed on any easement without prior written consent of all easement beneficiaries and all applicable City/County Approvals or permits as required for such encroachments.
6. Building setbacks shall conform to the City of Riviera Beach Land Development Code.
7. Bearings shown hereon are grid and are based on the West line of the Northwest quarter of Section 36, Township 42 South, Range 42 East which bears South 01°49'15" West and all other bearings are relative thereto.
8. On-site water and wastewater utilities will be privately owned and maintained.

This instrument prepared by: Robert J. Cajal in the office of
Wallace Surveying Corporation
5553 Village Boulevard,
West Palm Beach, Florida 33407
561-640-4551

DYER INDUSTRIAL



FIELD:	JOB No.: 15-1119.10	F.B. PG.
OFFICE: R.C.	DATE: APRIL 2018	DWG. No.: 14-1247-4
C'K'D:	REF.: 15-1119-4.DWG	SHEET 2 OF 2

For Staff Use Only

City of Riviera Beach Community Development Department 600 W. Blue Heron Boulevard Riviera Beach, Florida 33404 Phone: (561) 845-4060 Fax : (561) 845-4038	Date:	Case Number:
	Project Title:	
	Fee Paid:	Notices Mailed:
	1st Hearing:	2nd Hearing:
	Publication Dates (if required)	

UNIFORM LAND USE APPLICATION PLAT APPROVAL

(Please attach separate sheet of paper for required additional information)

Complete appropriate sections of Application and sign.

APPLICANT	Name of Property Owner(s): Hinterland Group #2 LLC - Daniel Duke III		
	Mailing Address: 2051 W Blue Heron Blvd		
	Property Address: 6840 N. Haverhill Road and 4922 Dyer Boulevard		
	Name of Applicant (if other than owner):		
	Home: (561) 882-1550	Work: ()	Fax: ()
	E-mail Address: dduke1@hinterlandgroup.com		

PLEASE ATTACH LEGAL DESCRIPTION

PROPERTY	Future Land Use Map Designation: IND -Industrial	Current Zoning Classification: IL- Light Industrial
	Square footage of site: 268,293.64 sf	Property Control Number (PCN): 56-42-42-36-00-000-3050 and 56-42-42-36-00-000-3070
	Type and gross area of any existing non residential uses on site: both parcels are currently vacant	
	Gross area of any proposed structure: Proposed replat to create two lots	
	Is there a current or recent use of the property that is/was in violation of City Ordinance? [] Yes [<input checked="" type="checkbox"/>] No	
	If yes, please describe: NA	
	Have there been any land use applications concerning all or part of this property in the last 18 months? [] Yes [<input checked="" type="checkbox"/>] No	
	If yes, indicate date, nature and applicant's name:	
	Briefly describe use of adjoining property: North: Industrial Use	
	South: Residential Development	
East: Industrial Use		
West: Haverhill Rd./Conservation		

REZONE	Requested Zoning Classification: NA
	Is the requested zoning classification contiguous with existing? NA
	Is a Special Exception necessary for your intended use? [] Yes [<input checked="" type="checkbox"/>] No
	Is a Variance necessary for your intended use? [] Yes [<input checked="" type="checkbox"/>] No


FUTURE LAND USE	Existing Use: Vacant	Proposed Use: Replat of Property
	Land Use Designation: Industrial - IND	Requested Land Use: NA
	Adjacent Land Uses: North: Industrial - IND South: MF-15 Residential High Density	
	East: Industrial - IND West: Conservation - Con	
Size of Property Requesting Land Use Change: NA		

SPECIAL EXCEPTION	Describe the intended use requiring a Special Exception: NA
	Provide specific LDR ordinance section number and page number: NA
	How does intended use meet the standards in the Land Development Code? NA
	Demonstrate that proposed location and site is appropriate for requested use: NA
	Demonstrate how site and proposed building(s) have been designed so they are compatible with adjacent uses and neighborhoods: NA
	Demonstrate any landscaping techniques to visually screen use from adjacent uses: NA
	Demonstrate what is proposed to reduce the impact of any potential hazards, problems, public nuisances generated by use: NA
	Demonstrate how utilities and other service requirements of the use can be met: NA
	Demonstrate how the impact of traffic generated will be handled: On-site: NA
	Off-Site: NA
Other: NA	

VARIANCE	Describe the Variance sought: NA
	Demonstrate that the Variance is needed to overcome a hardship caused by the unique physical conditions of the site: NA
	Specify the minimum Variance requirements including: height, lot area, size of structure, size of yard, setback, buffer or open space: NA
	Other: NA

<div>PLAT</div> <div>SITE PLAN</div>	Describe proposed development:	The request is for a replat to subdivide the property into two separate parcels
	Demonstrate that proposed use is appropriate to site:	See attached narrative
	Demonstrate how drainage and paving requirement will be met:	NA
	Demonstrate any landscaping techniques to visually screen use from adjacent uses:	NA
	Demonstrate what is proposed to reduce the impact of any potential hazards, problems, public nuisances generated by use:	NA
	Demonstrate how utilities and other service requirements of the use can be met:	NA
	Demonstrate how the impact of traffic generated will be handled:	On-site: NA Off-site: NA

OTHER	COMMUNICATION TOWER CO-LOCATION REQUIREMENTS: <ul style="list-style-type: none"> • Three sets of signed and sealed Construction documents, elevations and all equipment shelters, cabinets, Coax, telephone and power conduits identified. These plans will then be used to obtain the Building Permit. • Antenna manufacture cut sheets including antenna size and shape. • Zoning map of area with site clearly marked. • Photos of existing building or tower and surrounding uses. • Letter of non-interference and FCC compliance from applicant's Radio Frequency Professional. • Map of surrounding carrier existing locations in all directions with type i.e. Guyed, Self-Support, Monopole, Rooftop. • Letter of structural capacity and building code compliance. • Notes on plan or letter demonstrating floor area coverage not in excess of restrictions • Provide Photo Enhancements of proposal. • Statement that proposal is in compliance with Environmental Regulations prior to permit issue.

Confirmation of Information Accuracy	
I hereby certify that the information on this application is correct. The information included in this application is for use by the City of Riviera Beach in processing my request. False or misleading information may be punishable by a fine of up to five hundred dollars (\$500.00) and imprisonment of up to thirty (30) days and may result in the summary denial of this application.	
 _____ Signature	5/14/2019 _____ Date

AGENT AUTHORIZATION FORM

Owner(s) of Record: Hinterland Group #2 LLC

STATE OF FLORIDA
COUNTY OF PALM BEACH

BEFORE ME, the undersigned authority personally appeared Daniel Duke III

who, being first duly sworn upon oath and personal knowledge say(s) that they are the owner(s) of record of the following described real property:

the street address of which is: _____

and that we hereby appoint:

Name: George G. Gentile (Gentile Glas Holloway O'Mahoney & Associates, Inc.)

Address: 1907 Commerce Lane, Suite 101

Jupiter, FL 33458

Telephone: 561-575-9557

as our authorized agent, to file applications and papers with the City of Riviera Beach, and to represent me (us) at any Hearing regarding my (our) interest.

(Seal)

(Seal)

(Seal)

Sworn to and subscribed before me this 9th day of April, 2019.

Heather Crossman
Notary Public



Heather Crossman
NOTARY PUBLIC
STATE OF FLORIDA
Comm# FF911573
Expires 8/20/2019



**Dyer Industrial Replat
Justification Letter
City of Riviera Beach
June 14, 2019**

Request/Location

On behalf of the Owner, Hinterland Group #2, LLC, please accept the attached application requesting review and approval of the submitted draft plat in order to establish two separate parcels within the City of Riviera Beach. The site is located at the south east corner of the Haverhill Road, and Dyer Boulevard intersection.

Proposed Plat

The proposed plat will establish two lots and encompass a total of 6.159 acres. As shown on the submitted document, Lot 1 (the eastern lot will total 130679.56 square feet or 3.000 acres, while Lot 2 totals 137614.08 square feet or 3.159 acres.

Justification

The applicant's request is needed to facilitate industrial development in a prominent industrial corridor within the City of Riviera Beach. Two separate site plan applications that propose contractor's storage yards have been filed with the Department of Planning and Zoning as companion with this proposed replat request. Additionally, the plat will be consistent with Chapter 30 of the Riviera Beach Land Development Regulations, in addition to Chapter 177 of the Florida Statutes, pertaining to Platting.

Conclusion

The applicant proposes the submitted replat application to establish two separate lots for the properties located at 4922 Dyer Blvd, and 6840 N. Haverhill Road. The plat has been prepared to be in conformance with the platting requirements listed in Chapter 177 of the Florida Statutes, and is consistent with Chapter 30, entitled "Subdivisions", of the Riviera Beach zoning code. Approval of this plat will not cause any adverse impacts to the surrounding properties. On behalf of the applicant, we respectfully request review and approval of the submitted application.



ENGINEERS SURVEYORS GIS MAPPERS

C. ANDRE RAYMAN, P.S.M.

KEITH B. JACKSON, P.E.

LISA A. TROPEPE, P.E.

ADAM SWANEY, P.E., LEED AP

JENNIFER MALIN, P.S.M.

September 3, 2020

Ann DeVeaux
Senior Planner
The City of Riviera Beach Development Services
600 West Blue Heron Blvd
Riviera beach, FL 33404
(Via E-Mail: adeveaux@rivierabeach.org)

Re: Dyer Industrial
Second Plat Review
Engenuity Group Project No. 14151.21

Dear Ms. DeVeaux,

This is the third review of this Plat. This review is done for compliance with Chapter 177, Florida Statutes and the City of Riviera Beach requirements.

All previous comments have been adequately addressed. The plat is now suitable for execution and recording.

Sincerely,

Gary M. Rayman, P.S.M.
Senior Project Manager